

Community Services Department
Planning and Development
**DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION**



Community Services Department
Planning and Development
1001 E. Ninth St., Bldg A
Reno, NV 89520

Telephone: 775.328.3600

Property Owner Affidavit

Applicant Name: Jane M. Iveson

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Jane M. Iveson
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 040-640-08

Printed Name Jane M. Iveson

Signed Jane M. Iveson

Address 4196 Plateau Ct
Reno, NV 89519

Subscribed and sworn to before me this 31 day of May, 2016.

(Notary Stamp)

Melissa Davis
Notary Public in and for said county and state

My commission expires: 2-17-2020



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship



NOTICE OF TAXES

WASHOE COUNTY, NEVADA

TAMMI DAVIS - TREASURER

tax@washoecounty.us

Fiscal Year July 1, 2015 - June 30, 2016

Annual Real Property - Tax Year 2015

www.washoecounty.us/treas

PHONE (775) 328-251

FAX (775) 328-250

OFFICE LOCATION

1001 E. NINTH ST-BLDG D RM 1

RENO NV 89512 Mon - Fri 8am - 5pm

TAX YEAR	PARCEL NUMBER	NAME	PROPERTY LOCATION AND DESCRIPTION
2015	04064008	IVESON FAMILY TRUST	TIMOTHY CT
AREA	TAX RATE	IVESON TTEE, TIMOTHY L & JANE M	Range 19 Township 18 SubdivisionName
4005	3.2402		_UNSPECIFIED Section 1
ASSESSED VALUATION			EXEMPTION VALUES
LAND VALUE		157,500	EXEMPTION VALUE
IMPROVEMENT VALUE		0	
TOTAL ASSESSED VALUE		157,500	TOTAL EXEMPTION VALUE

ACCOUNT SUMMARY

GROSS AD VALOREM TAX	\$5,103.33
ABATEMENT AMOUNT	\$0.00
ABATEMENT APPLIED LIMITS INCREASE TO 3.2%	
RECAPTURE TAX AMOUNT	\$0.00
NET AD VALOREM TAX (DETAIL BELOW)	\$5,103.33
EXEMPTION AMOUNT	\$0.00
SPECIAL ASSESSMENTS	\$26.60
PENALTIES	\$0.00
FEES	\$0.00
INTEREST	\$0.00
TOTAL AMOUNT BILLED	\$5,129.93
LESS PAYMENTS APPLIED	\$0.00
BALANCE REMAINING	\$5,129.93
PRIOR YEAR DELINQUENCIES	\$0.00
TOTAL AMOUNT OWING	\$5,129.93

PAYMENT CAN BE MADE

1. Online at www.washoecounty.us/treas
2. Smartphone scan the QR code on the payment coupon
3. By check or money order payable to:

WASHOE COUNTY TREASURER

P O BOX 30039

RENO NV 89520-3039

IF PAYING BY CHECK INCLUDE APPROPRIATE COUPONS AND REFERENCE PARCEL NUMBER ON ALL PAYMENTS AND CORRESPONDENCE TO ASSURE PROPER CREDIT.

IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO ENSURE THAT PAYMENT IS RECEIVED.

SEE REVERSE FOR IMPORTANT INFORMATION

BILLING DETAIL

TAXING AGENCY	RATE	AMOUNT	SPECIAL ASSESSMENTS	RATE	AMOUNT
STATE OF NEVADA	0.17000000	\$267.75	TRUCKEE MDW UNGR WATER		\$1.00
TRUCKEE MEADOWS FIRE DIST	0.54000000	\$850.50	WATER DISTRICT		\$25.60
SCHOOL DEBT	0.38850000	\$611.89			
SCHOOL GENERAL	0.75000000	\$1,181.25			
COUNTY GENERAL	1.32680000	\$2,089.72			
COUNTY DEBT	0.03490000	\$54.97			
ANIMAL SHELTER OP	0.03000000	\$47.25			

SEE ENCLOSED COUPONS FOR DUE DATES AND AMOUNTS DUE.

This notice is for your information, DO NOT consider this an attempt to collect if this property is protected by a bankruptcy proceeding. We ask that you contact our office to verify we have received a notice of bankruptcy.

Please notify our office if your mailing address has changed by using one of the methods listed on the reverse side of this form.

