



Board of Adjustment Staff Report

Meeting Date: February 2, 2023

Agenda Item: 8A

AMENDMENT OF CONDITIONS CASE NUMBER:

WAC22-0012 (Copart Sublot) for CASE NUMBER WSUP20-0027

BRIEF SUMMARY OF REQUEST:

To amend a condition to extend the date of when the building permit is issued

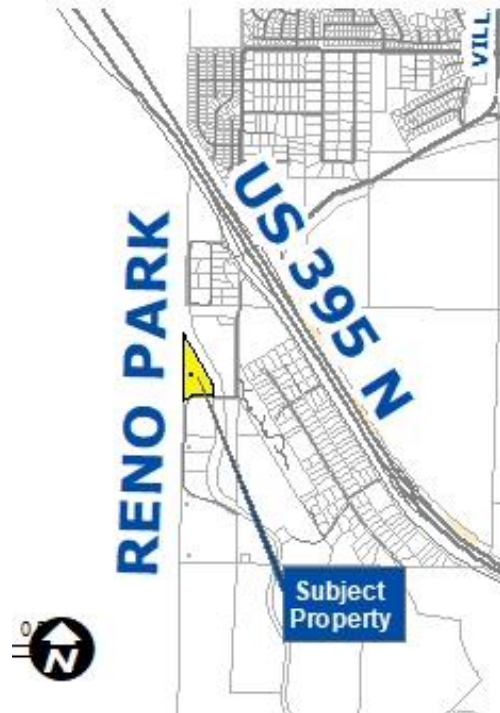
STAFF PLANNER:

Julee Olander, Planner
Phone Number: 775.328.3627
E-mail: jolander@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve an amendment of conditions to amend condition 1(c) for Case Number WSUP20-0027, to extend the requirement that the initial building permits be issued on or before February 4, 2023, to February 4, 2025.

Applicant/Owner:	Copart of Arizona, Inc
Location:	19905 Reno Park Blvd.
APN:	081-131-35/34
Parcel Size:	10.26/ 0.57 acres
Master Plan:	Industrial (I)
Regulatory Zone:	Industrial (I)
Area Plan:	Cold Springs
Development Code:	Authorized in Article 302, Allowed Uses & Article 810, Special Use Permits
Commission District:	5 – Commissioner Herman



Vicinity Map

STAFF RECOMMENDATION

APPROVE

**APPROVE WITH
CONDITIONS**

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Amendment of Conditions Case Number WAC22-0012 for Copart of Arizona, Inc, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30,

(Motion with Findings on Page 7)

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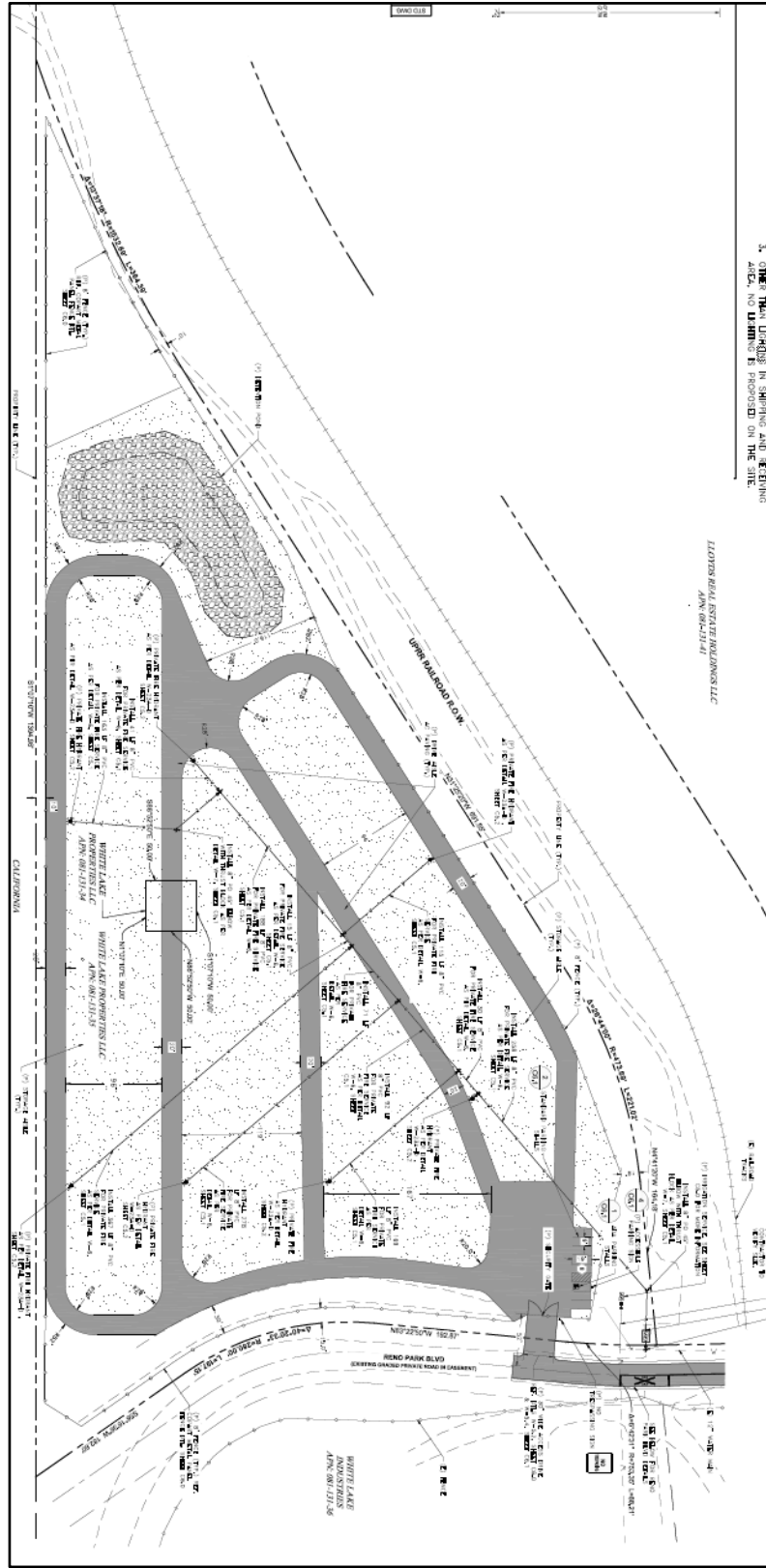
Amendment of Conditions

