



Planning Commission Staff Report

Meeting Date: May 7, 2024

Agenda Item: 8C

TENTATIVE SUBDIVISION MAP CASE NO: WTM20-005 (Woodland Village Town Center)
SPECIAL USE PERMIT CASE NO: WSUP20-0021 (Woodland Village Town Center)

BRIEF SUMMARY OF REQUEST: Extension of Time Request for Tentative Subdivision Map Case Number WTM20-005 & Special Use Permit Case Number WSUP20-0021

STAFF PLANNER: Katy Stark, Planner
Phone: 775.328.3618
Email: krstark@washoecounty.gov

CASE DESCRIPTION

Extension of Time Request for Tentative Subdivision Map Case Number WTM20-005 and Special Use Permit Case Number WSUP20-0021 (Woodland Village Town Center) – For hearing, discussion, and possible action to approve an extension of time for the approval of the subdivision and associated special use permit, for two years, from May 20, 2024, until May 20, 2026. The subdivision was originally approved by the Planning Commission on January 5, 2021. The Planning Commission may grant an extension of not more than 2 years for the presentation of any final map after the 2-year period for presenting a successive final map has expired, in accordance with NRS 278.360(1)(c).

Applicant/Owner: WVC Commercial LLC
Location: 18705 Village Center Drive, Reno, NV 89508
APN: 556-721-01 & 556-390-05
Parcel Size: 1.367 acres & 4.231 acres
Master Plan: Commercial & Suburban Residential
Regulatory Zone: Neighborhood Commercial (NC) & Public/Semi-Public Facilities (PSP)
Area Plan: Cold Springs
Development Code: Authorized in Article 608
Commission District: 5 – Commissioner Herman



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that the Washoe County Planning Commission approve the two-year Extension of Time Request until May 20, 2026, for Tentative Subdivision Map Case Number WTM20-005 and Special Use Permit Case Number WSUP20-0021 (Woodland Village Town Center), subject to the conditions of approval for WTM20-005 and WSUP20-0021, having determined that the final map for WTM20-005 and WSUP20-0021 has progressed in accordance with NRS 278.360, that the original findings remain valid, and that the circumstances have not appreciably changed since the original approval.

(Motion with Findings on Page 3)

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Legal Provisions Governing Extensions of Tentative Subdivision Maps

WCC Section 110.608.30 Expiration Date. If the subdivider fails to record a final map for any portion of the tentative map within the time required by NRS 278, all proceedings are terminated and a new application is required. **The Planning Commission may grant extensions as allowed by NRS.**

NRS 278.360 Requirements for presentation of final map or series of final maps; extensions of time.

1. Unless a longer time is provided in an agreement entered into pursuant to NRS 278.0201 or 278.350:
 - (a) Unless the time is extended, the subdivider shall present to the governing body, or the planning commission or the director of planning or other authorized person or agency if authorized to take final action by the governing body, within 4 years after the approval of a tentative map:
 - (1) A final map, prepared in accordance with the tentative map, for the entire area for which a tentative map has been approved; or
 - (2) The first of a series of final maps covering a portion of the approved tentative map. If the subdivider elects to present a successive map in a series of final maps, each covering a portion of the approved tentative map, the subdivider shall present to the governing body, or the planning commission or the director of planning or other authorized person or agency if authorized to take final action by the governing body, on or before the second anniversary of the date on which the subdivider recorded the first in the series of final maps:
 - (I) A final map, prepared in accordance with the tentative map, for the entire area for which the tentative map has been approved; or
 - (II) The next final map in the series of final maps covering a portion of the approved tentative map.
 - (b) If the subdivider fails to comply with the provisions of paragraph (a), all proceedings concerning the subdivision are terminated.
 - (c) **The governing body or planning commission may grant an extension of not more than 2 years for the presentation of any final map after the 2-year period for presenting a successive final map has expired.**
2. If the subdivider is presenting in a timely manner a series of final maps, each covering a portion of the approved tentative map, no requirements other than those imposed on each of the final maps in the series may be placed on the map when an extension of time is granted unless the requirement is directly attributable to a change in applicable laws which affect the public health, safety or welfare.

WCC Section 110.810.65 Expiration. A special use permit shall expire as provided in this section.

- (a) **Time Period.** A special use permit shall expire and become null and void at the time specified in the permit, or if not specified, two (2) years from the final date of approval.
- (b) **Extension.** The time period in subsection (a) of this section may be extended by the Planning Commission, Board of Adjustment, or a hearing examiner only for a special use permit originally acted upon by the Planning Commission, Board of Adjustment or a hearing examiner. Requests for time extensions shall be in writing and shall be submitted prior to the expiration date. The request shall state the reason for the extension.

Project Evaluation

Tentative Subdivision Map Case Number WTM20-005 and Special Use Permit Case Number WSUP20-0021 were originally approved by the Washoe County Planning Commission on January 5, 2021. A final map for the first phase of the project, consisting of seven buildings and 42 units was recorded on May 20, 2022, Tract Map #5490. The current expiration date for the next (second) final map is May 20, 2024.

The tentative map and associated special use permit remain valid at this time. The applicant stated that, of the seven buildings on the recorded final map, two are complete, two more are close to completion, and due to adverse market conditions, three buildings have been started, but not finished. Phase 2 of the project will consist of 12 buildings and 70 units. The applicant stated that due to an unfavorable economic climate, the project was not finished within the approved timeframe. The applicant is requesting an extension to record the next (second) final map. Based upon the current valid approval, staff recommends that the Planning Commission grant a two-year extension, until May 20, 2026, in accordance with WCC 110.608.30, and NRS 278.360(1)(c) and WCC 110.810.65.

Recommendation

After a thorough analysis and review, Tentative Subdivision Map Case Number WTM20-005 and Special Use Permit Case Number WSUP20-0021 (Woodland Village Town Center) are being recommended for an extension of time from May 20, 2024, until May 20, 2026. Staff offers the following motion for the Commissions' consideration.

Motion

I move that the Washoe County Planning Commission approve the two-year Extension of Time Request until May 20, 2026, for Tentative Subdivision Map Case Number WTM20-005 and Special Use Permit Case Number WSUP20-0021 (Woodland Village Town Center), subject to the conditions of approval for WTM20-005 and WSUP20-0021, having determined that the final map for WTM20-005 and WSUP20-0021 has progressed in accordance with NRS 278.360, that the original findings remain valid, and that the circumstances have not appreciably changed since the original approval.

Appeal Process

Planning Commission action will be effective 10 calendar days after the written decision is filed with the Secretary to the Planning Commission, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant.

Community Services Department
Planning and Building
EXTENSION OF SUBDIVISION
EXPIRATION DATE
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Extension of Subdivision Expiration Date for Approved Applications

Development Application Submittal Requirements

If you are submitting your application online, you may do so at [OneNV.us](https://www.onenv.us)

1. **Fees:** See Master Fee Schedule. **Most payments can be made directly through the OneNV.us portal.** If you would like to pay by check, please make the check payable to Washoe County and bring your application and payment to the Community Services Department (CSD).
2. **Development Application:** A completed Washoe County Development Application form.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Letter:** A letter shall accompany the application that delineates the circumstances that have prevented the initiation or completion of the project within the approved timeframe.
6. **Submission Packets:** One (1) packet and a flash drive. Any digital documents need to have a resolution of 300 dpi. If materials are unreadable, you will be asked to provide a higher quality copy. The packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. Labeling on these reproductions should be no smaller than 8 point on the 8.5" x 11" display. Large format sheets should be included in a slide pocket(s). Any specialized reports identified above shall be included as attachments or appendices and be annotated as such.

Notes:

- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
- (ii) All oversized maps and plans must be folded to a 9" x 12" size.
- (iii) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies that clarify the potential impacts and potential conditions of development in order to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
- (iv) **Labels:** If the assigned planner determines the abandonment will affect the access to a mobile home park, the applicant will be required to submit a list of mailing addresses for every tenant residing in the mobile home park.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Woodland Village Town Center			
Project Description: 42 Unit Multi Family Residential Townhomes			
Project Address: 18705 Village Center Dr. Reno, NV 89508			
Project Area (acres or square feet): 9.8 AC			
Project Location (with point of reference to major cross streets AND area locator): Cold Springs NV 2.2 Miles NE of US 395			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
556-721-01	1.37	556-390-05	4.23
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WTM20-005, WSUP20-0021, WFNLM21-0008, FM220005			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: WVC Commercial LLC		Name: Summit Engineering	
Address: 4790 Caughlin Parkway #519		Address: 5405 Mae Anne Ave.	
Reno, NV	Zip: 89509	Reno, NV	Zip: 89524
Phone: 775-750-5537	Fax:	Phone: 775-787-4333	Fax:
Email: rlissner@gmail.com		Email: sdelatorre@summitnv.com	
Cell:	Other:	Cell:	Other:
Contact Person: Bob Lissner		Contact Person: Sebastian De La Torre	
Applicant/Developer:		Other Persons to be Contacted:	
Name: WVC Commercial LLC		Name:	
Address: 4790 Caughlin Parkway #519		Address:	
Reno, NV	Zip: 89509		Zip:
Phone: 775-750-5537	Fax:	Phone:	Fax:
Email: rlissner@gmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Bob Lissner		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	



March 5, 2024

Washoe County Community Services Department
1001 E. Ninth St.,
Reno, NV 89512

To whom it may concern,

This letter is to provide clarification for submitting a tentative map extension request for the Woodland Village Town Center tentative map (WTM20-005 and WSUP20-0021). The original decision date for the tentative map and SUP was January 5, 2021. A final map for the first phase of this project, consisting of 7 buildings and 42 units has been recorded. Of the 7 buildings, 2 are complete and 2 more are close to completion. About \$8 million has been spent on construction. Due to adverse market conditions the final three buildings have been started, but not finished. Phase 2 will consist of 12 buildings and 70 units. Due to an unfavorable economic climate, the project was not finished within the approved timeframe and a tentative map extension request is required.

Sincerely,

SUMMIT ENGINEERING CORPORATION

A handwritten signature in blue ink, appearing to read "Sebastian De La Torre", is written over the printed name.

Sebastian De La Torre, P.E.
Project Manager

OWNER / DEVELOPER

WOODLAND VILLAGE NORTH LLC
 ATTN: ROBERT LISSNER
 4790 CAUGHLIN PARKWAY, #519
 RENO, NEVADA 89519

**TENTATIVE MAP PLANS
 FOR**

WOODLAND VILLAGE TOWN CENTER

COLD SPRINGS WASHOE COUNTY NEVADA

BASIS OF ELEVATIONS

NORTH AMERICA VERTICAL DATUM (NGVD) 1929, WITH NORTH 1/4 CORNER OF SECTION 16 (58" REBAR WITH TAG #827) TAKEN AS ELEVATION 5084.50

BASIS OF BEARINGS

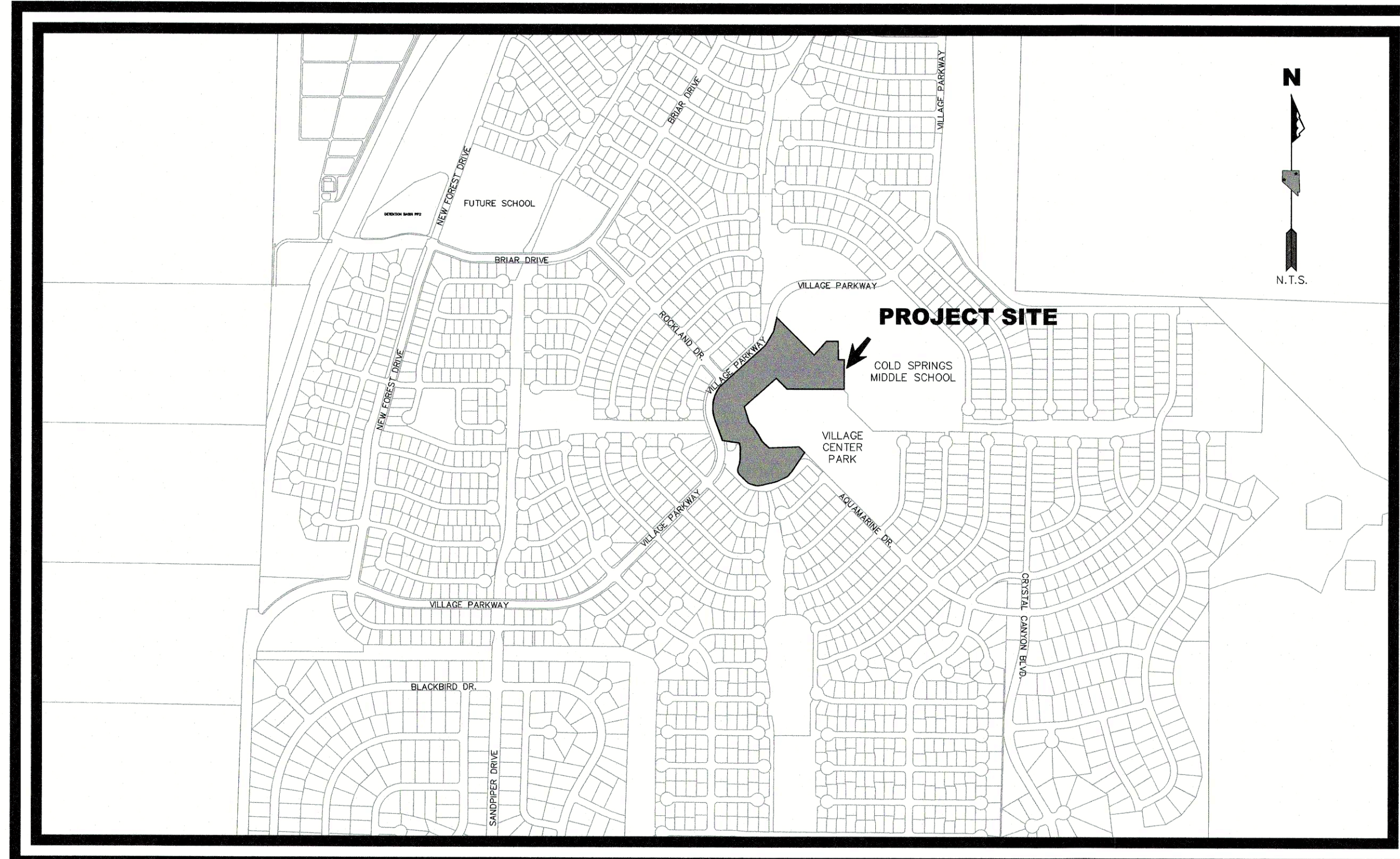
NORTH AMERICAN DATUM OF 1983 AS BASED ON FEDERAL BASE NETWORK/COOPERATIVE BASE NETWORK OBSERVATIONS IN 1984 (AKA NAD83/94), NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE AND HOLDING THE WASHOE COUNTY PUBLISHED LATITUDE AND LONGITUDE OF 39°37'31.936680" NORTH AND 119° 53' 01.166280" WEST FOR REGIONAL GPS CORS "STEA" (WASHOE COUNTY IDENTIFIER N22SM01037). A COMBINED GRID-TO-GROUND SCALE FACTOR OF 1.000170937 IS USED TO SCALE THE STATE PLANE GRID COORDINATES TO GROUND.