PARCEL NUMBER 04064008

IVESON FAMILY TRUST
4196 PLATEAU CT
RENO NV 89519-2960



New Address:

040640

Notes - pd 1st installment ~~8/20/15~~ 1/4/15
 pd 2nd installment ~~10/5/15~~ 8/20/15
 pd 3rd installment ~~8/20/15~~ 10/5/15
 pd 4th installment 3/7/16

SIGNATURE

PHONE NUMBER

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: DETACHED GARAGE WITH DWELLING OFF TIMOTHY DRIVE			
Project Description: FIVE CAR GARAGE WITH STUDIO LIVING UNIT ALSO TWO COVERED AREA.			
Project Address: 040-640-08 (TO BE ASSIGNED)			
Project Area (acres or square feet): 5.152 ACRES OR. 224,421 S.F.			
Project Location (with point of reference to major cross streets AND area locator): HOLCOMB RANCH LANE OFF LAKESIDE DRIVE, OR SOUTH VIRGINIA STREET			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
040-640-08	5.152		
Section(s)/Township/Range: SEC 1, TOWNSHIP 18, RANGE 19			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner: TIM & JANE IVESON		Professional Consultant:	
Name: TIM & JANE IVESON		Name:	
Address: 4196 PLATEAU CT.		Address:	
RENO, 89519 Zip: 89519		Zip:	
Phone: 746-0655 Fax:		Phone: Fax:	
Email: ivesont@gmail.com		Email:	
Cell: 842-8479 Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

PROPOSED NEW RESIDENCE WILL BE 4,224 S.F.

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

PROPOSED DETACHED ACCESSORY DWELLING IS 698 S.F.

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

BOTH MAIN HOUSE AND ACCESSORY BUILDING ARE STUCCOED USING THE SAME HORIZ. & VERT. LINE TO MAKE A CONNECTION ARCHITECTURALLY.

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

WATER IS FROM THE SAME WELL THE SECONDARY UNIT IS SMALL AND REQUIRES MIN. SUPPLY. THE SEWER IS CONNECTED TO THE SAME SEPTIC TANK 2000 GAL. AS REVIEWED AND CORRIATED WITH THE BD. HLTH.

5. What additional roadway, driveway, or access improvements are you planning?

BRING THE PROPERTY IS 5+ ACRES AND THE VIEW AND HIGH POINT IS TWO THIRDS BACK THE DRIVEWAY IS ABOUT 350 ± FEET LONG WITH A CIRCLE BACK IN FRONT OF MAIN HOUSE.

6. A parking space is required. How are you providing the additional parking?

PARKING WILL BE PROVIDED ALONG ENLARGED DRIVEWAY AND ALONG SIDE GARAGES.

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

THE SECONDARY DWELLING WILL START FIRST AND HOPE TO BE COMPLETED MARCH OF 2017.

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

THE STRUCTURES ARE LOCATED 2/3 BACK FROM THE STREET WITH NO BLOCKED VIEW. THE PROPERTY IS EXISTING PASTURE WITH ONLY A FEW EXISTING TREES. ALL ADJACENT PROPERTIES ARE MORE DEVELOPED. WILL LONG DRIVEWAY, LANDSCAPING ETC. LIGHTING WILL BE SIMILAR TO ALL OTHER PROPERTIES. THIS IS A STANDARD LOT WITH A CROSS SLOPE OF 5' IN 150' TYPICAL GRADING FOR GARAGE AND HOUSE WITH CUT & FILL AREAS OF 24" TO 0". SEE DWG 94 OF 18

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

NO HOME OWNERS ASSOC.

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

THERE ARE NO OTHER STRUCTURES ON THE PROPERTY

12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

NOT A MANUFACTURED OR MODULAR DWELLING.

13. List who the service provider will be for the following utilities:

a. Sewer Service	OWNER
b. Electrical Service	NU. ENERGY
c. Solid Waste Disposal Service	OWNER
d. Water Service	OWNER



Washoe County
TECHNOLOGY SERVICES DEPARTMENT
Regional Services / Geographic Information System

IVESON FAMILY TRUST
4196 PLATEAU CT
RENO NV 89519

27 MAY 2016

Notification of New of Address

Dear Property Owner:

We have recently assigned a new address associated with your parcel below. Therefore we must issue the following notification of change of address:

APN: 040-640-08
OLD ADDRESS: 0 TIMOTHY CT
NEW ADDRESS: 9005 TIMOTHY CT

Your new address should be posted on your home/business within 60 days. Washoe County will notify those pertinent agencies listed below of this official address change. It is the owner's responsibility to notify tenants or other personal contacts. If you use the old address as your mailing address, you should post this new address on your mailbox as well.