An amendment of conditions application is necessary in order to change a condition(s) of an approved discretionary permit, such as a special use permit, a variance, an abandonment of an easement or a tentative subdivision map. Some examples of why an amendment of conditions application is submitted are listed below:

- Change in operating hours
- Physical expansion
- Extend the expiration date of the discretionary permit
- Extend the time to complete phases of the approved project

The amendment of conditions request is required to be heard by the same board that approved the original application and only the specific amendment may be discussed and considered for approval. The amendment of conditions application is processed in the same manner as the original discretionary permit application, including a public hearing, noticing, possible involvement of a citizen advisory board, agency review and analysis, and satisfying the required findings. If the Board of Adjustment grants an approval of the amendment of conditions request, an amended Action Order is created along with amended conditions of approval.

The conditions of approval for Amendment of Conditions Case Number WAC22-0012 are attached to this staff report and will be included with the action order.



Site Plan

Background and Evaluation of Amendment Request

On February 4, 2021 the Board of Adjustment approved WSUP20-0027 for inoperable vehicle storage use type and major grading in the amount of approximately 6,465 cubic yards and a disturbance of approximately 9.3 acres (approximately 405,336 square feet). The request also eliminated all required landscaping in accordance with Article 412, Landscaping, and eliminated all required pavement in accordance with Article 410, Parking and Loading on the two parcels of land.

The applicant is now requesting to amend the conditions of approval for item 1c to read as follows:

The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before **February 4, 2025**. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

The request is to extend the date to issue the building permit to February 4, 2025. The extension is needed to allow the applicant time to finalize the railroad crossing with the Union Pacific Railroad (UPRR). The UPRR property is located along the eastern property line and a crossing permit is needed to access the site.

The applicant has applied for a building permit (WBLD21-105404), however the railroad crossing has not been approved by UPRR at this time. The application was conditioned by WSUP20-0027 to obtain the right to "traverse the UPRR to access the site". The applicant had been informed by the UPRR that the approval would come in September 2022 and that did not occur. The applicant is hopeful by extending the building permit requirement to February 4, 2025 will provide the needed time to finalized the railroad crossing with the UPRR.

Cold Springs Area Plan

The subject parcel is located within the Cold Springs Area Plan. There are no other relevant policies related to amending a special use permit condition to extend the date of when the building permit is issued.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Building & Safety	X			
Washoe County Engineering & Capital Projects	X	X		Robert Wimer, rwimer@washoecounty.gov
Washoe County Land Development (All Apps)	X			
Washoe County Sewer	X			
Washoe County Water Rights Manager (All Apps)	X	X		Timber Weiss, tweiss@washoecounty.gov
WCHD Environmental Health	X	X		James English, jenglish@washoecounty.gov
TMFPD	X	X		Brittany Lemon. blemon@tmfpd.us

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan.

Staff Comment: There are no policies or action programs within the Cold Springs Area Plan addressing the proposal to amend a special use permit condition to extend the date of when the building permit is issued. For this reason, the request is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan.

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The request to amend a special use permit condition to extend the date of when the building permit is issued will not impact utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities are either available or have been provided.

- (c) Site Suitability. That the site is physically suitable for the Inoperable Vehicle Storage use type and for Major Grading and for the intensity of such a development.

Staff Comment: The request to amend a special use permit condition to extend the date of when the building permit is issued will not impact the site suitability.

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The request to amend a special use permit condition to extend the date of when the building permit is issued will not impact the public health, safety or welfare; be injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the required noticing distance for this application. Therefore, there is no effect on a military installation.

Recommendation

Those agencies which reviewed the application recommended conditions in support of approval of the Amendment of Conditions request. Therefore, after a thorough review and analysis, Amendment of Conditions Case Number WAC22-0012 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Amendment of Conditions Case Number WAC22-0012 for Copart of Arizona, Inc, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for the Inoperable Vehicle Storage use type and for Major Grading, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant(s), unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant(s).

Applicant/ Property Owner: Copart of Arizona, Inc
matthew.strother@valfair.com

Representatives: CFA, Inc.
dsnelgrove@cfareno.com



Amended Conditions of Approval

Amendment of Conditions Case Number WAC22-0012

For Special Use Permit Case Number WSUP20-0027

The project approved under Amendment of Conditions Case Number WAC22-0012 for Special Use Permit Case Number WSUP20-0027 shall be carried out in accordance with the Amended Conditions of Approval granted by the Board of Adjustment on February 2, 2023. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the amendment of conditions approval regarding the Special Use Permit Case Number WSUP20-0027 shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the amended conditions of approval related to the Special Use Permit Case Number WSUP20-0027 is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the amended conditions imposed regarding the approved Special Use Permit Case Number WSUP20-00270 may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the amended conditions of approval related to this Special Use Permit Case Number WSUP20-0027 should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, Planner, 775.328.3627, jolander@washoecounty.gov

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this approval.**
- b. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before **February 4, 2025**. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- c. The applicant shall also meet all conditions of approval previously approved on January 20, 2022 by Special Use Permit WSUP21-0027 (Copart Sublot).

*** End of Amended Conditions ***



Date: December 27, 2022

To: Julee Olander, Planner

From: Robert Wimer, P.E., Licensed Engineer

Re: Special Use Permit Case WAC22-0003 – Extension of time for WSUP19-0003
APN: 061-010-49

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Amendment of Conditions case is to approve an Amendment of Conditions to extend the approval of Special Use Permit Case Number WSUP20-0027 for two additional years, until February 4, 2023. The Engineering and Capital Projects Division recommends approval with no comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by CFA, Inc.