GENERAL CONSTRUCTION NOTES:

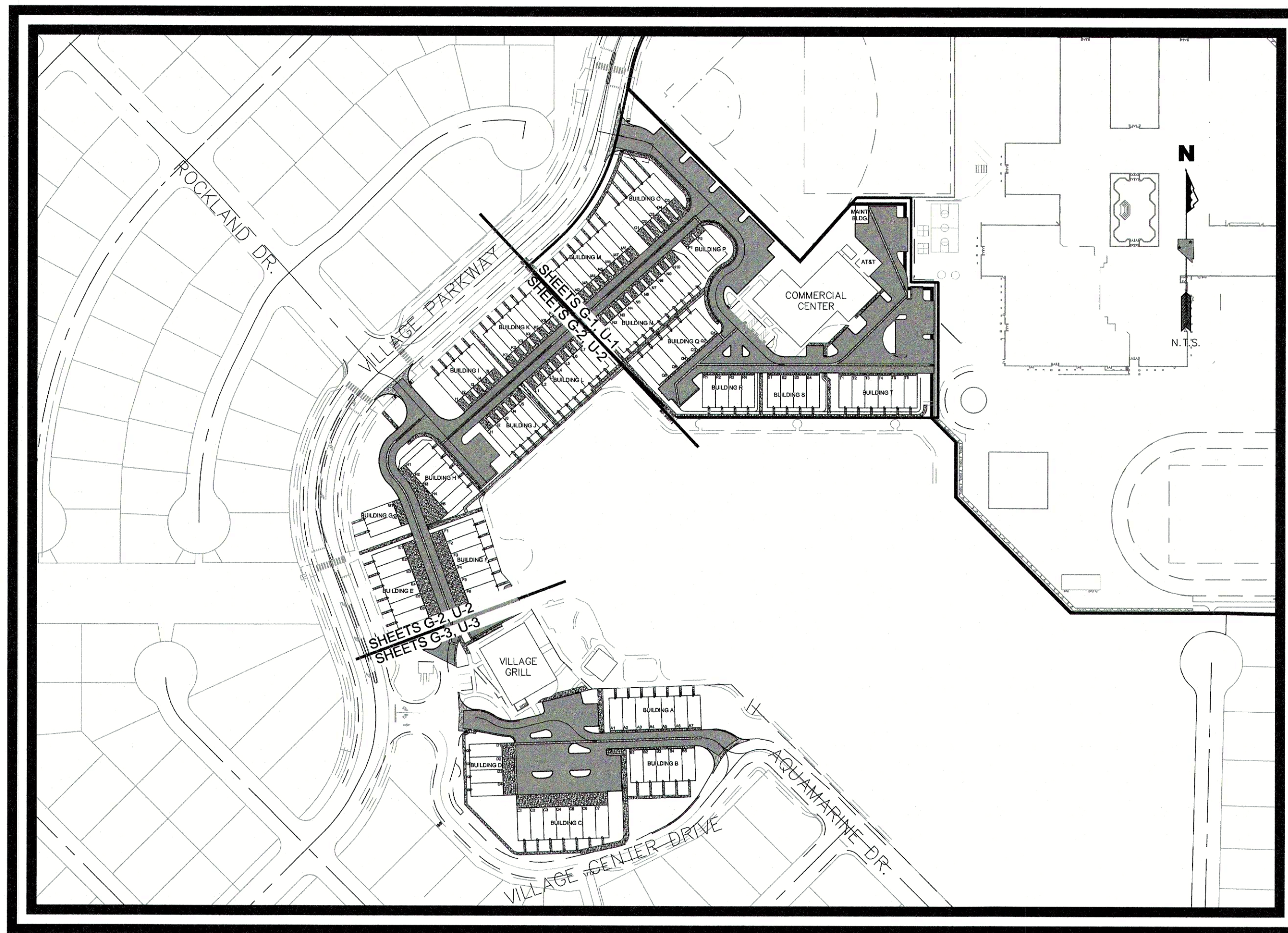
- THESE NOTES CONTAIN INFORMATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK CONTAINED ON THESE IMPROVEMENT PLANS. THESE NOTES APPLY TO ALL PLAN SHEETS. ADDITIONAL CONSTRUCTION NOTES MAY ALSO BE SHOWN ON INDIVIDUAL PLAN SHEETS. THE CONTRACTOR IS RESPONSIBLE TO READ AND COMPLY WITH ALL NOTES SHOWN ON THIS SET OF PLANS. THE TERM "CONTRACTOR" AS USED IN THESE NOTES AND ELSEWHERE IN THIS PLAN SET MEANS THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND INDIVIDUALS AUTHORIZED TO PERFORM WORK SHOWN ON THESE IMPROVEMENT PLANS. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL NOTES APPLICABLE TO HIS/HER WORK. ALL CONTRACTORS ARE DIRECTED TO CONTACT THIS ENGINEER FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT HIS/HER CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND THE SAFETY OF ALL CONSTRUCTION PERSONNEL IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY TRAFFIC AND PEDESTRIAN CONTROL DURING CONSTRUCTION INCLUDING WARNING SIGNS AND CONSTRUCTION FENCING WHERE REQUIRED.
- THE EXISTING UTILITIES SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM VARIOUS SOURCES AND SHOULD BE FIELD VERIFIED PRIOR TO MAKING ANY NECESSARY CONNECTIONS. THE LOCAL UTILITY COMPANY SHOULD BE CONTACTED PRIOR TO REMOVING, REPLACING, RELOCATING OR CONNECTING TO, ANY EXISTING UTILITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY UTILITY CONFLICTS DISCOVERED.
- IT IS THE INTENT OF THESE SPECIFICATIONS AND IMPROVEMENT PLANS THAT THE WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION. IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR IS DIRECTED TO CONTACT THE CONSULTING ENGINEER IMMEDIATELY.
- SHOULD ANY HISTORIC OR PREHISTORIC REMAINS OR ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO WORKING DAYS FROM THE DATE OF NOTIFICATION.
- NO MATERIALS OF ANY KIND SHALL BE STOCKPILED OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES TO BE DEDICATED TO WASHOE COUNTY.
- THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL IMPROVEMENTS ARE CONSTRUCTED ACCORDING TO THESE PLANS AND DETAILS. ANY CHANGES TO THE LOCATION (HORIZONTAL OR VERTICAL) OR ANY OTHER PLAN DESIGNATION, SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE NECESSARY RECORDS TO ENABLE THE ENGINEER TO PREPARE AS-BUILT DRAWINGS OF THE FINAL CONSTRUCTED IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONFORMANCE WITH ALL PERMITS, INCLUDING GRADING PERMIT, BUILDING PERMITS, STREET CUT PERMITS, DUST CONTROL PERMIT, AND THE STORM WATER DISCHARGE PERMIT (ISSUED BY THE STATE OF NEVADA DIVISION OF ENVIRONMENTAL PROTECTION).
- ALL BUILDABLE LOTS AND PARCELS WITHIN AN APPROVED SUBDIVISION REQUIRE THAT THE INDIVIDUAL BUILDING SITE PLOT PLANS SUBMITTED FOR BUILDING PERMITS SHALL SHOW ALL FINISH GRADE ELEVATIONS, HIGH POINT LOCATIONS, AND DRAINAGE SWALE LOCATIONS WITH A MINIMUM SLOPE OF 1.0%. THE INFORMATION SHALL BE SHOWN ON BOTH THE INDIVIDUAL PLOT PLANS AND THE APPROVED CONSTRUCTION GRADING PLANS. ALL APPROVED CONSTRUCTION PLANS AND INDIVIDUAL PLOT PLANS SHALL BE STAMPED BY A NEVADA REGISTERED CIVIL ENGINEER.
- ALL PARCELS WITHIN AN APPROVED SUBDIVISION SHALL REQUIRE THAT A NEVADA REGISTERED CIVIL ENGINEER OR A NEVADA REGISTERED LAND SURVEYOR SUBMIT A CERTIFICATION LETTER TO THE BUILDING OFFICIAL PRIOR TO THE SCHEDULING OF INSPECTIONS FOR THE FOLLOWING:
 - NEVADA REGISTERED CIVIL ENGINEER TO CERTIFY THAT:
 - SOILS INVESTIGATION REPORT INDICATING SOILS CLASSIFICATION AND DESIGN PRIOR TO THE FOUNDATION INSPECTION.
 - ELEVATION, GRADING AND DRAINAGE CERTIFICATION PER THE APPROVED CONSTRUCTION PLANS PRIOR TO THE ISSUANCE OF A CERTIFICATE.
 - NEVADA REGISTERED CIVIL ENGINEER OR A NEVADA REGISTERED LAND SURVEYOR TO CERTIFY:
 - FOUNDATION ELEVATION AND BUILDING SETBACK CERTIFICATION AS PER THE APPROVED PLOT PLAN PRIOR TO THE FOUNDATION INSPECTION.
- THE CONTRACTOR SHALL PROVIDE A 30' FIRE BREAK AROUND THE LIMITS OF THE CONSTRUCTION PHASE CLEARED OF ALL COMBUSTIBLE MATERIAL INCLUDING WEEDS AND BRUSH PER THE REQUIREMENTS OF THE TRUCKEE MEADOWS FIRE PROTECTION DISTRICT. THE CONTRACTOR SHALL MAINTAIN THE 30' FIRE BREAK DURING ALL CONSTRUCTION OF THE CONSTRUCTION PHASE. AFTER ALL CONSTRUCTION HAS BEEN COMPLETED, THE HOMEOWNER'S ASSOCIATION SHALL MAINTAIN THE FIRE BREAKS.
- NO GRADING OR CONSTRUCTION TRAFFIC SHALL OCCUR OUTSIDE THE LIMITS OF THE PHASE OTHER THAN THE DELIVERY OF MATERIALS OR THE REMOVAL OF TRASH BY MEANS OF THE CONSTRUCTION TRUCK ROUTE. THIS DEVELOPMENT SHALL UTILIZE THE BORDER TOWN EXIT, THEN VILLAGE PARKWAY TO WOODLAND VILLAGE PROJECT BOUNDARY. TEMPORARY DRIVEWAYS TO ROADS WILL THEN BE UTILIZED FROM THE PROJECT BOUNDARY TO THE CONSTRUCTION SITE. GRAVEL APRONS SHALL BE PLACED AT ANY LOCATION WHERE CONSTRUCTION TRAFFIC EXITS TO A PAVED STREET OR OTHER ACCESS. GRAVEL APRONS SHALL BE OF SUFFICIENT AREA AND DEPTH TO PREVENT THE TRACKING OF SEDIMENT AND DEBRIS BEYOND THE CONSTRUCTION SITE.
- SUMMIT ENGINEERING CORPORATION IS THE GEOTECHNICAL ENGINEER OF RECORD FOR THIS PROJECT. THE DEVELOPER IS RESPONSIBLE TO RETAIN THE SERVICES OF SUMMIT ENGINEERING CORPORATION TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY WASHOE COUNTY OR GREAT BASIN WATER COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING ENTITY 48 HOURS ADVANCE NOTICE OF ANY REQUIRED TESTING OR INSPECTION.
- ALL GRADING AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (PWC) AND THE LATEST DETAILS FOR (PWC) ADOPTED BY WASHOE COUNTY. THE "GEOTECHNICAL INVESTIGATION FOR PROPOSED WOODLAND PARK" DATED JULY 10, 1997, THE "GEOTECHNICAL INVESTIGATION REPORT UPDATE" DATED DECEMBER 8, 2017, BOTH PREPARED BY PREPARED BY PEZONELLA ASSOCIATES, INC., AND THE "GEOTECHNICAL INVESTIGATION FOR WOODLAND VILLAGE TOWN CENTER" DATED NOVEMBER 2020 PREPARED BY SUMMIT ENGINEERING CORPORATION. ALL SEWER CONSTRUCTION SHALL ALSO CONFORM TO THE WASHOE COUNTY DEPARTMENT OF PUBLIC WORKS UTILITY DIVISION DESIGN STANDARDS AND REVIEW GUIDELINES FOR WASTEWATER SYSTEMS. ALL WATER CONSTRUCTION SHALL ALSO CONFORM TO THE REQUIREMENTS OF GREAT BASIN WATER COMPANY.
- IN ORDER TO EXPEDITE THE INSPECTION AND TESTING OF MATERIALS, THE CONTRACTOR SHALL FURNISH COMPLETE STATEMENTS TO THE GEOTECHNICAL ENGINEER AS TO THE ORIGIN, COMPOSITION AND MANUFACTURE OF ALL MATERIALS TO BE USED IN THE WORK. SUCH STATEMENTS SHALL BE FURNISHED PROMPTLY AFTER EXECUTION OF THE CONTRACT, BUT IN ALL CASES PRIOR TO DELIVERY OF SUCH MATERIALS.
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL SURFACE VEGETATION AND DEBRIS. THIS DEBRIS IS TO BE DISPOSED OF IN CONFORMANCE WITH WASHOE COUNTY REGULATIONS OR PLACED IN APPROVED NON-STRUCTURAL FILL AREAS IF SHOWN ON THE APPROVED GRADING PLANS.
- ALL GRADING WITHIN PROPOSED STREET RIGHT-OF-WAYS AND OTHER STRUCTURAL AREAS SHALL BE TO SUBGRADE ELEVATIONS. REFER TO THE DETAIL SHEETS FOR FURTHER INFORMATION ON SUBGRADE OPERATIONS. OPEN WATERING SHALL BE BY WATER TRUCK OR PRESSURE IRRIGATION SYSTEM. AREAS DESIGNATED FOR REVEGETATION SHALL BE REVEGETATED WITHIN 15 DAYS OF COMPLETION OF GRADING. AREAS NOT TO RECEIVE PERMANENT REVEGETATION SHALL BE TREATED WITH AN APPROVED DUST PALLIATIVE WITHIN 15 DAYS OF COMPLETION OF GRADING OPERATIONS. A LIST OF ACCEPTABLE DUST PALLIATIVES CAN BE OBTAINED FROM THE WASHOE COUNTY AIR QUALITY DIVISION.
- SLOPE STABILIZATION AND REVEGETATION
 ALL DISTURBED AREAS OUTSIDE THE PROPOSED STREET RIGHT OF WAYS AND LOT AREAS, INCLUDING DETENTION BASINS AND TEMPORARY DITCHES SHALL BE PERMANENTLY REVEGETATED WITHIN 15 DAYS OF COMPLETION OF GRADING OPERATIONS USING THE SEED MIX AND APPLICATION INSTRUCTIONS SHOWN BELOW. TEMPORARY IRRIGATION IS RECOMMENDED FOR AT LEAST TWO GROWING SEASONS TO ENSURE THE SUCCESS OF THE SEEDING.