You are encouraged to keep this official notification with your property records. Please feel free to call me at 775-328-2342, if you have any questions.

Sincerely,

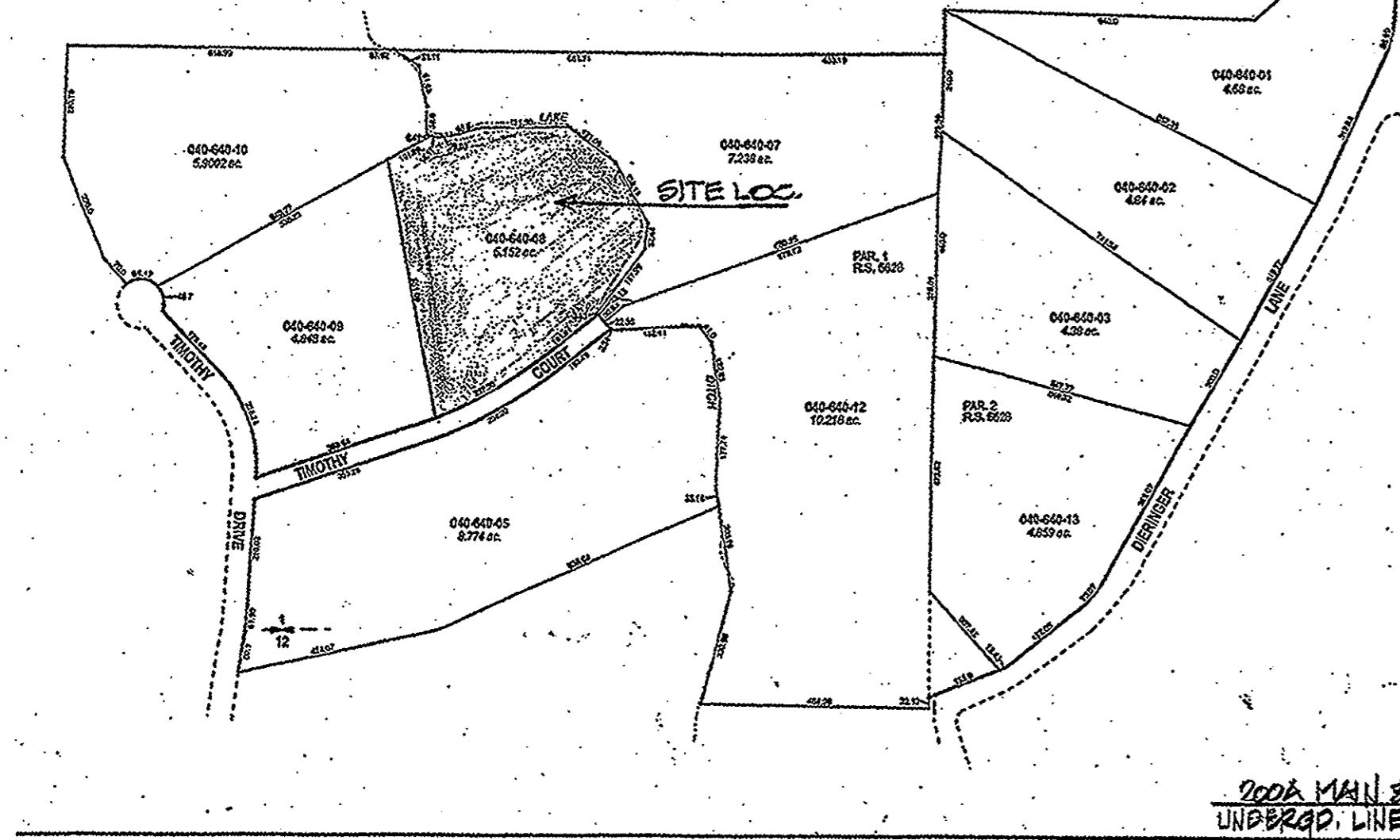
Dixie Rudebusch
Acting Addressing Coordinator

fc:
Reno 911 GIS
W.C. Building & Safety
W.C. Animal Services
W.C. School District
AT&T
W.C. Tech Services
W.C. Sheriff (Tiberon Database)
Sun Valley GID
NLTFPD