QUALITY
PUBLIC SERVICE



INTEGRITY



EFFECTIVE
COMMUNICATION

WAC22-0012
EXHIBIT B

From: [Lemon, Brittany](#)
To: [Olander, Julee](#)
Cc: [Way, Dale](#)
Subject: Amendment of Conditions Case Number WAC22-0012 (Copart Sublot Amendment of Conditions)
Date: Monday, December 19, 2022 2:46:03 PM
Attachments: [image001.png](#)

Hi Julee,

We have no additional conditions aside from what was originally provided.

Thank you,

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



"Committed to excellence, service, and the protection of life and property in our community"

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

December 27, 2022

Washoe County Community Services
Planning and Development Division

RE: Copart Sublot Amendment of Conditions; 081-131-35 & 34
Amendment of Conditions; WAC22-0012

Dear Washoe County Staff:

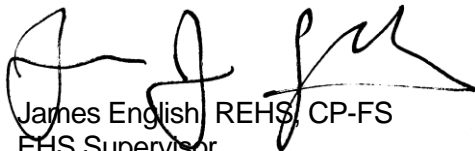
The following conditions are requirements of the Washoe County Health District, Environmental Health Services Division, (WCHD), which shall be responsible for determining compliance with these conditions.

Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: The WCHD has reviewed the above referenced project and has no concerns with the approval of the amendment of conditions.
- b) Condition #2: It is noted the parcels of the proposed project are served by community water and sewerage systems.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,



James English, REHS, CP-FS
EHS Supervisor
Environmental Health Services
Washoe County Health District



From: [Weiss, Timber A.](#)
To: [Olander, Julee](#)
Cc: [Behmaram, Vahid](#)
Subject: No water right comments for WAC22-0012
Date: Thursday, December 22, 2022 11:04:15 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

No water right comments for this amendment of conditions.

Thank you,



Timber Weiss, PE | Professional Engineer

Engineering & Capital Projects Division | Community Services Department

1001 E. 9th Street, Bldg A Reno, NV 89512

tweiss@washoecounty.gov | Office Voice Mail: 775.954.4626 or 775.433.0769

Visit us first online: www.washoecounty.us/csd

For additional information, email engineering@washoecounty.us or call 775.328.2040



From: [Landis, Rosa](#)
To: [Olander, Julee](#)
Cc: [Holly, Dan](#)
Subject: December Agency Reviews - Item 1, Memorandum 1
Date: Thursday, December 29, 2022 3:42:56 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Good afternoon Julee,

Please find Building's comments for item 1 on memorandum 1.

Item 1 – WAC22-0012 (Copart Sublot Amendment of Conditions)

No additional comments or conditions. Please extend any Building comments or conditions from the prior special use permit (WSUP20-0027) to this amendment of conditions.

Thank you,



Rosa Landis

ICC Certified Plans Examiner | Community Services Department

RLandis@washoecounty.gov | Direct Line: 775.328.2034

In-Office Hours: Mon & Tues, 7:30 am – 4:30pm

Visit us online: www.washoecounty.us/csd

For Building call: 775.328.2020

Building Email: building@washoecounty.gov

1001 E. 9th Street, Reno, NV 89512



Have some kudos to share about a Community Services Department employee or experience?

☆ [Submit a Nomination](#) ☆



WASHOE COUNTY
COMMUNITY SERVICES DEPARTMENT
Planning and Building

1001 EAST 9TH STREET
 RENO, NEVADA 89512-2845
 PHONE (775) 328-6100
 FAX (775) 328.6133

Board of Adjustment Action Order
Special Use Permit Case Number WSUP20-0027 (Copart Sublot)

Decision: Approval with Conditions
 Decision Date: February 4, 2021
 Mailing/Filing Date: February 10, 2021
 Applicant: Copart of Arizona, Inc.
 Assigned Planner: Roger Pelham, Senior Planner
 Washoe County Community Services Department
 Planning and Building Division
 Phone: 775.328.3622
 E-Mail: rpelham@washoecounty.us

Special Use Permit Case Number WSUP20-0027 (Copart Sublot) – For possible action, hearing, and discussion to approve a special use permit for Inoperable Vehicle Storage Use Type and to approve Major Grading in the amount of approximately 6,465 cubic yards and a disturbance of approximately 9.3 acres (approximately 405,336 square feet) and to eliminate all required landscaping in accordance with Article 412, Landscaping, and to eliminate all required pavement in accordance with Article 410, Parking and Loading on two parcels of land.

- Applicant: Copart of Arizona, Inc
- Property Owner: White Lake Properties, LLC
- Location: 19905 Reno Park Boulevard, approximately ½ mile southwest of its intersection with North Virginia Street
- APN: 081-131-35 and 081-131-34
- Parcel Size: ± 10.268 and ± .057 acres
- Master Plan: Industrial
- Regulatory Zone: Industrial
- Area Plan: Cold Springs
- Citizen Advisory Board: North Valleys
- Development Code: Authorized in Article 302, Allowed Uses and Article 438 Grading
- Commission District: 5 – Commissioner Herman

Notice is hereby given that the Washoe County Board of Adjustment granted approval with conditions for the above referenced case number based on the findings in accordance with Washoe County Development Code Article 302, Allowed Uses, and 810, Special Use Permit. If no appeals have been filed within 10 calendar days from the Mailing/Filing Date shown on this Action Order, the approval by the Washoe County Board of Adjustment is final. If filed, an appeal stays any further action on the decision until final resolution of the appeal. An appeal shall be filed in accordance with the provisions found in Article 912 of the Washoe County Development Code.