SPECIES	LBS PER ACRE	REMARKS
MULCH	30	MULCH SHALL CONSIST OF DEGRADABLE GREEN DYED CELLULOSE FIBER (RECYCLED NEWSPAPER) (AGRI-FIBER BY GREENSTONE INDUSTRIES OAE). MULCH SHALL BE FREE FROM WEEDS OR OTHER FOREIGN MATTER TOXIC TO GERMINATION AND SUITABLE FOR HYDROMULCHING. APPLY AT A RATE OF 2,000 LBS PER ACRE. MULCH APPLICATION SHALL INCLUDE 15-30-5 FERTILIZER AT AN APPLICATION RATE OF 30 LBS PER ACRE.
GRASSES		
WHEAT GRASS CRESTED/BLUEBUNCH WHEAT GRASS	4	
WHEAT GRASS SIERRA/P-27	4	
FESCUE SHEEP COVER	4	
BLUEGRASS CANBY/SANDBERG	2	
WILDORGE GREAT BASIN MAGNANATIVE	2	
RYEGRASS ANNUAL (NURSE CROP)	8	
SHRUBS		
SAGEBRUSH BASIN	0.5	
RABBIT BRUSH	0.5	
SALT BUSH FOURRING	3	
BITTER BRUSH	0.5	
SPINY HPSAGE	0.5	
FLOWERS		
DRYLAND AGGRESSIVE BLEND	1	
	32	LBS PER ACRE

 ALL FILL DIRT IMPORTED AS PART OF THE PROJECT IS REQUIRED TO BE "CERTIFIED WEED FREE."
 BEST MANAGEMENT PRACTICES WILL BE USED TO PREVENT THE SPREAD OF NOXIOUS AND INVASIVE WEEDS DURING CONSTRUCTION ACTIVITIES.



VICINITY MAP



SITE PLAN

SHEET INDEX

T-1	TITLE SHEET
EX-1	EXISTING CONDITIONS & DEMOLITION PLAN
S-1	PRELIMINARY SITE PLAN
G-1	PRELIMINARY GRADING PLAN
G-2	PRELIMINARY GRADING PLAN
G-3	PRELIMINARY GRADING PLAN
U-1	PRELIMINARY UTILITY PLAN
U-2	PRELIMINARY UTILITY PLAN
U-3	PRELIMINARY UTILITY PLAN
X-1	CROSS SECTIONS
D-1	DETAIL SHEET
L-1	PRELIMINARY LANDSCAPE PLAN

ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	M.H.	MANHOLE
AGG.	AGGREGATE	MPOC	MID POINT OF CURVE
B.G.	BEGIN CURVE	N.T.S.	NOT TO SCALE
B.F.	BOTTOM OF FOOTING	P.	PAD ELEVATION
B.O.P.	BOTTOM OF PIPE	PCC	POINT OF COMPOUND CURVATURE
B.V.C.	BEGIN VERTICAL CURVE	P.I.	POINT OF INTERSECTION
B.W.	BACK OF SIDEWALK	P.R.C.	POINT OF REVERSE CURVATURE
C.B.	CATCH BASIN	P.V.C.	POLYVINYL CHLORIDE PIPE
CL	CENTERLINE	P.V.I.	POINT OF VERTICAL INTERSECTION
CONC.	CONCRETE	P.O.	PUSH ON
CONST.	CONSTRUCTION	P.U.E.	PUBLIC UTILITY EASEMENT
C.O.	CLEAN OUT	PL	PROPERTY LINE
C.P.	CONCRETE PIPE	Q10	10-YEAR STORM FLOW
C.R.	CURE RETURN	Q100	100-YEAR STORM FLOW
D.I.	DROP INLET	(R)	RADIAL
DET.	DETAIL	R	RADIUS
E.	ELECTRICAL	R.C.P.	REINFORCED CONCRETE PIPE
ELEV.	ELEVATION	REF.	REFERENCE
E.C.	END OF CURVE	RET.	RETURN
E.V.C.	END OF VERTICAL CURVE	R.P.	RADIUS POINT
EXST.	EXISTING	R.T.	RIGHT
(EX)	EXISTING	R/W	RIGHT OF WAY
E.G.	EXISTING GRADE	S.	SLOPE
F.F.	FINISHED FLOOR	S.G.	SUBGRADE
F.F.C.	FRONT FACE OF CURB	S.S.	SANITARY SEWER
F.G.	FINISHED GRADE	S.W.	SIDEWALK
F.H.	FLOW LINE	STD.	STANDARD
F.L.	FLOW LINE	SHT.	SHEET
FLG.	FLANGE	STA.	STATION
G.	GAS	S.D.	STORM DRAIN
G.B.	GRADE BREAK	S.D.E.	STORM DRAIN EASEMENT
GV.	GATE VALVE	S.W.F.P.	STORM WATER POLLUTION PREVENTION PLAN
H.C.	HANDICAPPED	T	TANGENT
HORIZ.	HORIZONTAL	TELE.	TELEPHONE
H.P.	HIGH POINT	T.C.	TOP OF CURB
INT.	INTERSECTION	T.B.	THRUST BLOCK
I.E.	INVERT ELEVATION	T.O.E.	TOE OF SLOPE
L.F.	LINEAL FEET	T.O.P.	TOP OF PIPE
L.P.	LOW POINT	TYP.	TYPICAL
LT.	LEFT	V.C.	VERTICAL CURVE
M.D.D.	MAXIMUM DRY DENSITY	V.P.I.	VERTICAL POINT OF INTERSECTION
		Δ	CURVE DELTA
		W	WATER

ENGINEER'S STATEMENT

THESE PLANS (SHEETS T-1 OF 12 THROUGH D-1 OF 12) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, COUNTY ORDINANCES, AND CODES. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND COUNTY CODES, THE COUNTY CODES SHALL PREVAIL.



REV.	DATE	DESCRIPTION	BY	APP'D

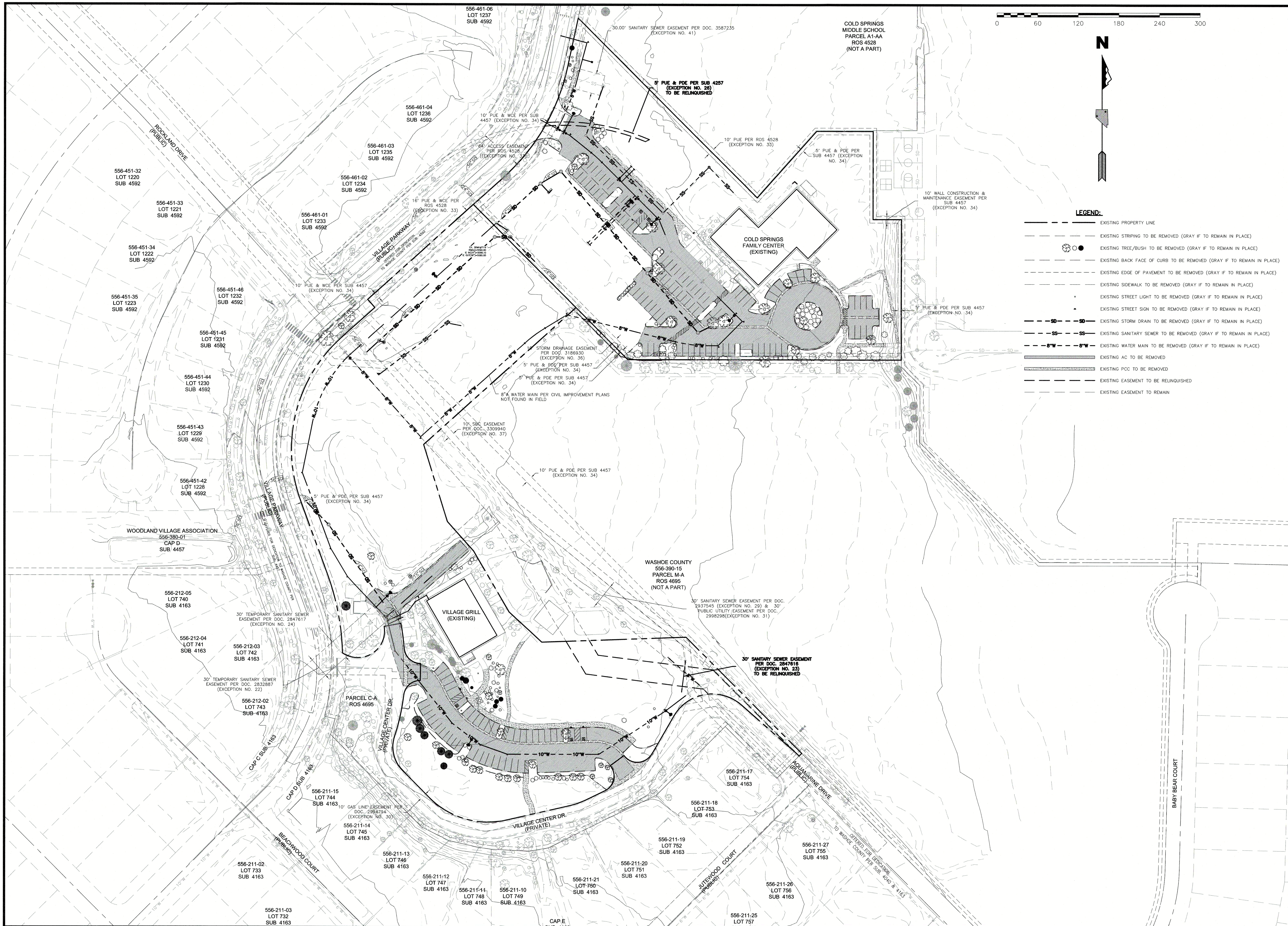
TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 TITLE SHEET
 WASHOE COUNTY
 COLD SPRINGS
 NEVADA

DESIGNED BY: SD
 CHECKED BY: RG
 SCALE
 HORIZ: N/A
 VERT: N/A
 JOB NO: 31069

ROBERT GELU
 P.E. #17741

11-5-2020

SHEET T-1 OF 12



LEGEND:

- EXISTING PROPERTY LINE
- - - - EXISTING STRIPING TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- ● EXISTING TREE/BUSH TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- - - - EXISTING BACK FACE OF CURB TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- - - - EXISTING EDGE OF PAVEMENT TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- - - - EXISTING SIDEWALK TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- EXISTING STREET LIGHT TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- EXISTING STREET SIGN TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- - - - SD - - - - EXISTING STORM DRAIN TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- - - - SS - - - - EXISTING SANITARY SEWER TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- - - - 8"W - - - - EXISTING WATER MAIN TO BE REMOVED (GRAY IF TO REMAIN IN PLACE)
- AC --- EXISTING AC TO BE REMOVED
- PCC --- EXISTING PCC TO BE REMOVED
- - - - EXISTING EASEMENT TO BE RELINQUISHED
- - - - EXISTING EASEMENT TO REMAIN