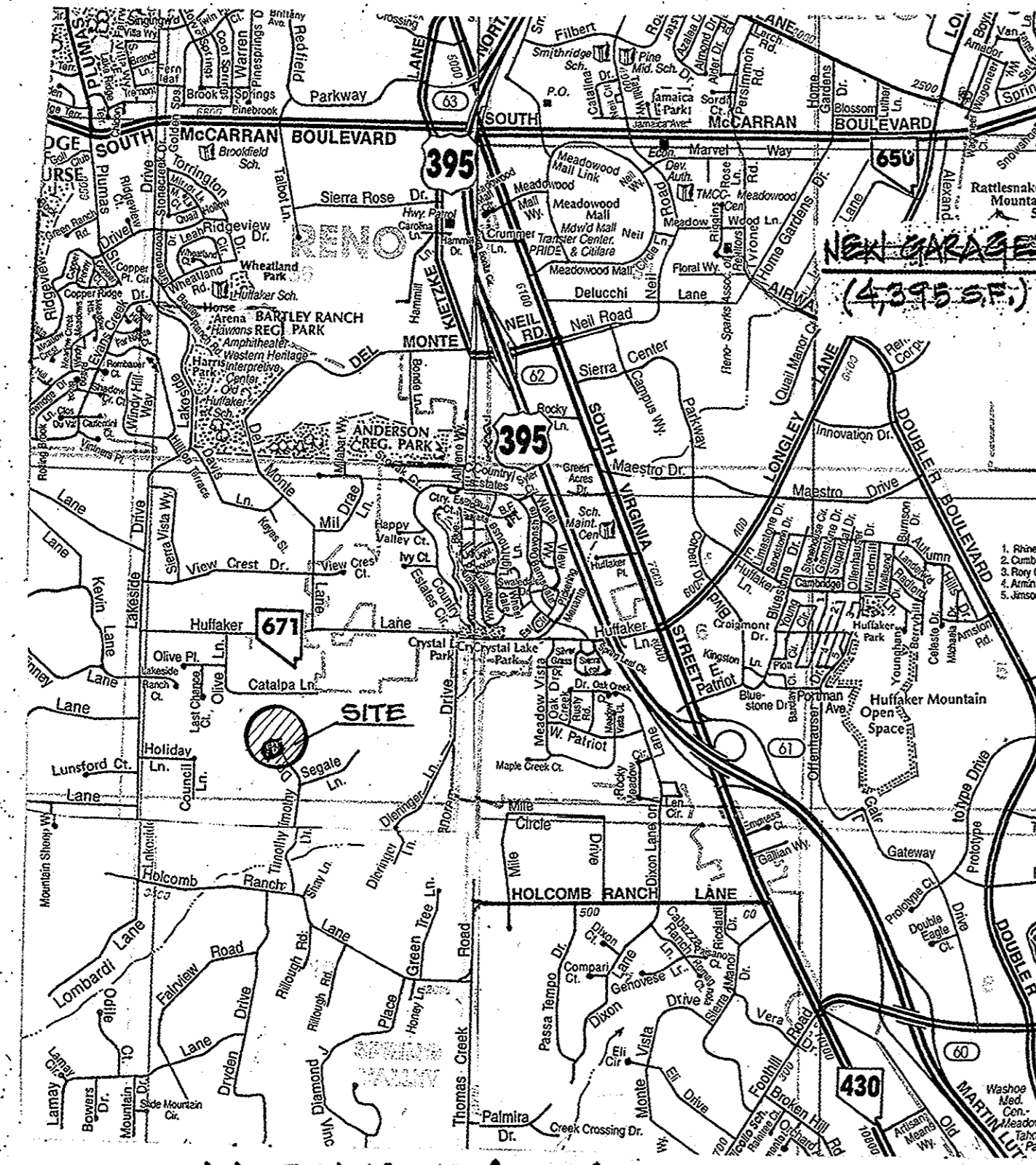
W. C. Assessor
CSD - Planning & Dev.
W.C. Voter Registration
NV Energy
CSD - Operations (Utilities)
USPS
TMWA Customer Service Group
Incline Village Roads

W.C. Treasurer
CSD - Financial & Admin
W.C. GIS
Southwest Gas Corp
Reno Disposal/Waste Mgmt
Reno Sewer
TMFPD
IVGID Engineering

APORTION OF THE SOUTH 1/2 OF SEC. 1 &
APORTION OF THE NORTH 1/2 OF SEC. 12
T16N - R19E



ASSESSOR'S MAP n.t.o.