To: Copart of Arizona, Inc.
Subject: Special Use Permit Case Number WSUP20-0027
(Copart Sublot)
Date: February 10, 2021
Page: 2

The action was based on the following findings in accordance with Washoe County Code Section 110.810:30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for the Inoperable Vehicle Storage use type and for Major Grading, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

This Action Order is issued subject to the attached conditions and Washoe County development standards. Please contact the planner assigned to your project at the above-referenced phone number within 7 days of receipt of this Order to review the steps necessary to satisfy the Conditions of Approval. Any business license, certificate of occupancy, or final approval shall not be issued until all of the Conditions of Approval are satisfied. Additionally, compliance shall be required with all federal, state, and local statutes, ordinances, and regulations applicable to the approved project.

This Action Order does not authorize grading or building without issuance of the necessary permits from the Washoe County Planning and Building Division.

Washoe County Community Services Department
Planning and Building Division



Trevor Lloyd
Secretary to the Board of Adjustment

TL/RP/df

Attachments: Conditions of Approval

Applicant: Copart of Arizona, Inc.
Attn: Amy Clark and Randy Racine
14185 Dallas Parkway, Suite 300
Dallas, TX 75254

To: Copart of Arizona, Inc.
Subject: Special Use Permit Case Number WSUP20-0027
(Copart Sublot)
Date: February 10, 2021
Page: 3

Owner: White Lake Properties, LLC
Attn: Joel Coviello
18124 Wedge Parkway, Suite 207
Reno, NV 89511

Representatives: CFA, Inc
Attn: Dave Snelgrove
1150 Corporate Blvd,
Reno, NV 89502

Action Order xc: Mike Large, District Attorney's Office; Keirsten Beck, Assessor's Office;
Rigo Lopez, Assessor's Office; Tim Simpson, Utilities; Leo Vesely,
Engineering and Capital Projects; Dale Way, Truckee Meadows Fire
Protection District; Nevada Division of Environmental Protection, 901
South Stewart Street, Suite. 4001, Carson City, NV 89701-5249; Regional
Transportation Commission; Truckee Meadows Regional Planning
Agency; North Valleys Citizen Advisory Board



Conditions of Approval

Special Use Permit Case Number WSUP20-0027

The project approved under Special Use Permit Case Number WSUP20-0027 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on February 4, 2021. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, 775.328.3622, rpelham@washoecounty.us

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit, and as required to be modified to comply with these conditions of approval. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2023. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. A business license must be obtained for the new use, prior to any industrial activity on the subject site.
- e. The required screening fence shall be setback at least 5 feet from the property lines on the eastern and western sides of the site. The required screening fence shall be placed at the front yard setback line on the south. The fence shall be 8 feet in height. The fence shall be tan, sage, or another color acceptable to the Director of Planning and Building that blends in with the surrounding topography. The fence shall be constructed of metal panels as noted in the application materials. Barbed wire may not be installed above the metal panels.
- f. Landscaping shall consist of one evergreen tree for each 20 feet of site frontage on Reno Park Boulevard. Trees may be clustered for a more natural appearance. The trees shall be placed between the screening fence and the property line, adjacent to the roadway. Permanent irrigation shall be provided to all trees in accordance with Article 412.
- g. All disturbed areas shall be permanently stabilized with native vegetation, including the required landscape area adjacent to Reno Park Boulevard. Temporary irrigation shall be provided to all disturbed areas for a period of not less than three years, and for as long as necessary until the disturbed areas contain native vegetation equal to 70 percent of native vegetation on adjacent, undisturbed areas.
- h. Plans for this project shall demonstrate compliance with all generally applicable Development Code requirements, with the exception of Landscaping, which shall be modified as noted in Conditions 1f and 1g.
- i. Grading shall include importation of fill on the south side of the project, such that the front yard setback area is raised in elevation approximately level with Reno Park Boulevard.
- j. No well may be drilled or utilized on this parcel for commercial purposes without the benefit of valid ground water rights as required and approved by the Nevada State Engineer's

office. The applicant shall also be aware that the acquisition of any ground water rights in the Cold Springs Valley will be extremely challenging and may be impossible.

- k. Operation of the facility shall be limited to daylight hours only.
- l. All interior drive isles and driveways shall be permanently stabilized with asphalt surfacing acceptable to the County Engineer.
- m. All required parking areas shall be permanently stabilized with asphalt surfacing acceptable to the County Engineer, and in conformance with applicable standards of Article 412.
- n. The following **Operational Conditions** shall be required for the life of the business:
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
 - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 - iv. This special use permit shall remain in effect as long as the business is in operation and maintains a valid business license.
- o. Prior to approval of any building or grading permit for the proposed use, the applicant shall provide documentation, acceptable to Washoe County, that the applicant has a right to traverse the Union Pacific Railroad to access the subject site, for an industrial use.
- p. At least 8 parking spaces shall be provided on site (one of which will be an accessible parking space) to accommodate employees who will need to come to the site from time-to-time to move, pick-up or place a vehicle at the site. Should a formal building or structure be placed on the site in the future allowing employees to be based at this site for daily work, parking will need to be increased to meet the code requirement at the time of building permit submittal for the building/structure.

Washoe County Engineering and Capital Projects

- 2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely, P.E. (775) 328-2041

- a. A complete set of construction improvement drawings, including an on-site grading plan/slope stabilization plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.

- b. The applicant shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading or building permit.
- c. The applicant shall complete and submit the Construction Permit Submittal Checklist and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit.
- d. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading revegetation bond shall be provided to the Engineering Division prior to approval of the grading or building permit.
- e. All grading shall be in accordance with Washoe County Code Article 438 Grading Standards.
- f. The pavement on Reno Park Boulevard shall be extended to the project entry and shall meet Washoe County standards for private streets.
- g. All disturbed areas not covered with hardscape, gravel or road base shall be revegetated. Seed mix shall be designed by a licensed landscape architect.
- h. A drainage report prepared by a licensed engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- i. Any increase in peak stormwater runoff flow rate resulting from the development and based on the 5 year and 100 storm(s) shall be detained onsite.