SUMMIT ENGINEERING CORPORATION
 5405 MAE ANNE AVENUE, RENO, NV. 89523
 PHONE: (775) 747-8550 FAX: (775) 747-8559

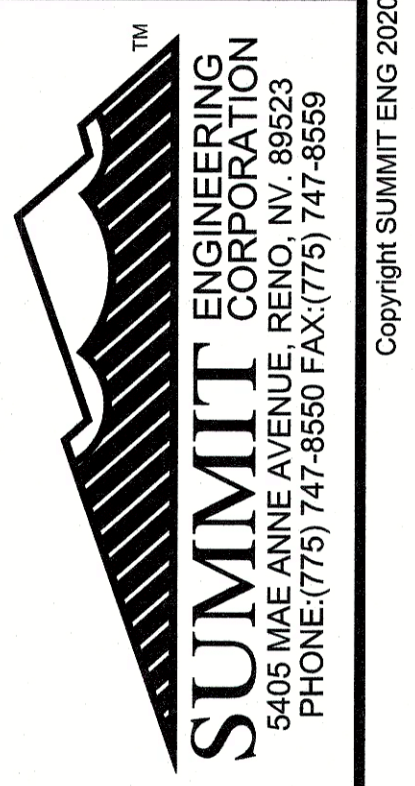
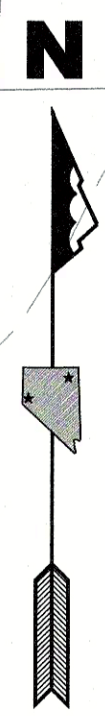
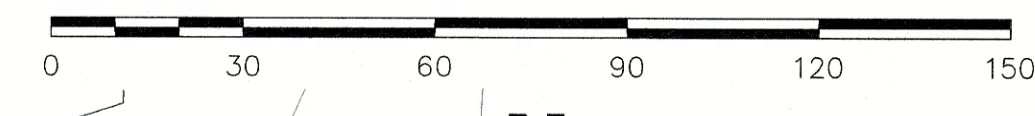
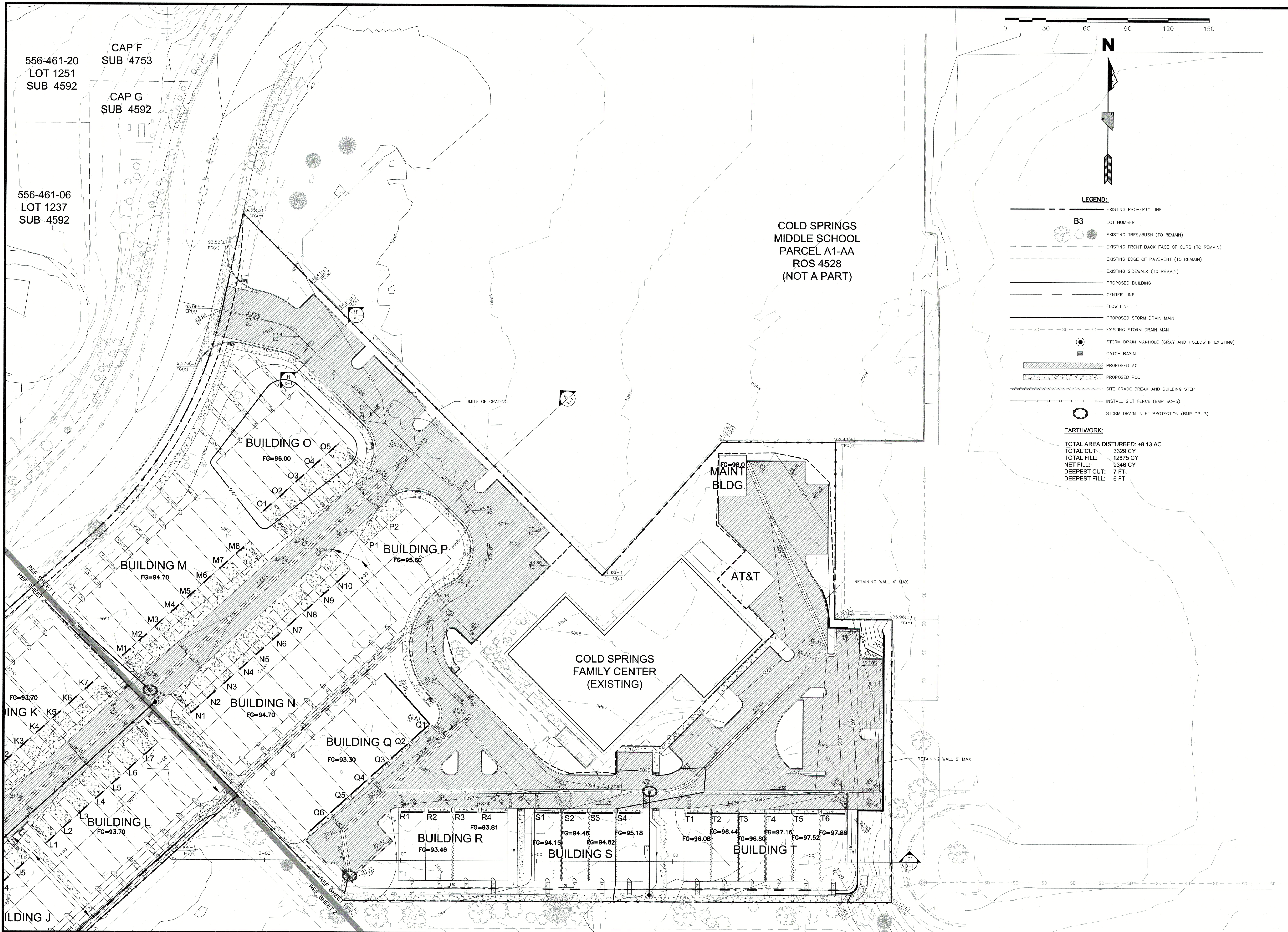
REV.	DATE	DESCRIPTION	BY	APPD

**TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 EXISTING CONDITIONS AND DEMOLITION PLAN**
 WASHOE COUNTY NEVADA
 COLD SPRINGS

DESIGNED BY: SD
 CHECKED BY: RG
 SCALE
 HORIZ: 1"=60'
 VERT:
 JOB NO: 31069

PROFESSIONAL ENGINEER
 ROBERT GELU
 Exp. 6-30-21
 CIVIL
 11-5-2020

SHEET
 EX-1 OF 12



REV.	DATE	DESCRIPTION	BY	APP'D

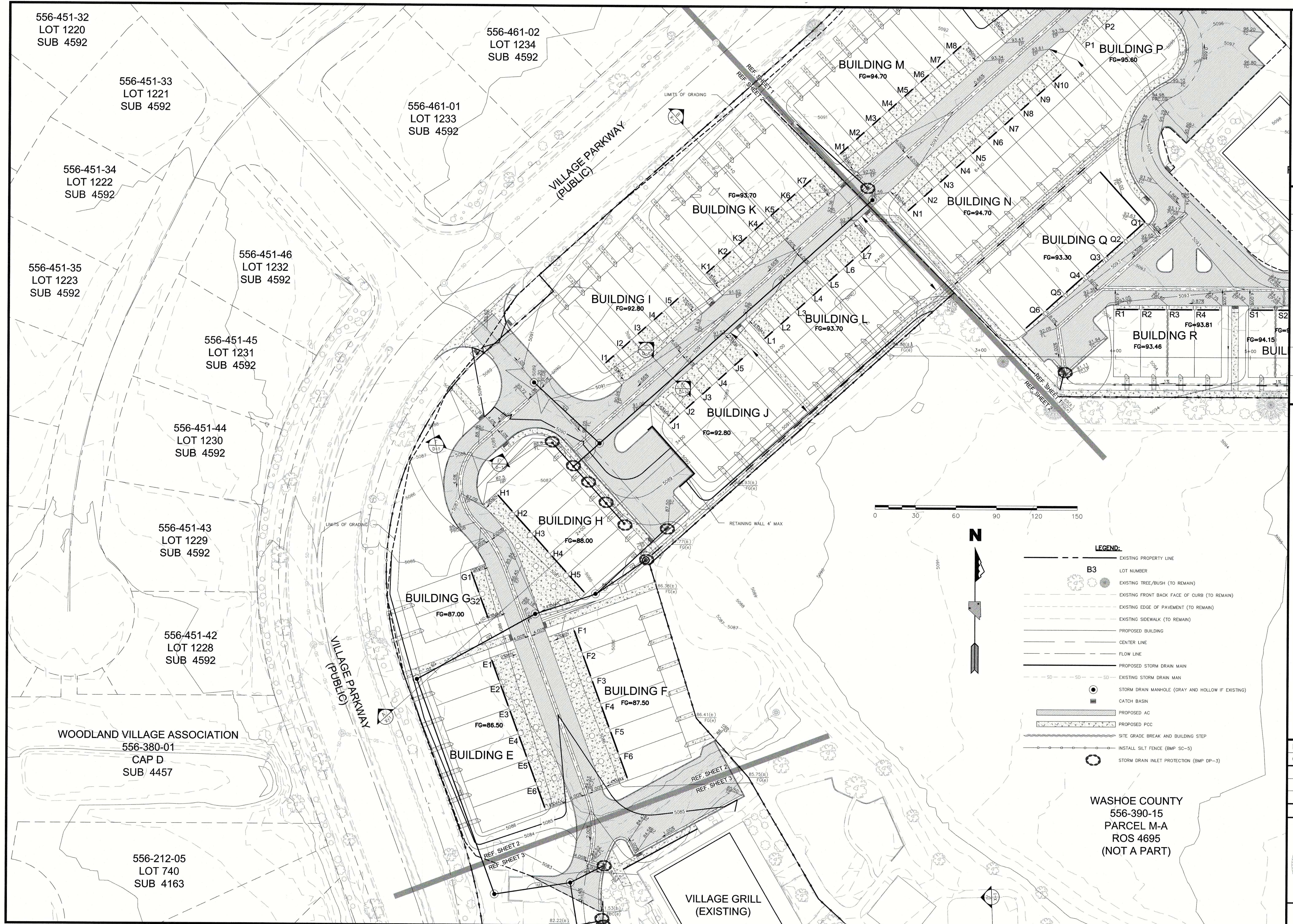
**TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 PRELIMINARY GRADING PLAN**

WASHOE COUNTY NEVADA
 COLD SPRINGS

DESIGNED BY: SD
 CHECKED BY: RG
 SCALE
 HORIZ: 1"=30'
 VERT:
 JOB NO: 31069



SHEET **G-1** OF **12**

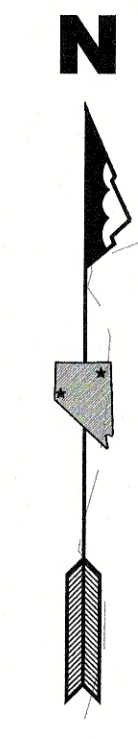
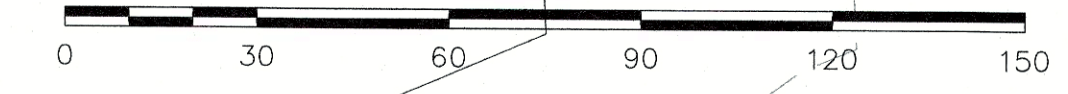
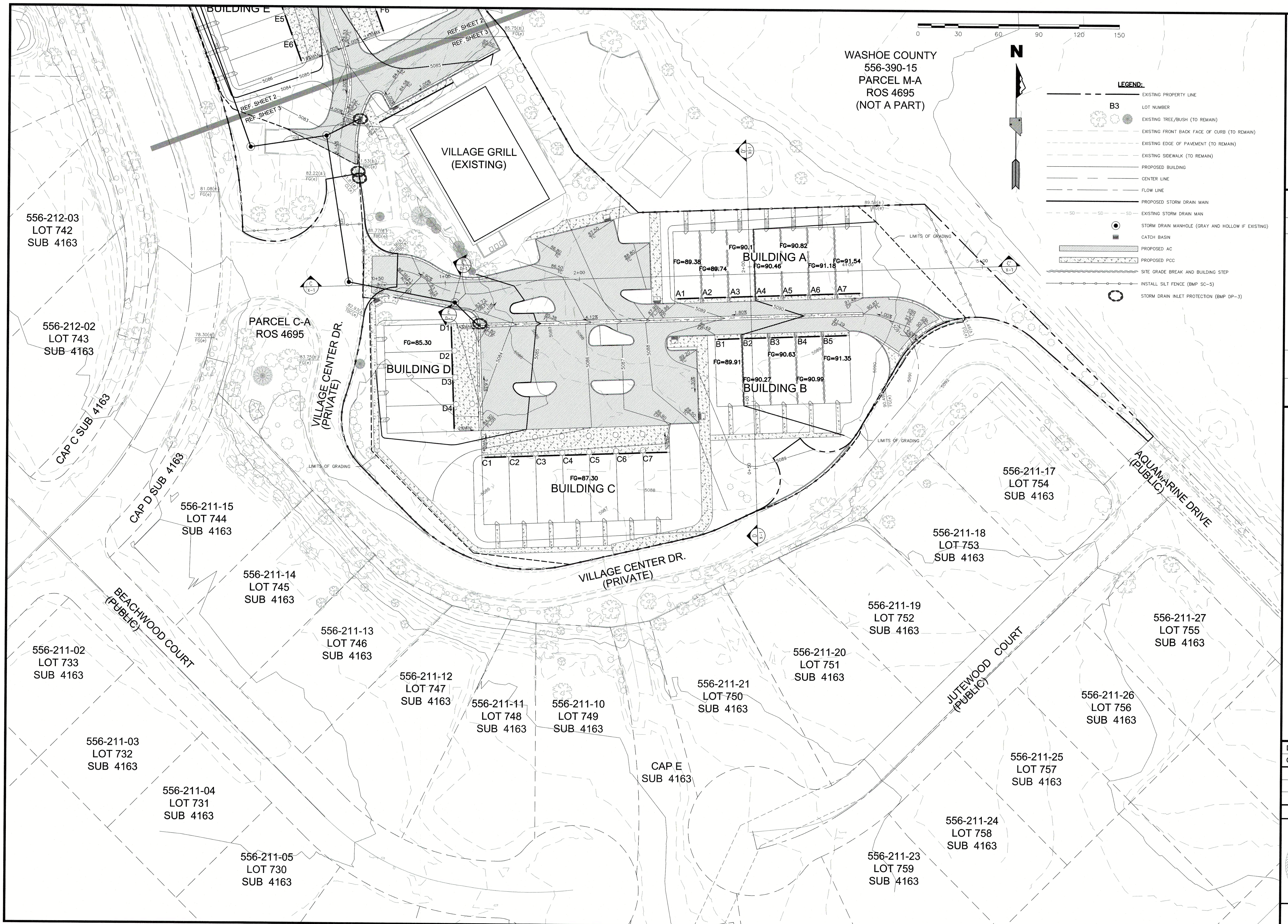


REV.	DATE	DESCRIPTION	BY	APPD

TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
PRELIMINARY GRADING PLAN

WASHOE COUNTY NEVADA
COLD SPRINGS

DESIGNED BY: SD
CHECKED BY: RG
SCALE
HORIZ: 1"=30'
VERT:
JOB NO: 31069
11-5-2020
SHEET G-2 OF 12



LEGEND:

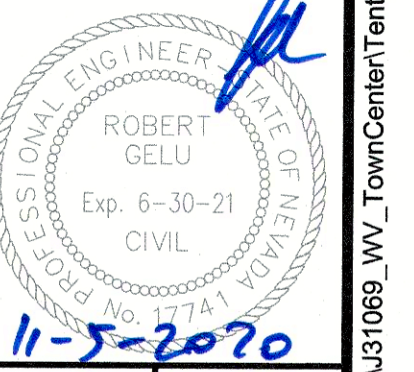
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- LOT NUMBER
- EXISTING TREE/BUSH (TO REMAIN)
- EXISTING FRONT BACK FACE OF CURB (TO REMAIN)
- EXISTING EDGE OF PAVEMENT (TO REMAIN)
- EXISTING SIDEWALK (TO REMAIN)
- PROPOSED BUILDING
- CENTER LINE
- FLOW LINE
- PROPOSED STORM DRAIN MAIN
- EXISTING STORM DRAIN MAIN
- STORM DRAIN MANHOLE (GRAY AND HOLLOW IF EXISTING)
- CATCH BASIN
- PROPOSED AC
- PROPOSED PCC
- SITE GRADE BREAK AND BUILDING STEP
- INSTALL SILT FENCE (BMP SC-5)
- STORM DRAIN INLET PROTECTION (BMP DP-3)