VICINITY MAP n.t.o.

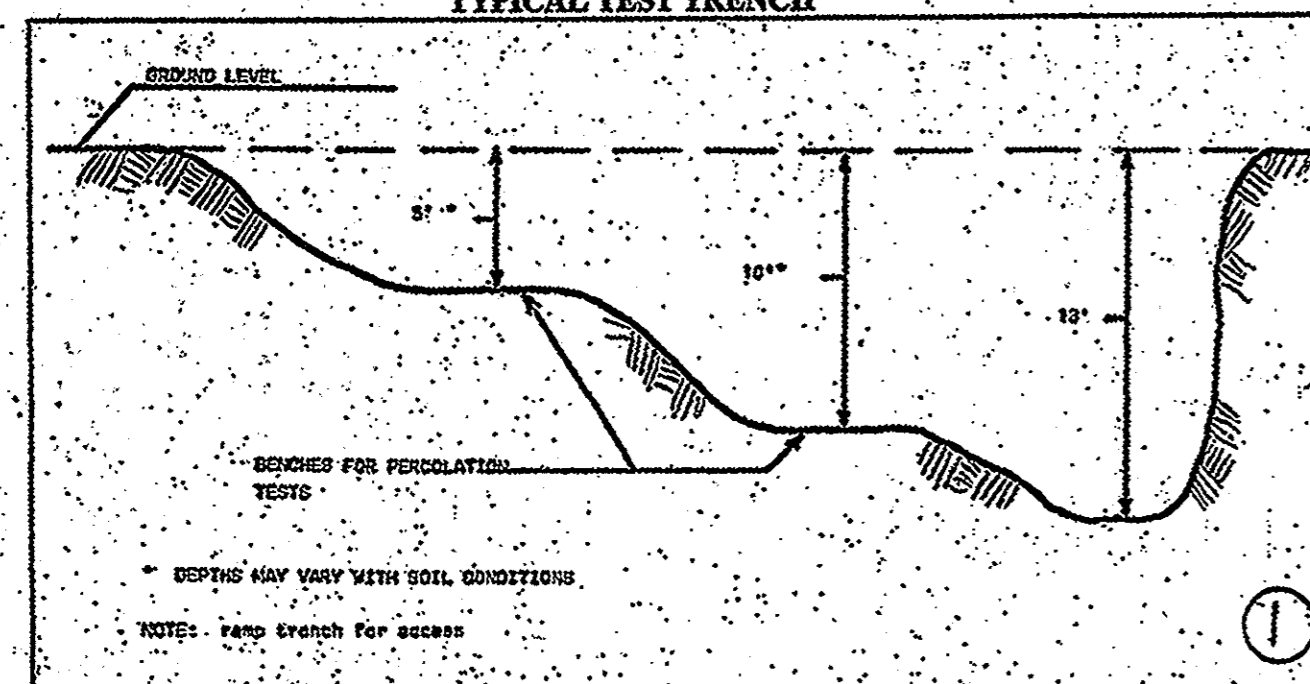
Board of Health Notes (Sec. 020.035):

- NO PRIVATE OR PUBLIC WELL WITHIN 200' OF PROPERTY.
- NO PUBLIC SEWER SYSTEM WITHIN 400' OF PROPERTY.
- NO WATER COURSE OR DRAINAGE CHANNEL ON OR REAR WITHIN 100' OF PROPERTY.