Truckee Meadows Fire Protection District

- 3. The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions.

Contact Name – Dale Way / Brittany Lemon, 775.326.6000, dway@tmfpd.us / blemon@tmfpd.us

- a. The Truckee Meadows Fire Protection District (TMFPD) will require that this project meet all applicable requirements of Washoe County Code 60 to include infrastructure, access, and water for fire suppression.

*** End of Conditions ***

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Copart 10 Acre Sublot - Amendment to Conditions for Time Extension			
Project Description: Amendment to a condition of approval relating to time limits for approval of building permit (Condition 1.C) from WSUP20-0027.			
Project Address: 19905 & 18995 Reno Park Boulevard, Washoe County, NV 89508			
Project Area (acres or square feet): +/-10.268 acres and +/-0.57 acres.			
Project Location (with point of reference to major cross streets AND area locator): 19905 Reno Park Boulevard approximately 1/2 mile southwest from its intersection with North Virginia Street.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
081-131-35	+/-10.268		
081-131-34	+/-0.57		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WSUP20-0027			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Copart of Arizona, Inc		Name: CFA, Inc	
Address: 14185 Dallas Parkway, Suite 300		Address: 1150 Corporate Boulevard	
Dallas, TX	Zip: 75254	Reno, NV	Zip: 89502
Phone: (972) 391-5088	Fax:	Phone: 775-856-7073	Fax:
Email: matthew.strother@valfair.com		Email: dsnelgrove@cfareno.com	
Cell:	Other:	Cell:	Other:
Contact Person: Matt Strother		Contact Person: David Snelgrove, AICP	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Copart of Arizona, Inc		Name:	
Address: 14185 Dallas Parkway, Suite 300		Address:	
Dallas, TX	Zip: 75254		Zip:
Phone: (972) 391-5088	Fax:	Phone:	Fax:
Email: matthew.strother@valfair.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Matt Strother		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Amendment of Conditions Application Supplemental Information

(All required Information may be separately attached)

Required Information

1. The following information is required for an Amendment of Conditions:
 - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
 - b. Identify the specific Condition or Conditions that you are requesting to amend.
 - c. Provide the requested amendment language to each Condition or Conditions, and provide both the **existing** and **proposed condition(s)**.

Requested with this application is an amendment to condition #1.C under the Washoe County Planning and Building Division portion of the approved special use permit (WSUP20-0027). The request is made due to delays associated with obtaining the final permit approval for the railroad crossing that is necessary in condition 1.o. of the action order conditions for WSUP20-0027. UPRR has a very lengthy process of which the applicant has no control of the ultimate timeframe for obtaining the final permit. A building permit (WBLD21-105404) is nearing completion of review and the rail permit necessary under condition 1.o. is one of the final items needed and is not in the applicant's control from a timing standpoint.

Please see the provided Request Description for additional detail for the request.

2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

The proposed amendment to Condition #1.C under the Washoe County Planning and Building Division portion of WSUP20-0027 will not cause any adverse impacts to public health, safety of welfare.

Copart 10 Acre Sublot – Amendment to Condition for Time Extension

Request Description

This request to amend condition 1.c from the approval of WSUP20-0027 is made due to delays in working with Union Pacific Railroad (UPRR) for the formal permit approval for the rail crossing improvements. Condition 1.o. from the county approval requires that documentation of the applicant's right to traverse the UPRR line be provided prior to the approval of any building permit for the project. Significant work and coordination have been accomplished with UPRR inclusive of design of the crossing improvements to meet the UPRR standards and requirement, however UPRR's process can be very slow. The project applicant had been previously informed by UPRR that the final approval of our permit would likely come in September of 2022, but that did not occur. We are hopeful for the permit to be approved soon but cannot jeopardize our Washoe County approval while awaiting the final permit approval.

To safeguard the County approval in light of this outside party approval that is out of the control of the applicant, it is requested that condition #1.c be amended. The specific request is to change the current date/deadline for approval of initial building permits from February 4, 2023 to February 4, 2025. This request equates to a two-year extension of time. We are very hopeful that the UPRR permit approval is provided very soon. However, since we have no control over the review and approval timeframe of UPRR, we have requested a two-year extension to provide (what we feel) is more than sufficient time to assure that the UPRR approval can be provided, allowing for the issuance of the building permit by Washoe County. We do not want to find ourselves in the situation where we must come back to request additional time should a shorter timeframe be requested or approved.

Following is the identification of the existing and proposed condition language.

Existing Condition Language

1.c The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2023. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

Proposed Condition Language

1.c The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2025. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

COPART - 10 ACRE SUBLOT

19905 RENO PARK BLVD.

RENO, NV 89508

APN: 081-131-35

WAC22-0012
EXHIBIT D

OWNER/DEVELOPER: _____

COPART, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254

CIVIL ENGINEER: _____



GEOTECHNICAL ENGINEER _____
CORESTONE ENGINEERING
10751 GRAYSLAKE DR.
RENO, NEVADA 89521

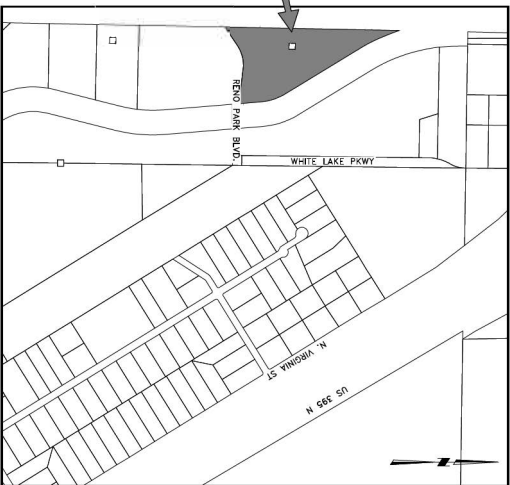
BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE, NAD83(4) BASED, IRON WASTICE COUNTY REFERENCE POINT AT ORIGINAL ELEVATION OF 1000.000 FEET ON A SCALING FACTOR OF 1.000179289.