REV.	DATE	DESCRIPTION	BY	APPD

TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
PRELIMINARY GRADING PLAN

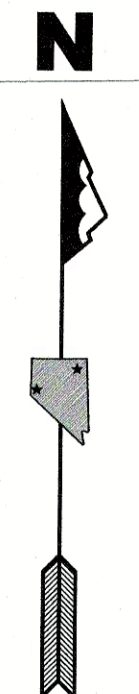
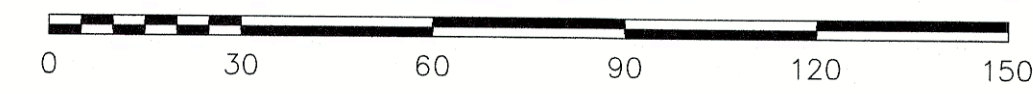
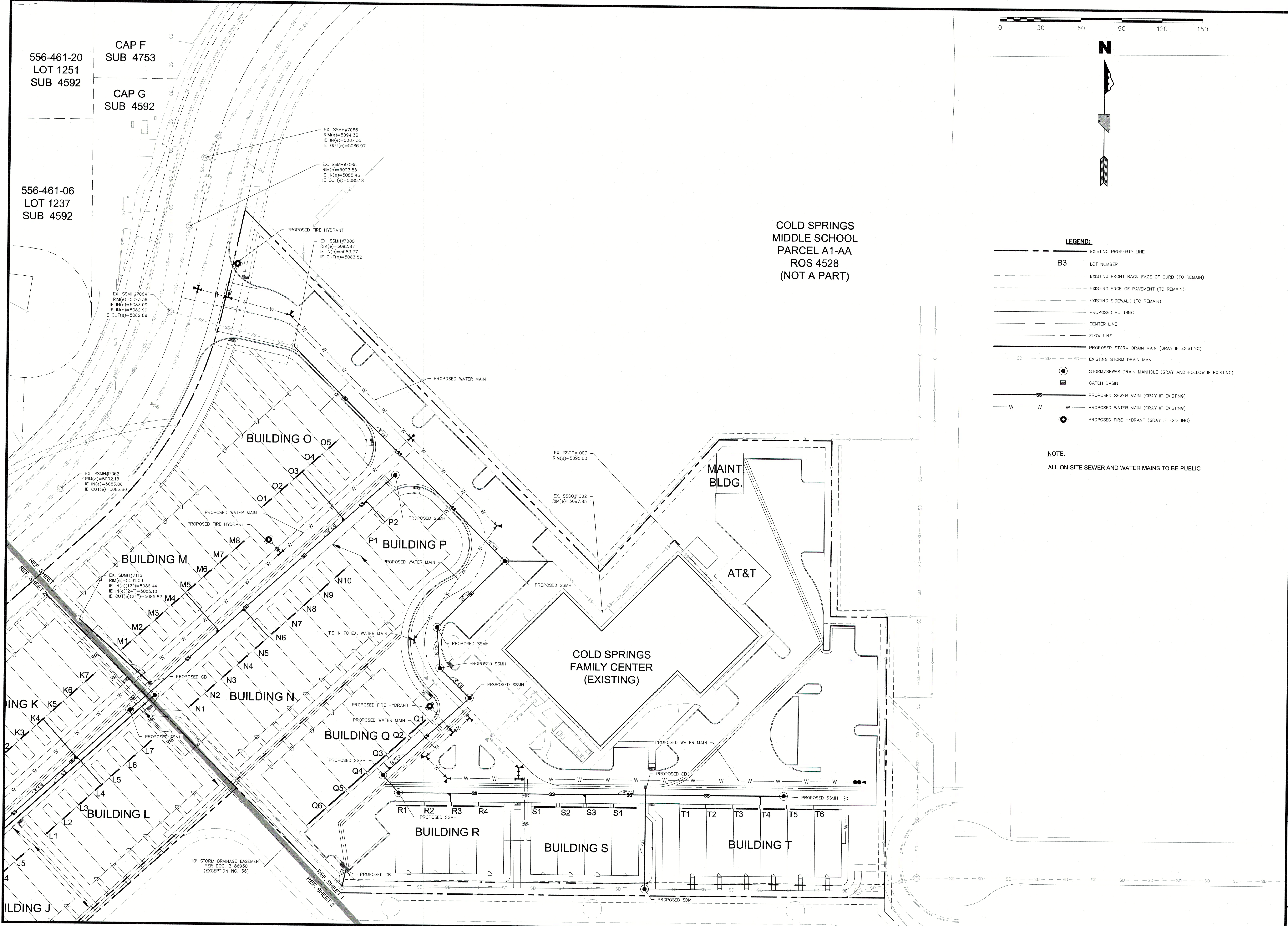
WASHOE COUNTY NEVADA
COLD SPRINGS

DESIGNED BY: SD
CHECKED BY: RG
SCALE
HORIZ: 1"=30'
VERT:
JOB NO: 31069



11-5-2020
SHEET G-3 OF 12





LEGEND:

- EXISTING PROPERTY LINE
- B3 LOT NUMBER
- - - EXISTING FRONT BACK FACE OF CURB (TO REMAIN)
- - - EXISTING EDGE OF PAVEMENT (TO REMAIN)
- - - EXISTING SIDEWALK (TO REMAIN)
- PROPOSED BUILDING
- CENTER LINE
- FLOW LINE
- PROPOSED STORM DRAIN MAIN (GRAY IF EXISTING)
- - - SD - - - EXISTING STORM DRAIN MAIN
- STORM/SEWER DRAIN MANHOLE (GRAY AND HOLLOW IF EXISTING)
- CATCH BASIN
- SS - - - PROPOSED SEWER MAIN (GRAY IF EXISTING)
- W - - - PROPOSED WATER MAIN (GRAY IF EXISTING)
- PROPOSED FIRE HYDRANT (GRAY IF EXISTING)

NOTE:

ALL ON-SITE SEWER AND WATER MAINS TO BE PUBLIC



REV.	DATE	DESCRIPTION	BY	APPD

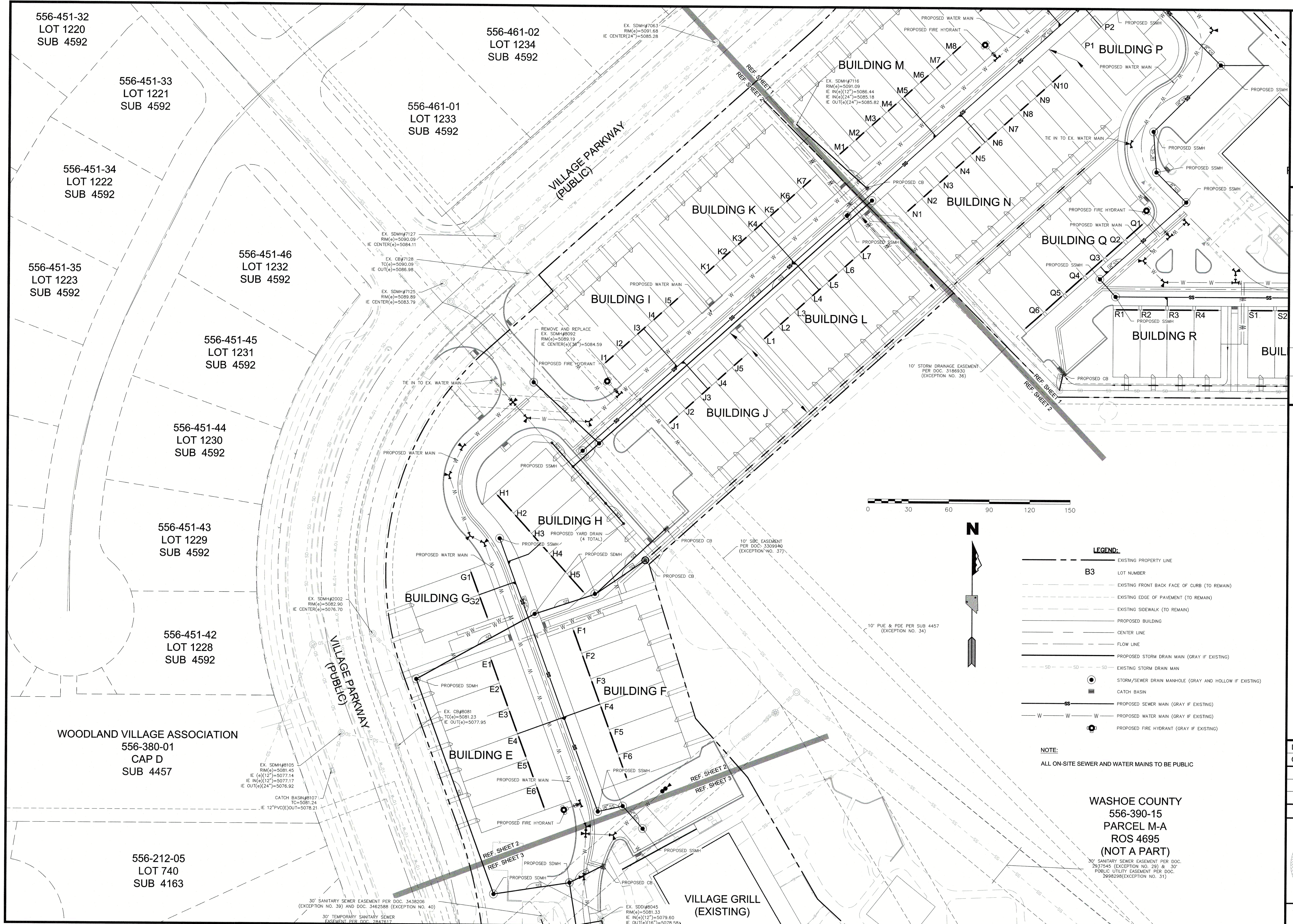
TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
PRELIMINARY UTILITY PLAN

WASHOE COUNTY NEVADA
COLD SPRINGS

DESIGNED BY: SD
CHECKED BY: RG
SCALE
HORIZ: 1"=30'
VERT:
JOB NO: 31069



SHEET U-1 OF 12



556-451-32
LOT 1220
SUB 4592

556-451-33
LOT 1221
SUB 4592

556-451-34
LOT 1222
SUB 4592

556-451-35
LOT 1223
SUB 4592

556-451-46
LOT 1232
SUB 4592

556-451-45
LOT 1231
SUB 4592

556-451-44
LOT 1230
SUB 4592

556-451-43
LOT 1229
SUB 4592

556-451-42
LOT 1228
SUB 4592

WOODLAND VILLAGE ASSOCIATION
556-380-01
CAP D
SUB 4457

556-212-05
LOT 740
SUB 4163

556-461-02
LOT 1234
SUB 4592

556-461-01
LOT 1233
SUB 4592

SUMMIT
ENGINEERING CORPORATION
5405 MAE ANNE AVENUE, RENO, NV, 89523
PHONE: (775) 747-8550 FAX: (775) 747-8559

REV.	DATE	DESCRIPTION	BY	APPD

TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
PRELIMINARY UTILITY PLAN

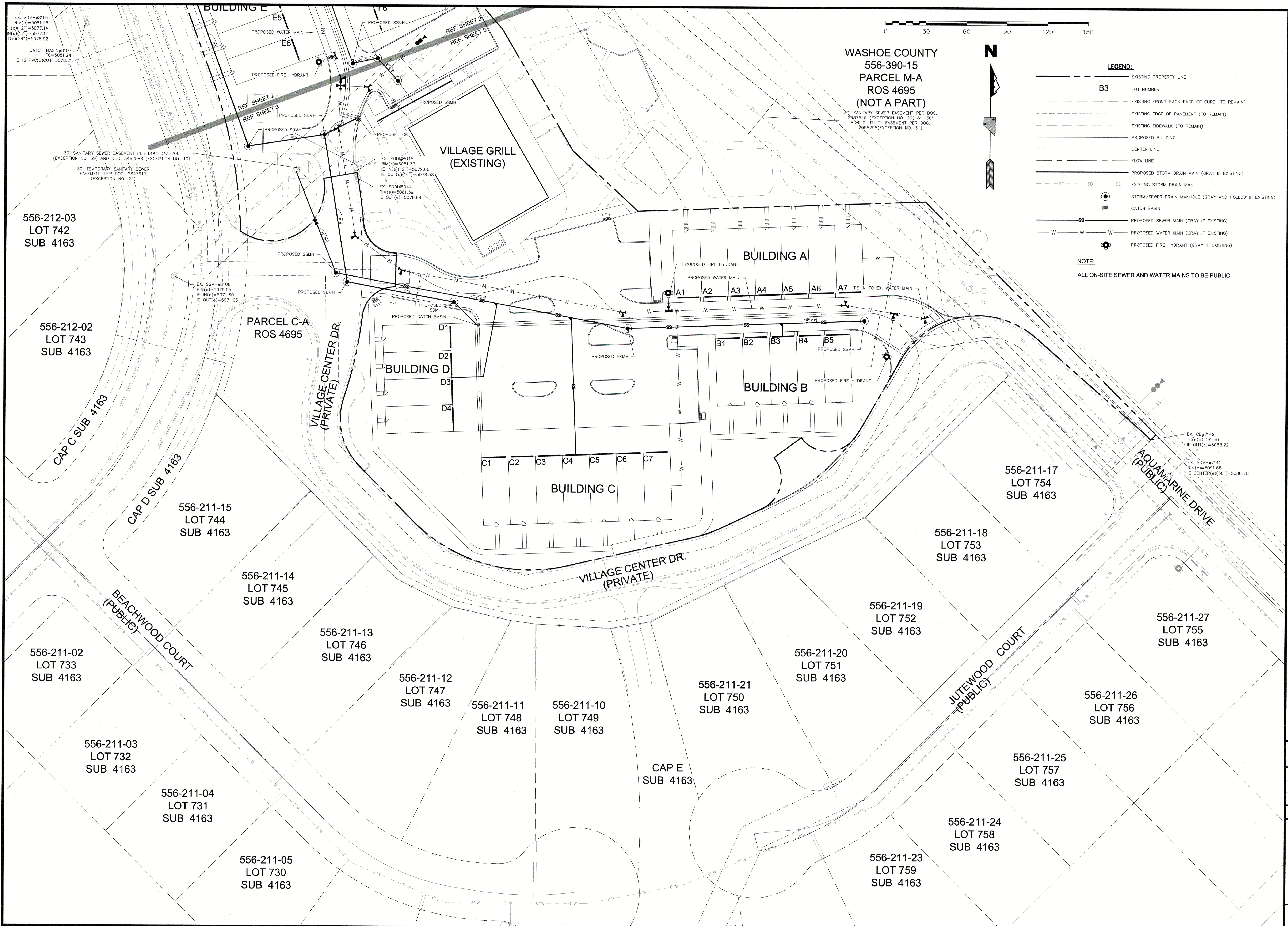
NEVADA
WASHOE COUNTY
COLD SPRINGS

DESIGNED BY: SD
CHECKED BY: RG

SCALE
HORIZ: 1"=30'
VERT:
JOB NO: 31069

WASHOE COUNTY
556-390-15
PARCEL M-A
ROS 4695
(NOT A PART)