**SECTION 080
TEST TRENCHES**

080.005 Test trenches shall comply with Figure 5 and the applicable sections of and 080.005 through 080.040.

FIGURE 5
TYPICAL TEST TRENCH



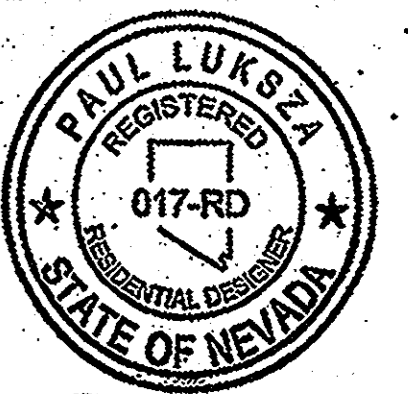
NOTE
Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts, shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

NEW RESIDENCE FOR:

Tim & Jane Iveson
A.P.N. 040-640-08
Reno, NV 89519
Contact: Tim Iveson
(842-4879)

DRAWING SCHEDULE

- A-1 SITE PLAN, VICINITY MAP, SCHEDULES, & NOTES
- A-2 MAIN FLOOR PLAN, DETAILS, & NOTES
- A-3 EXTERIOR ELEVATIONS
- A-4 EXTERIOR ELEVATIONS, DETAILS, NOTES, & CROSS SECTIONS
- A-5 GARAGE FLOOR PLAN, SCHEDULES, & DETAILS
- A-6 EXTERIOR ELEVATIONS & DETAILS
- A-7 EXTERIOR ELEVATIONS, CROSS SECTIONS & DETAILS



NEW RESIDENCE FOR:
Tim & Jane Iveson
A.P.N. 040-640-08
Reno, NV 89519

PAUL LUKSHA
REGISTERED
RESIDENTIAL DESIGN
2800 Macdonald Avenue, Reno, NV 89502
(775) 825-4791 (775) 825-8650
Paul@RenoResidentialDesign.com

ENGINEER OF RECORD

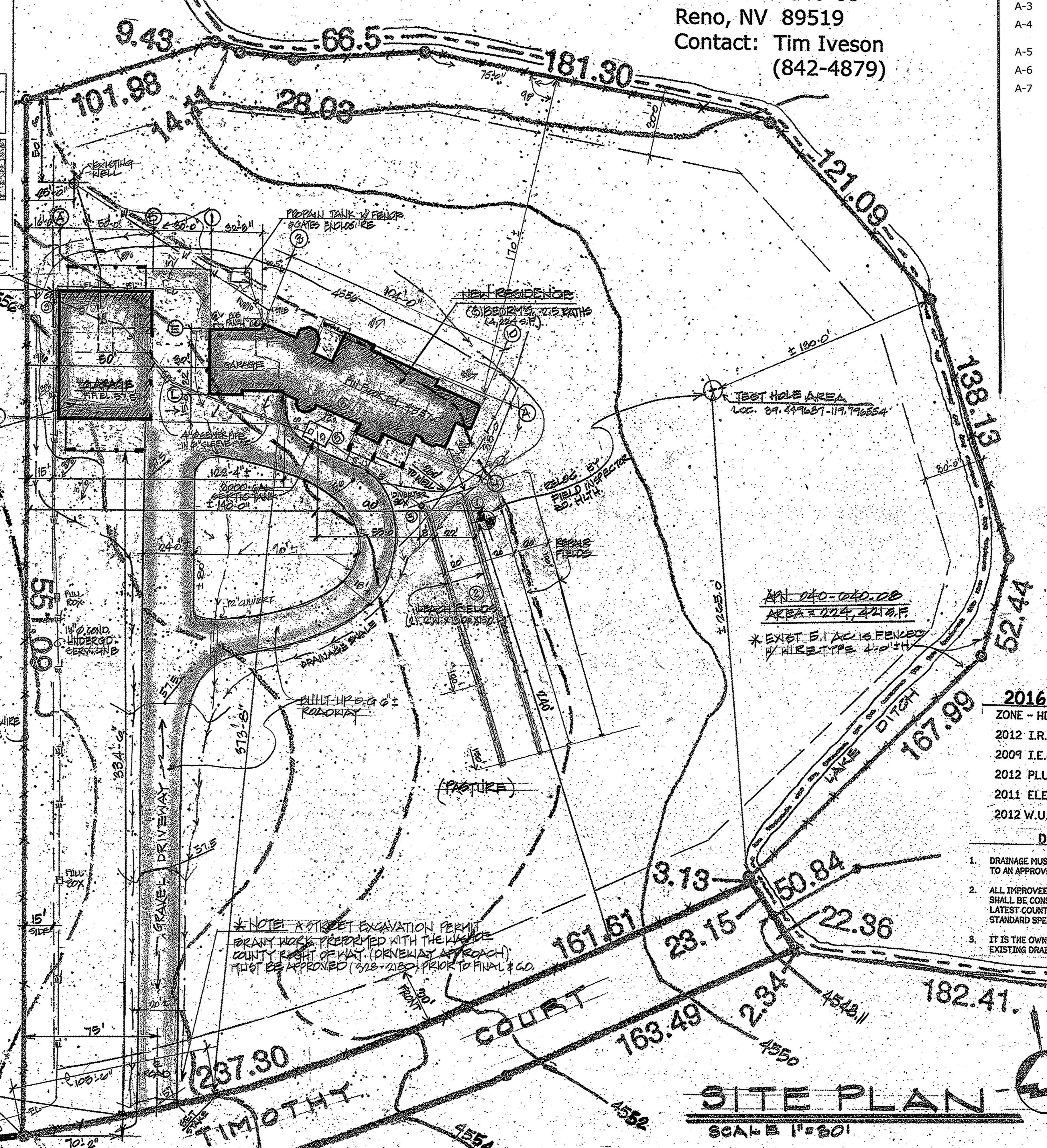
Nick Bingham, SE
BINGHAM & BINGHAM, LTD.
0750-857-7017
2880 Fairwood Drive
Reno, NV 89502