BASIS OF ELEVATIONS

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED UPON GPS OBSERVATIONS UTILIZING SURVEY ST.

PROJECT
SITE

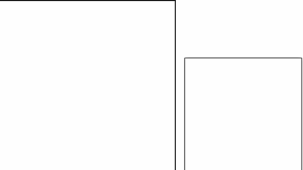


Sheet Number	Sheet Title
C1.0	TITLE SHEET
C1.1	GENERAL NOTES
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	SWPPP
C5.0	UTILITY PLAN
C5.1	UTILITY DETAILS
C5.2	UTILITY DETAILS
C5.0	CIVIL DETAILS
C6.1	CIVIL DETAILS
L1	LANDSCAPE COVER SHEET
L2	LANDSCAPE PLAN
L3	IRRIGATION PLAN
L4	LANDSCAPE AND IRRIGATION DETAILS



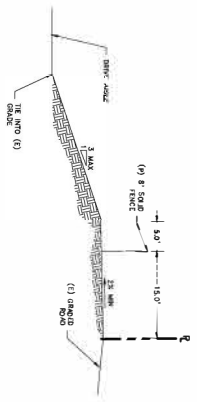
DATE	REVISIONS	BY

PERMIT RESUBMITTAL
04/05/2022



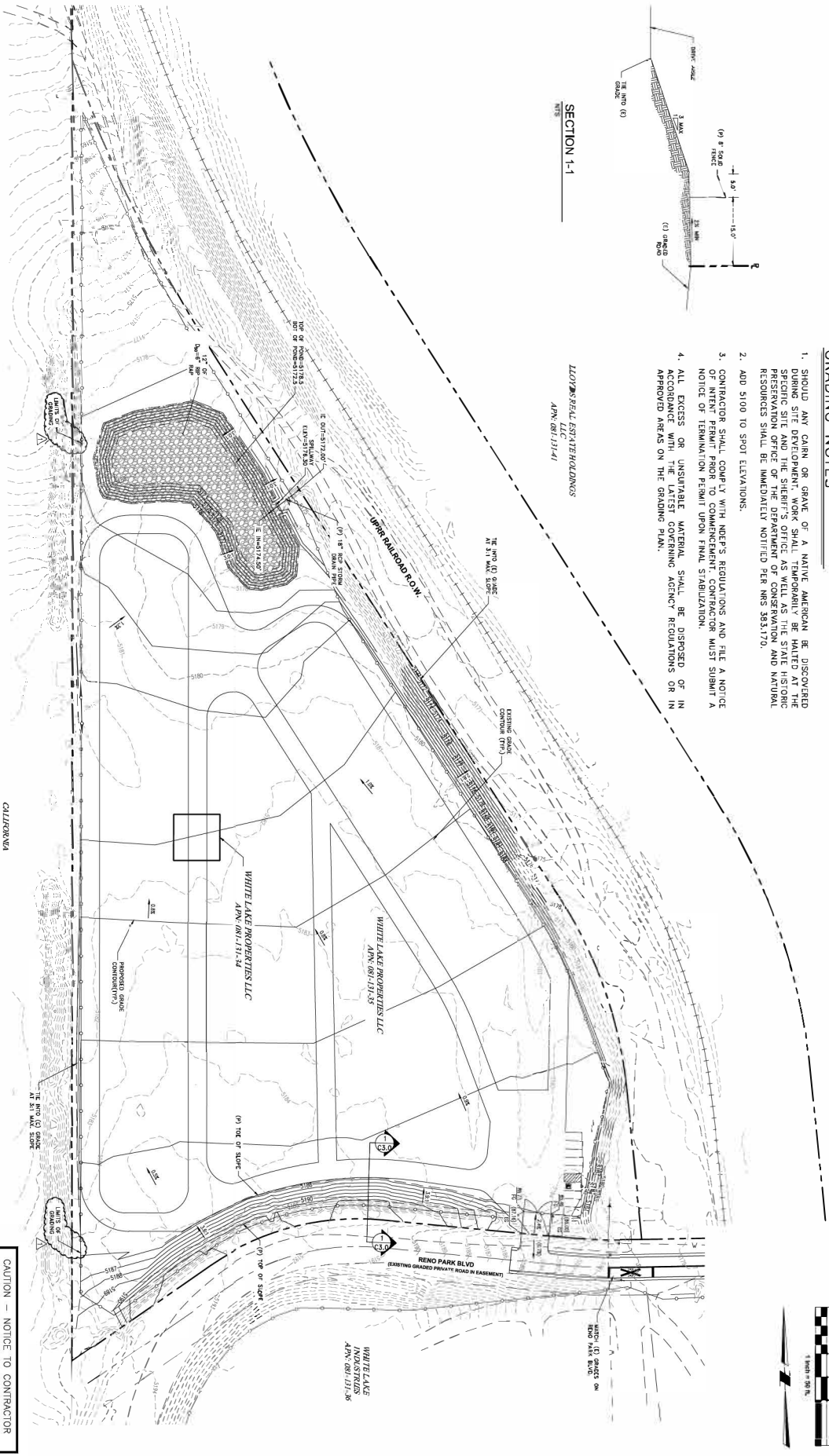
GRADING NOTES

1. SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE, AS WELL AS THE STATE HISTORIC RESOURCES OFFICE, BE NOTIFIED OF THE DISCOVERY. CONSTRUCTION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 583.170.
2. ADD 5100 TO SPOT ELEVATIONS.
3. CONTRACTOR SHALL COMPLY WITH NCEPS REGULATIONS AND FILE A NOTICE OF CONSTRUCTION WITH THE STATE ENGINEER. CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION PERMIT UPON FINAL STABILIZATION.
4. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN APPROVED AREAS ON THE GRADING PLAN.