11-5-2020
SHEET U-2 OF 12



SUMMIT ENGINEERING CORPORATION
 5405 MAE ANNE AVENUE, RENO, NV 89523
 PHONE: (775) 747-8550 FAX: (775) 747-8559

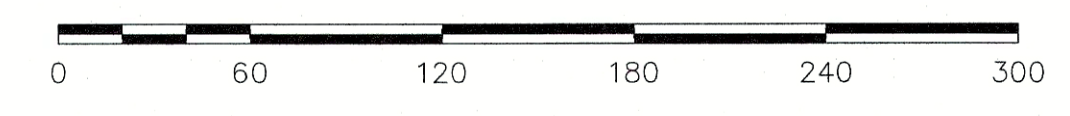
REV.	DATE	DESCRIPTION

TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
PRELIMINARY UTILITY PLAN

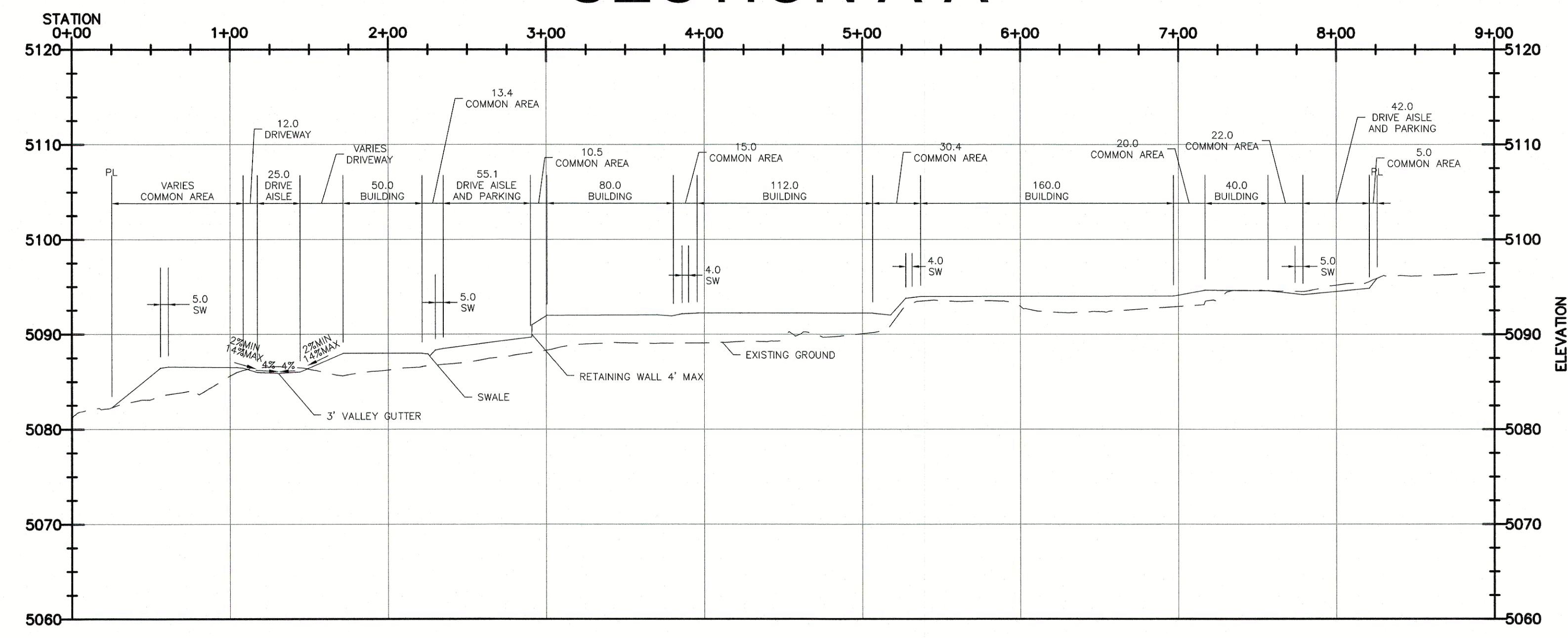
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 CHECKED BY: RG
 SCALE
 HORIZ: 1"=30'
 VERT:
 JOB NO: 31069

1-5-2020

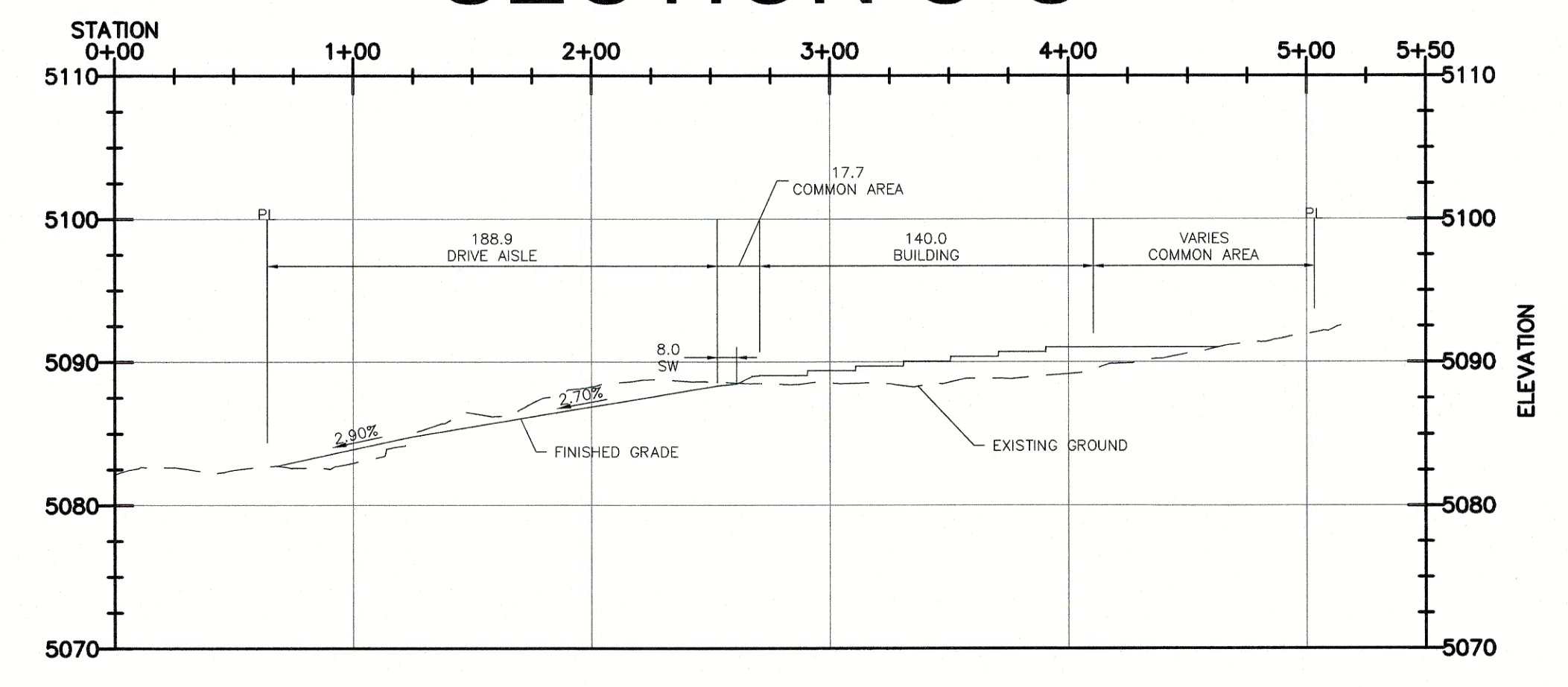
SHEET U-3 OF 12



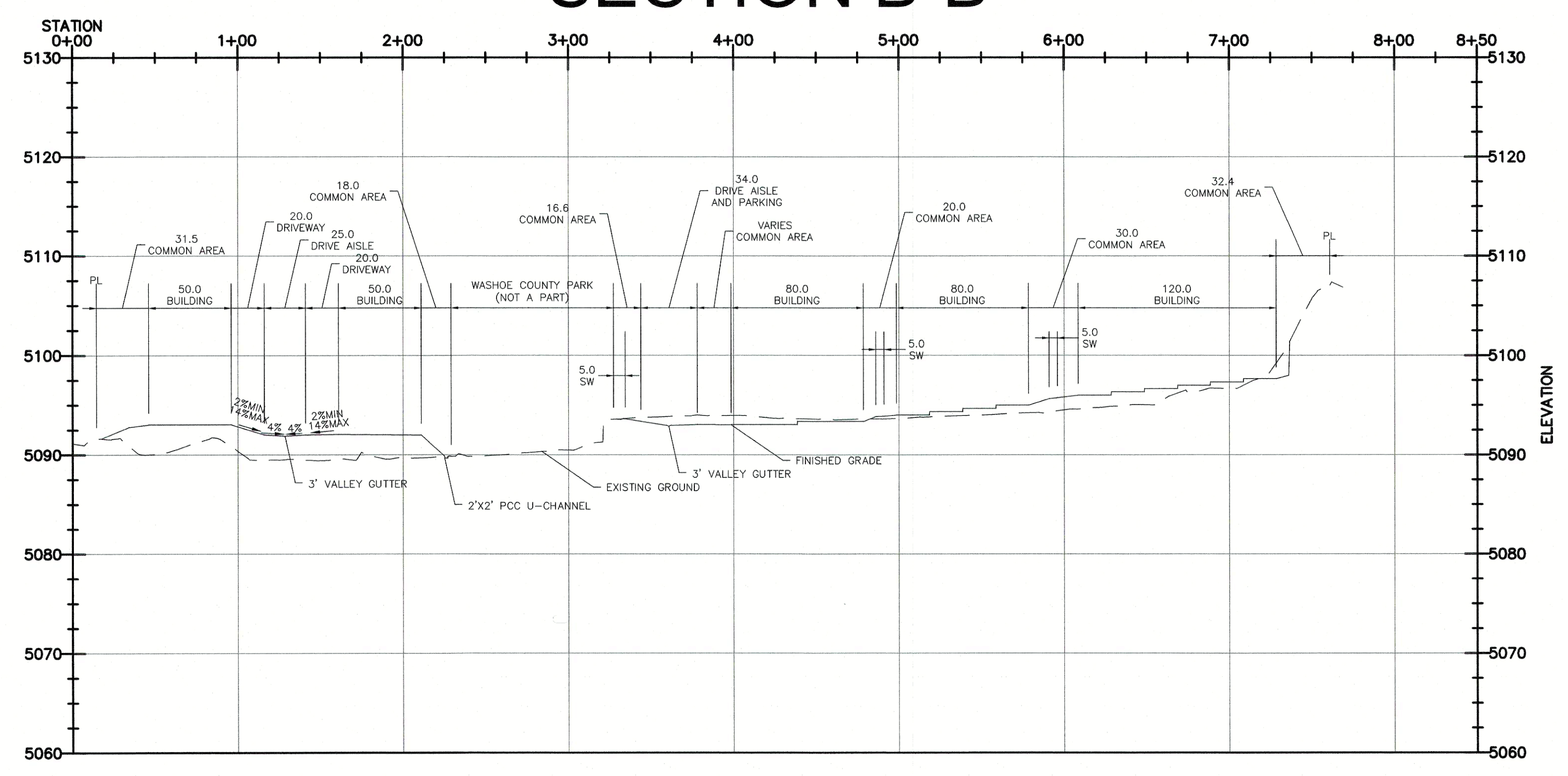
SECTION A-A'



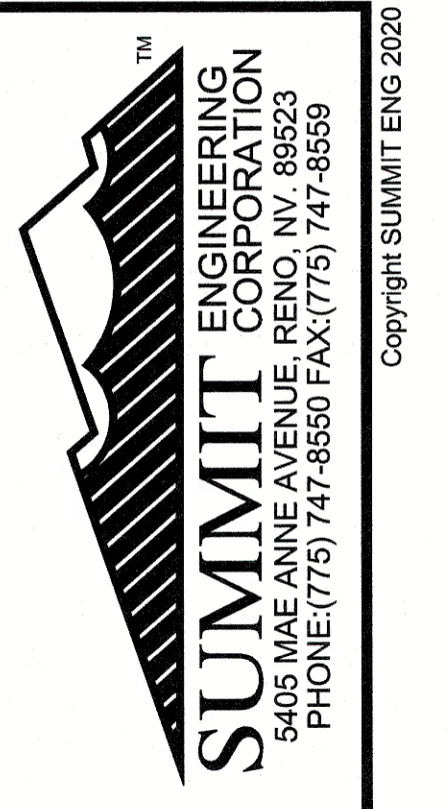
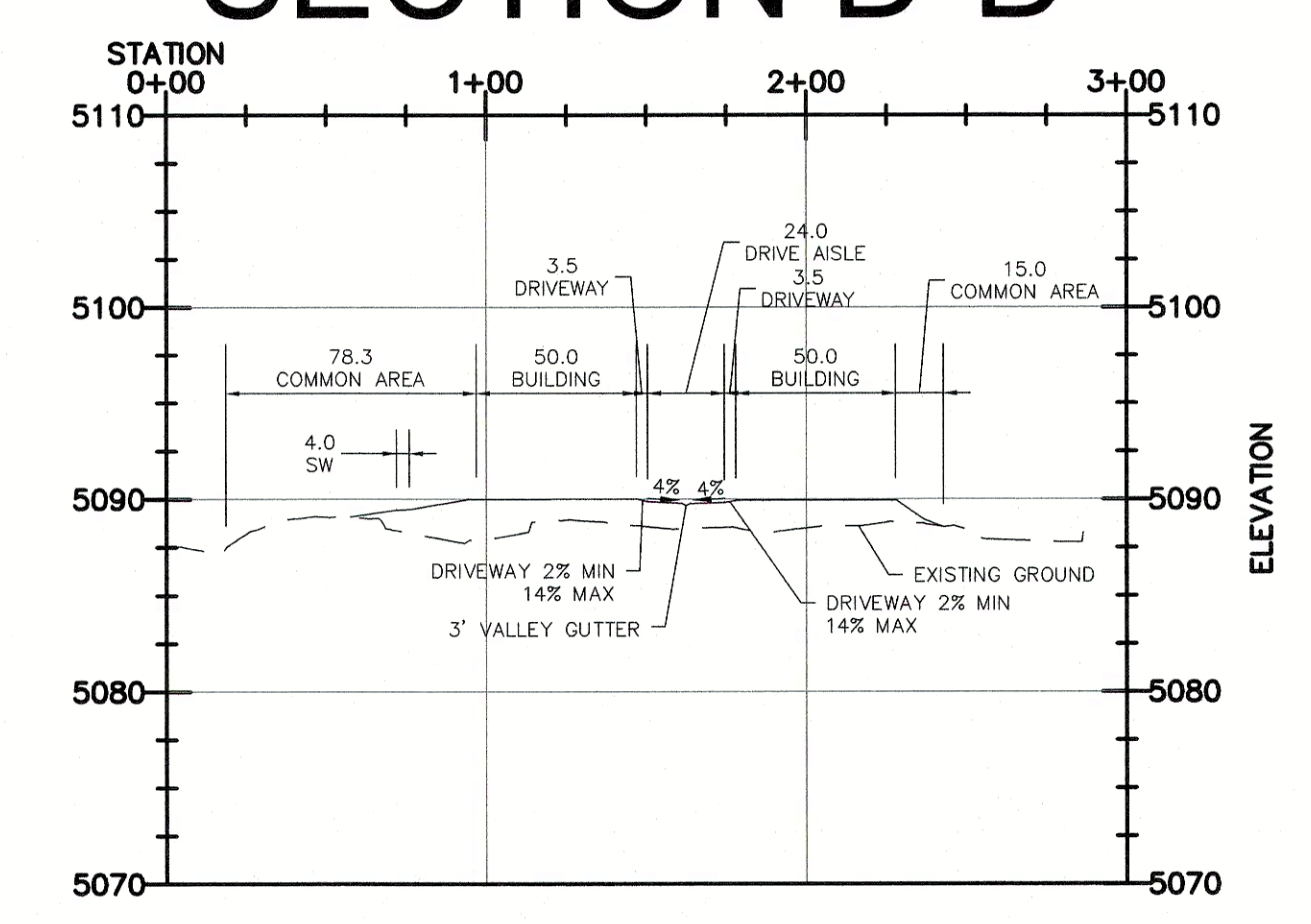
SECTION C-C'



SECTION B-B'



SECTION D-D'



REV.	DATE	DESCRIPTION	BY	APP'D

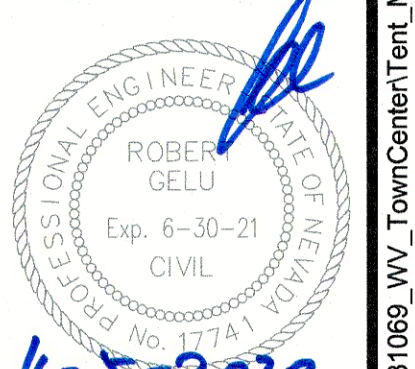
TENTATIVE MAP PLANS FOR
 WOODLAND VILLAGE TOWN CENTER
 CROSS SECTIONS

WASHOE COUNTY
 COLD SPRINGS
 NEVADA

DESIGNED BY: SD
 CHECKED BY: RG

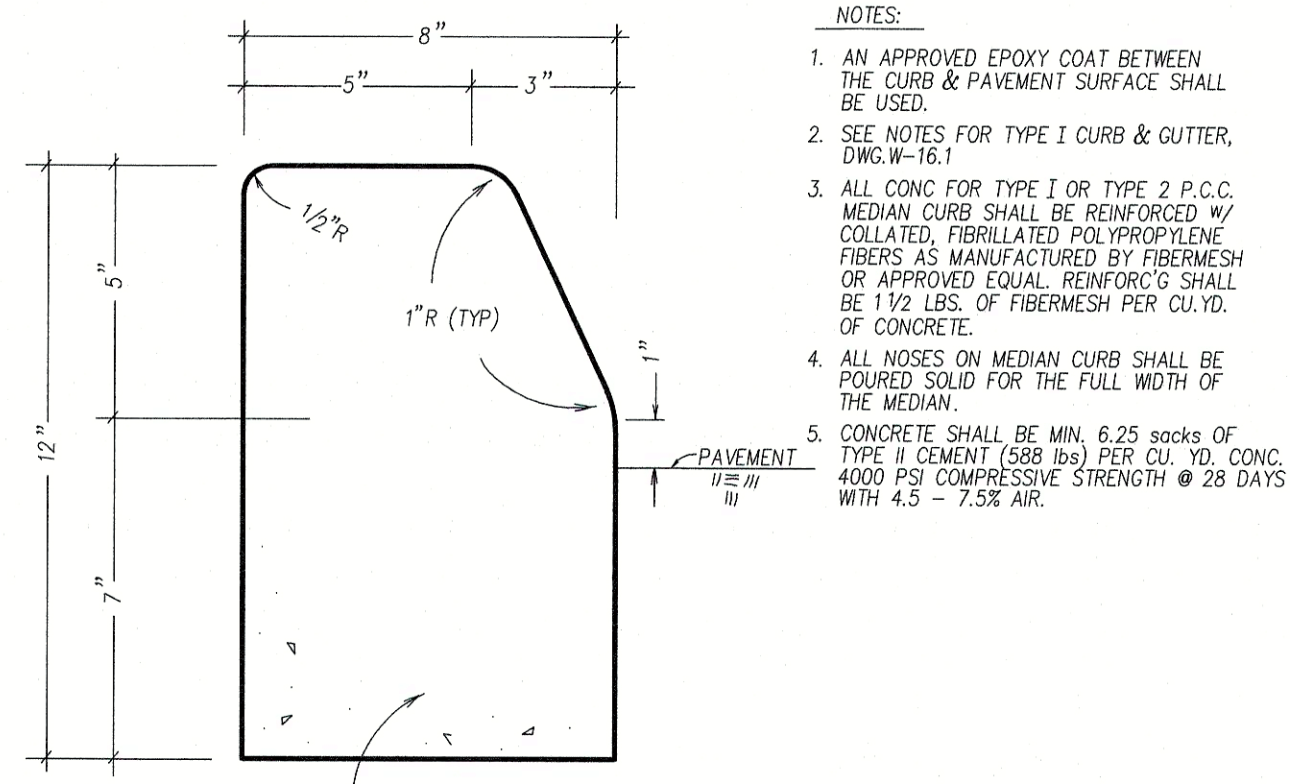
SCALE
 HORIZ: 1"=60'
 VERT: 1"=10'