SECTION 1-1
NRS

LOT 2895611 ESTATE HOLDINGS
APN: 08113141



Cut/Fill Summary

NAME	Cut/Fill	CHG	NCE
White Lake Properties LLC	1,000	388623 SQ. FT. 8930 CU. YD.	13096 CU. YD. 8101 CU. YD. 42113
White Lake Properties LLC	1,000	388623 SQ. FT. 8930 CU. YD.	13096 CU. YD. 8101 CU. YD. 42113

CAUTION - NOTICE TO CONTRACTOR

1. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL SPOT ELEVATIONS AND CONTOUR LINES SHOWN ON THIS GRADING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES SHOWN ON THIS GRADING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT.

1. (VARIABLE) 8/20/2022 (REV) 11/17/2022 12:37 PM

WAC22-0012 EXHIBIT D

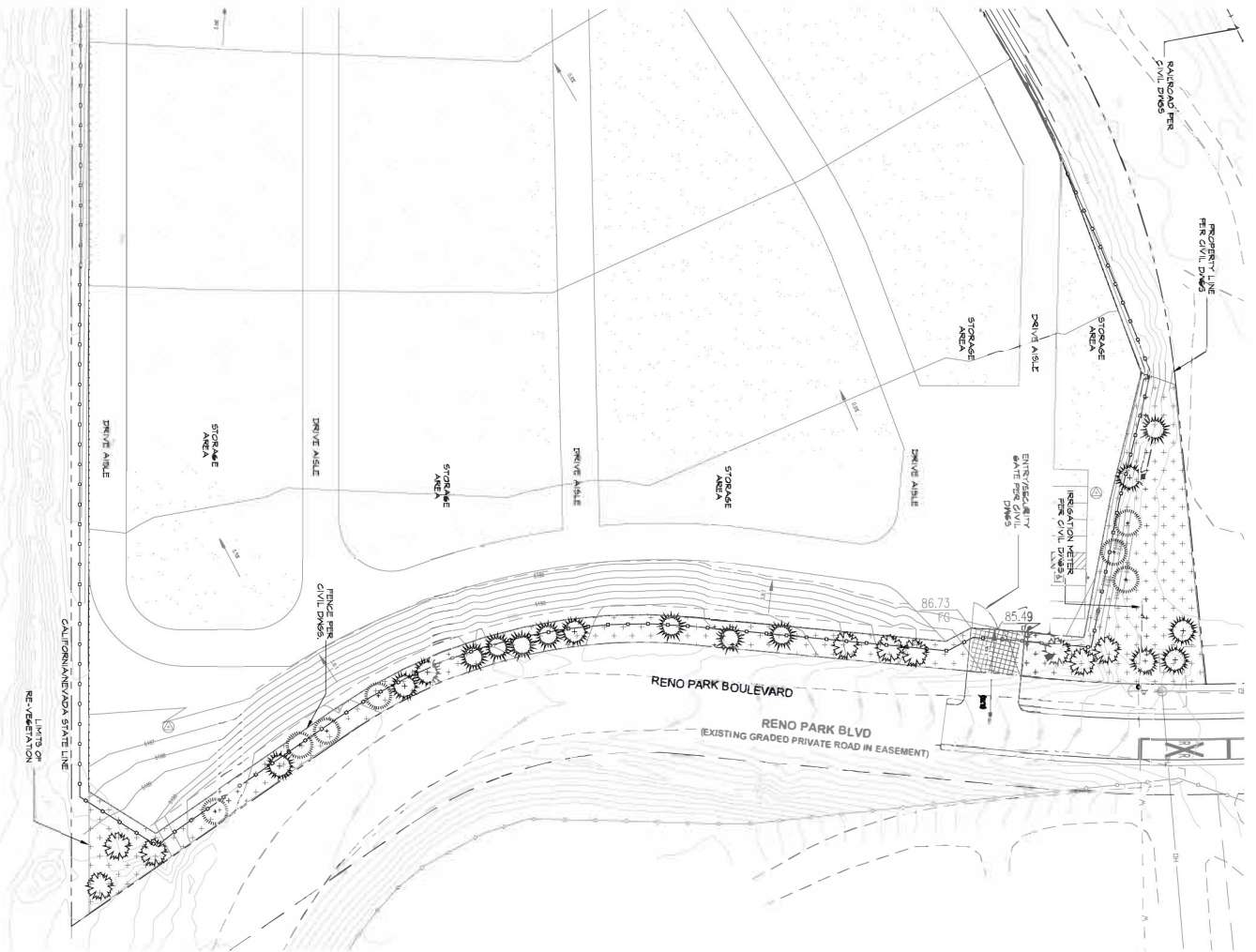


CFA, INC.
LAND SURVEYORS
CIVIL ENGINEERS
LICENSED IN NEVADA
150 COMPANIE, (603.5) 500 • DESIG, NEVADA 89502
775-665-1500 FAX • 775-665-1462 FAX • CFA@CFAINC.COM

COPART - 10 ACRE SUBLT
CIVIL IMPROVEMENT PLANS
GRADING PLAN
19905 RENO PARK BLVD.
RENO, NV 89508

DATE	4/1/2022
DESIGNED BY	4/1/2022
CHECKED BY	4/1/2022
DATE	4/1/2022

SHEET
C3.0
4 OF 14



RE-VEGETATION SPECIFICATIONS WITH TEMPORARY IRRIGATION

1. SITE RE-VEGETATION SHALL BE LIMITED TO PLANT SPECIES LISTED IN THE ATTACHED SPECIFICATION SHEET. CONTRACTOR SHALL PROVIDE DAILY CARE FOR ALL PLANTS THROUGHOUT THE GROWING SEASON.
2. CONTRACTOR SHALL MAINTAIN ALL PLANTS THROUGHOUT THE GROWING SEASON. CONTRACTOR SHALL PROVIDE DAILY CARE FOR ALL PLANTS THROUGHOUT THE GROWING SEASON.
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PLANT LEGEND