JOB NO: 31069

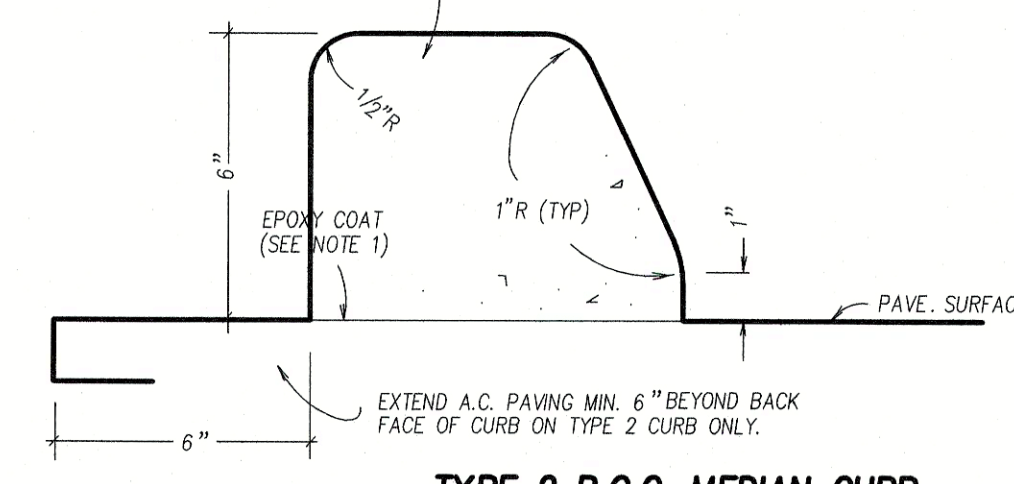


11-5-2020

SHEET X-1 OF 12

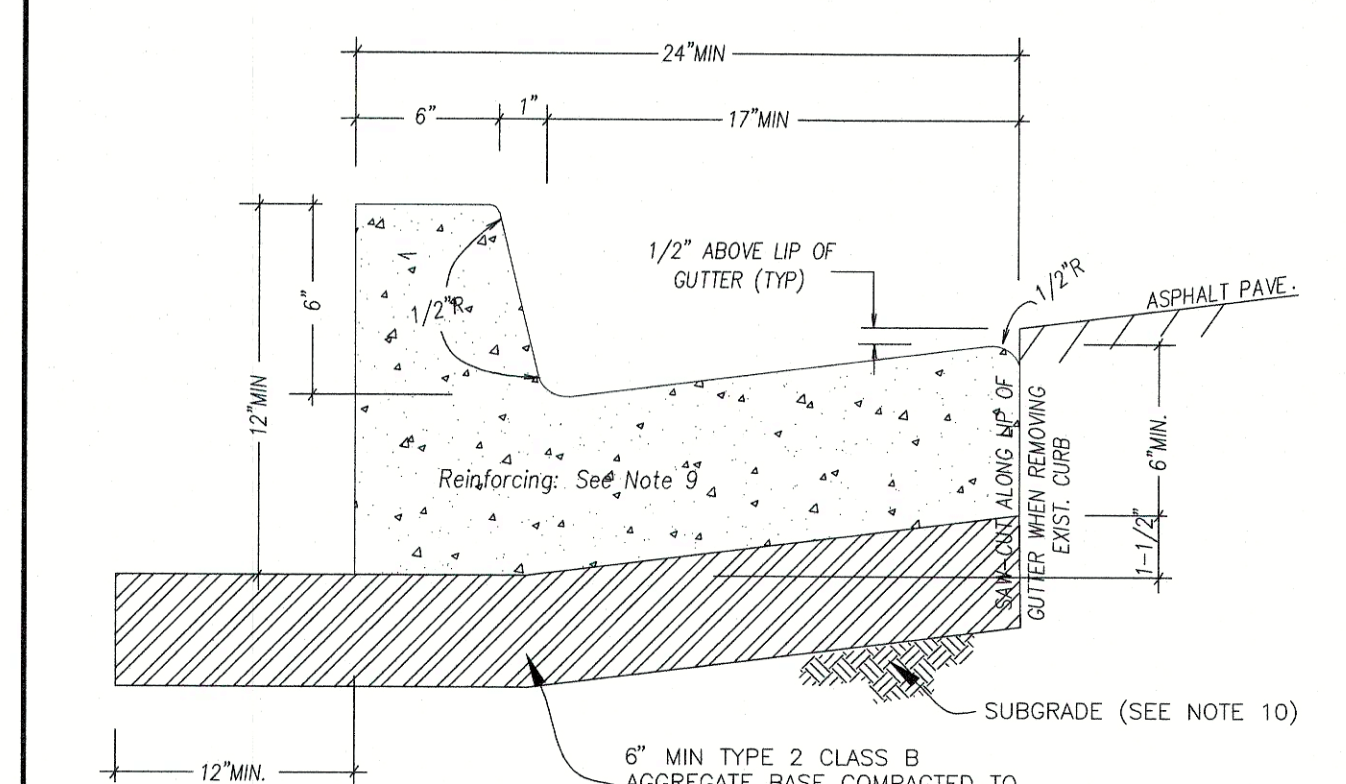


TYPE 1 P.C.C. MEDIAN CURB



TYPE 2 P.C.C. MEDIAN CURB

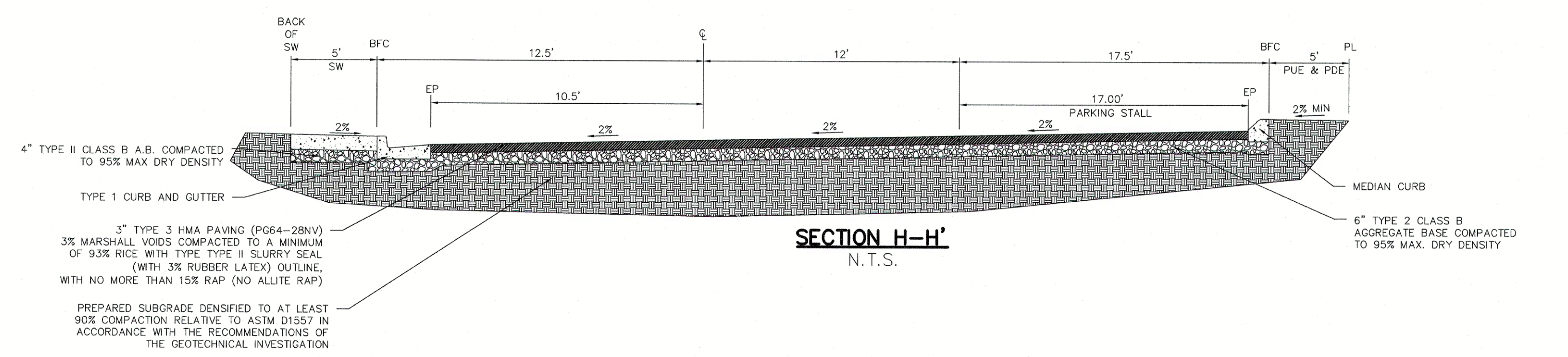
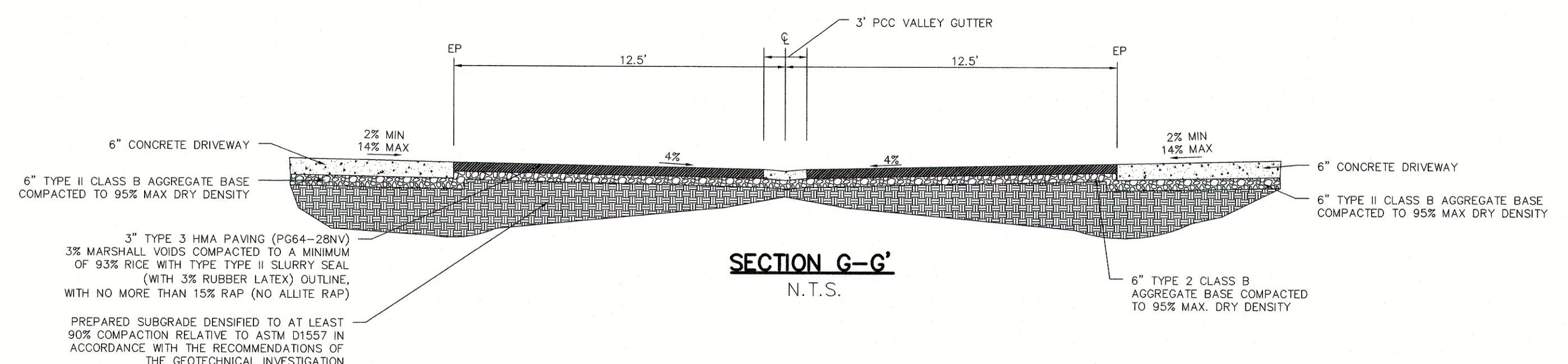
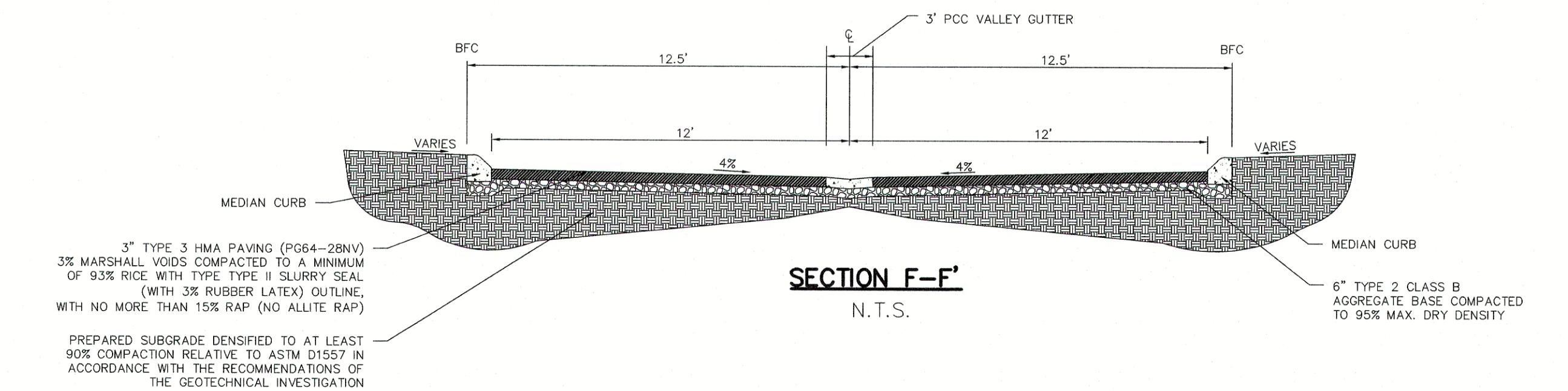
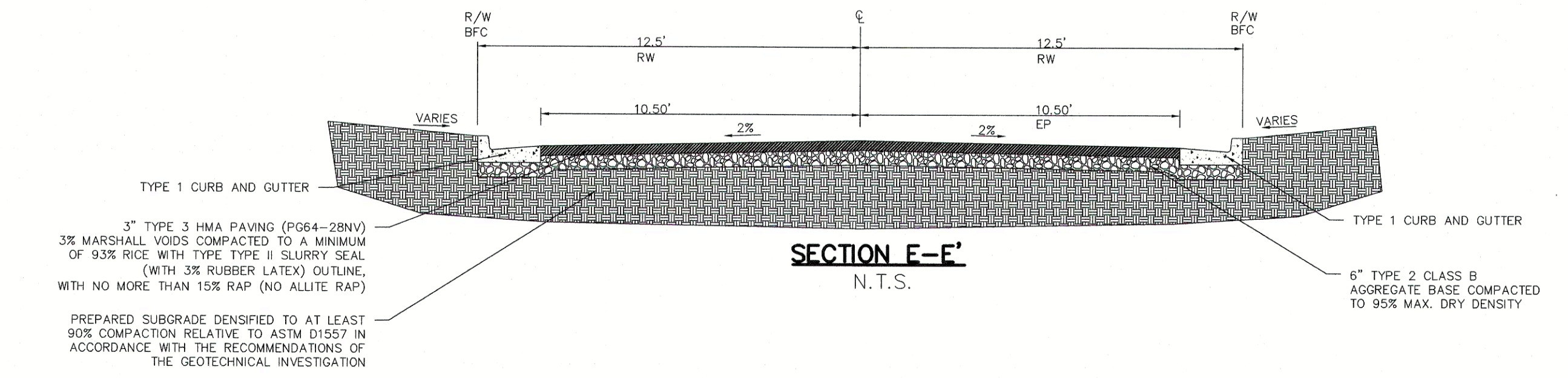
NO.	REVISIONS	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	REDRAW	11/92sp	P.C.C. MEDIAN CURB	WASHOE
2	Add notes	2/94sp		W-17
3	Add note 5	12/11sw		



SECTION TYPE I P.C.C. CURB & GUTTER

- NOTES
1. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL MEET THE FOLLOWING SPECIFICATIONS; 4,000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS W/ MIN. 6.25 SACKS OF TYPE II CEMENT (588 LBS) PER CUBIC YARD OF CONCRETE; WATER/CEMENT RATIO 0.45 MAX; AIR ENTRAINMENT SHALL BE 4.5% - 7.5%; SLUMP SHALL RANGE FROM 1" MIN TO 4" MAX. ALL MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
 2. CURB AND GUTTER SHALL HAVE WEAKENED PLANE JOINTS ON 10' CENTERS (MAX)
 3. AGGREGATE BASE SHALL BE TYPE 2 CLASS B COMPACTED TO 95% MINIMUM RELATIVE COMPACTION PER ASTM D-1557.
 4. EVAPORATION REDUCERS (SUCH AS CONFLIM) SHALL BE APPLIED IMMEDIATELY AFTER INITIAL CURING.
 5. FINISHING AND CURING SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE SSPWC.
 6. TESTING SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE SSPWC.
 7. CURB REMOVAL SHALL BE TO NEAT SAW-CUT-LINES
 8. NO EQUIPMENT SHALL BE PERMITTED ADJACENT TO OR ACROSS THE CURB UNTIL THE FOURTH DAY FOLLOWING PLACEMENT OF THE CONCRETE OR UNTIL THE CONCRETE HAS REACHED A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
 9. REINFORCING SHALL CONSIST OF COLLATED, FIBRILLATED, POLYPROPYLENE FIBERS AS MANUFACTURED BY FIBERMESH OR APPROVED EQUAL AND SHALL BE ADDED AT A RATE OF 1 1/2 LBS PER CUBIC YARD OF CONCRETE.
 10. CURB AND GUTTER SUBGRADE SHALL BE COMPACTED TO 90% MIN RELATIVE COMPACTION. IF EXPANSIVE OR UNSUITABLE MATERIALS ARE ENCOUNTERED AT SUBGRADE ELEVATION, THE SOILS SHALL BE OVER-EXCAVATED TO CONFORM TO THE SOILS REPORT OR REQUIREMENTS OF WASHOE COUNTY. THE SUBGRADE SHALL BE INSPECTED AND APPROVED BY WASHOE COUNTY PRIOR TO PLACEMENT OF AGGREGATE BASE.
 11. CURB AND GUTTER SHALL RECEIVE A LIGHT BROOM FINISH PARALLEL TO FLOW.

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	REDRAW	11/92sp	TYPE I P.C.C. CURB & GUTTER	WASHOE
2	NOTE 2a	1/94sp		W-16.1
3	NOTE 1	12/11sw		
4	Revisions	08/16sw		



BY	APPD	DESCRIPTION	DATE	REV.

TENTATIVE MAP PLANS FOR
WOODLAND VILLAGE TOWN CENTER
 DETAILS
 WASHOE COUNTY NEVADA
 COLD SPRINGS

DESIGNED BY: SD
 CHECKED BY: RG
 SCALE
 HORIZ: N.T.S.
 VERT:
 JOB NO: 31069



11-5-2020
 SHEET D-1 OF 12

LANDSCAPE DATA

SITE AREA = 242,673 SQ FT (5.6 ACRES)
 DEVELOPABLE SITE AREA = 221,929 SQ FT (5.1 ACRES)

ZONING: NC (NEIGHBORHOOD COMMERCIAL 10,000 SQ FT)

REQUIRED LANDSCAPE AREA = 44,386 SQ FT
 (20% OF DEVELOPABLE SITE AREA)



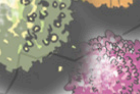



PROPOSED LANDSCAPE AREA = 44,386 SQ FT MIN.
 • PROVIDED LANDSCAPE AREA
 • EXISTING LANDSCAPE AREA

REQUIRED TREES = 162
 • 1 TREE PER 300 SQ FT OF REQUIRED LANDSCAPE AREA = 148
 • PARKING TREES = 14
 1 TREE PER 10 PARKING SPACES (136 SPACES PROVIDED)

PROPOSED TREES = 162
 • PROVIDED TREES = 135
 • EXISTING ONSITE TREES TO REMAIN = 27+/-

SHRUBS = 972
 6 SHRUBS PER REQUIRED TREE


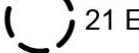
PLANT LEGEND

-  EXISTING TREES TO REMAIN
-  DECIDUOUS SHADE TREE
-  FLOWERING TREE
-  EVERGREEN TREES
-  LANDSCAPE AREA
-  EXISTING LANDSCAPE AREA

TREE PRESERVATION AND DEMOLITION NOTES

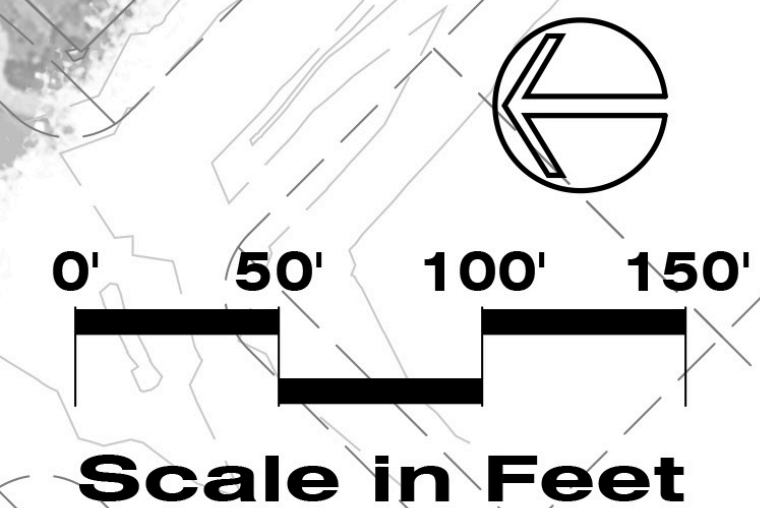
1. TREES TO REMAIN SHALL BE PRESERVED ACCORDING TO A TREE MITIGATION PLAN DEVELOPED BY A LANDSCAPE ARCHITECT OR CERTIFIED ISA ARBORIST IN ACCORDANCE WITH WASHOE COUNTY DEVELOPMENT CODE SECTION 110.412. 25 EXISTING VEGETATION (C) PRESERVATION OF SIGNIFICANT TREES.

2. 27 TREES WITH A DIAMETER OF 6" OR GREATER AT 54" HT. ARE TO BE REMOVED.

-  6 DECIDUOUS
-  21 EVERGREEN

GENERAL NOTES

1. ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
2. TREES
 - DECIDUOUS TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES.
 - 50% OF EVERGREEN TREES SHALL HAVE A MINIMUM HEIGHT OF 7 FEET, THE REMAINDER SHALL HAVE A MIN. HEIGHT OF 5 FEET.
 - TREES SHALL BE A MIXTURE OF CONIFEROUS AND DECIDUOUS VARIETIES.
3. FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOUND HORTICULTURAL PRACTICES RELATING TO MICRO-CLIMATE, SOIL, AND WATER REGIMES. ALL TREES WILL BE STAKED SO AS TO REMAIN UPRIGHT AND PLUMB FOLLOWING INSTALLATION. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1990).
4. ALL SHRUB BEDS WILL RECEIVE 3" DEPTH MULCH WITH WEED CONTROL.
5. ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED BASED ON THE SPECIFIC HORTICULTURAL REQUIREMENTS OF EACH SPECIES. A REDUCED-PRESSURE-TYPE BACKFLOW PREVENTOR WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.
6. PLAN IS CONCEPTUAL. PLANT QUANTITIES INDICATED ARE PER CITY OF RENO CODE REQUIREMENTS. PLANT LOCATIONS, FINAL SPECIES SELECTION, AND SIZE AT PLANTING SHALL BE DETERMINED DURING DEVELOPMENT OF THE FINAL CONSTRUCTION DOCUMENTS.



No.	Revision	Date

LA No: 082-512-04--20
 Designed: KRD
 Drawn: LA
 Checked: KRD
 Date: 11/9/2020