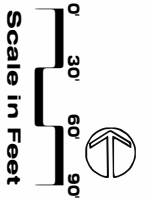
SWM	QTY	BOTANICAL NAME/COMMON NAME	MIN. HT.
	4	ARIS CONCOLORATE PINE	7-11'
	8	CAREXUS SERRANIZONIA CYPRESS	7-11'
	7	JUNIPERO OCCIDENTALIS/WESTERN JUNIPER	7-11'
	8	PIUS NEPALENSIS PINE	7-11'

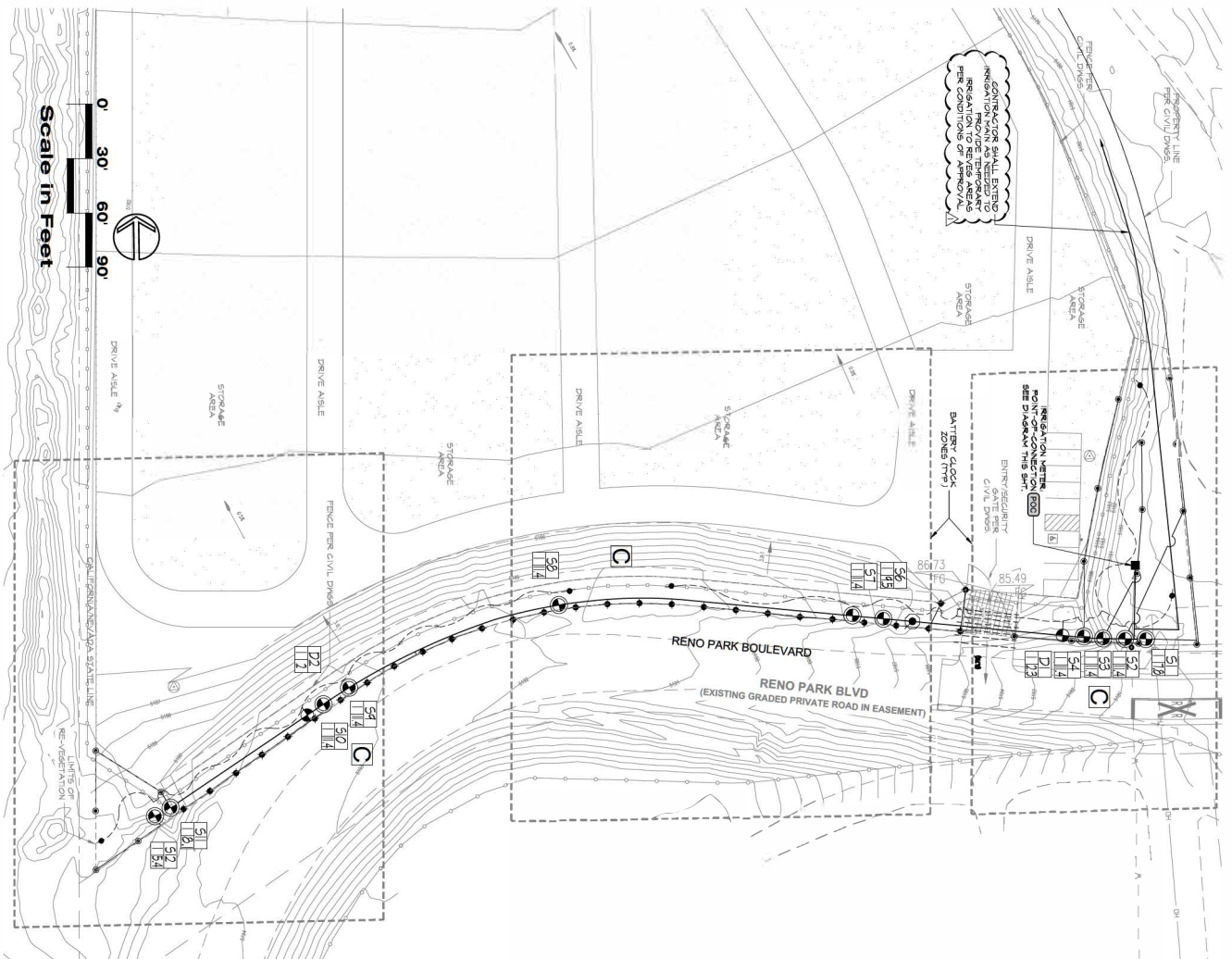
IRRIGATED PERMANENT RE-VEGETATION SEEING PER SPECIFICATIONS THIS SHEET

NOTE TO CONTRACTOR: THE QTY'S ARE LIMITED AT MARICOPA COUNTY CODE MINIMUM REQUIREMENTS. ANY NEEDS EXCEEDING AT LEAST THAN CODE MINIMUM SHALL BE RELAYED AT CONTRACTOR'S EXPENSE.

SEED BLEND	PER SQUARE
40% ARIS CONCOLORATE PINE	1,600
40% CAREXUS SERRANIZONIA CYPRESS	3,200
10% JUNIPERO OCCIDENTALIS/WESTERN JUNIPER	800
10% PIUS NEPALENSIS PINE	800
TOTAL PER SQUARE	6,400

NEED AVAILABLE FROM CONTRACTOR'S SEED SOURCE





DRIP IRRIGATION LEGEND

- C 6" MAINLINE PIPING
- M 1" MAINLINE PIPING
- N 1/2" MAINLINE PIPING
- 1 1" RAIN BIRD
- 2 2" RAIN BIRD
- 3 3" RAIN BIRD
- 4 4" RAIN BIRD
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- 100 100" RAIN BIRD

PIPE SIZE	EMITTER RATE
1/2" SCH 40	1.80 GPM
3/4" SCH 40	2.25 GPM
1" SCH 40	2.80 GPM
1 1/2" SCH 40	3.50 GPM
2" SCH 40	4.50 GPM
2 1/2" SCH 40	5.70 GPM
3" SCH 40	7.10 GPM