2016 CODE SUMMARY

- ZONE - HDR
- 2012 I.R.C. & I.B.C.
- 2009 I.E.C.C.
- 2012 PLUMBING CODE
- 2011 ELECTRICAL CODE
- 2012 W.U.I. - MODERATE CLASS - 3 IR3

DRAINAGE NOTES

- DRAINAGE MUST DRAIN AWAY FROM ANY BUILDINGS TO AN APPROVED DRAINAGE EASEMENT OR STREET.
- ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODE AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- IT IS THE OWNERS' RESPONSIBILITY TO PERPETUATE EXISTING DRAINAGE.



SITE PLAN
SCALE 1"=20'

DATE: 5.24.16

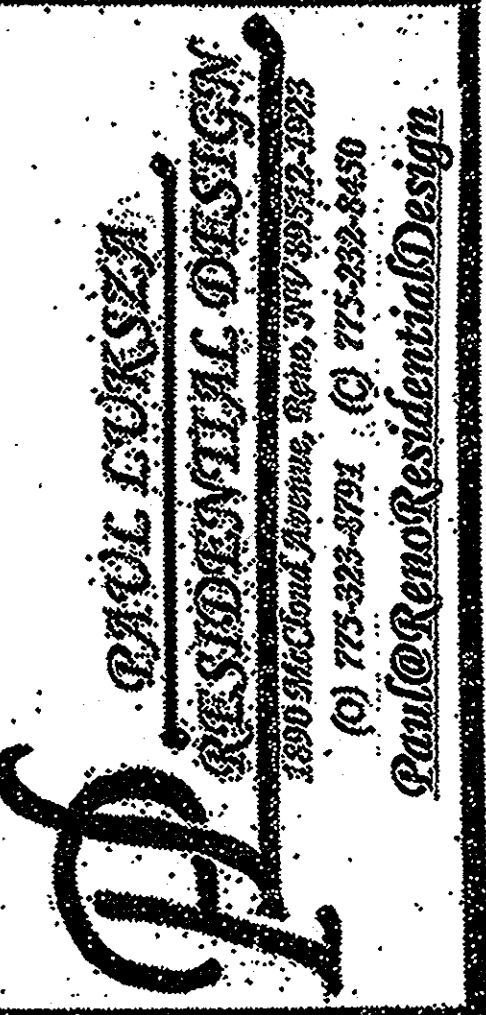
BY: [Signature]

SHEET
A1 OF 7



NEW RESIDENCE FOR:

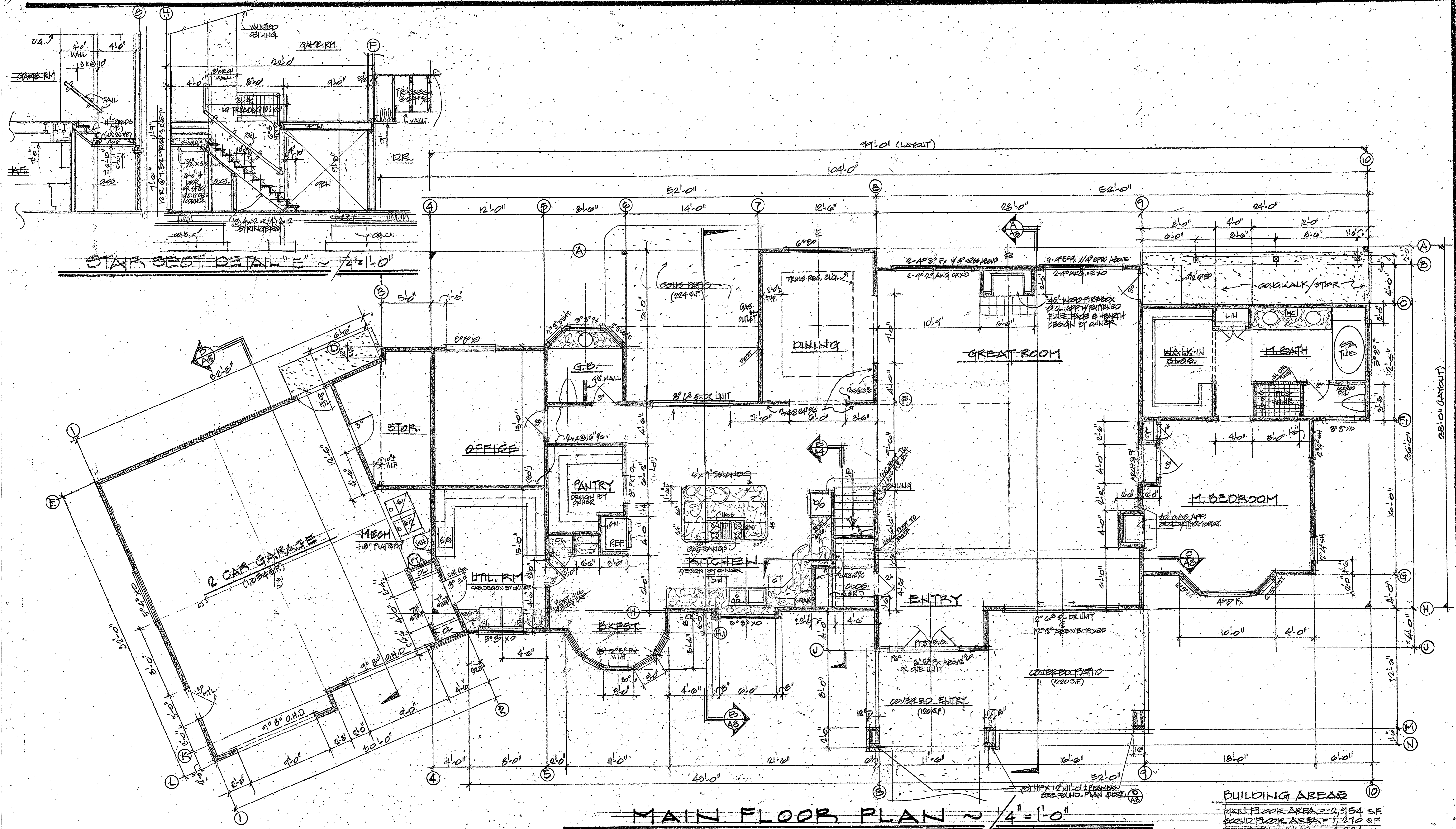
Tim & Jane Iveson
A.P.N. 040-640-08
Reno, NV 89519
Contact: Tim Iveson (842-4874)

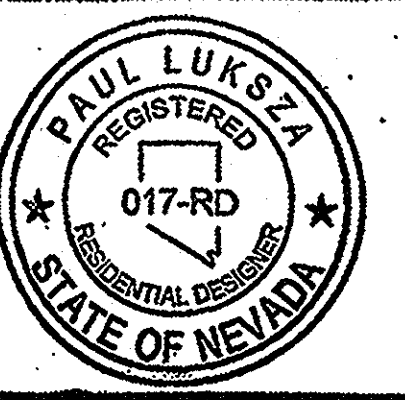


REVISION:

DATE:	5-24-16
BY:	PL

SHEET
A2 7





NEW RESIDENCE FOR:
 Tim & Jane Iveson
 A.P.N. 040-640-08
 Reno, NV 89519
 Contact: Tim Iveson (842-4879)

PAUL LUKSZA
 REGISTERED ARCHITECT
 RESIDENTIAL DESIGN
 1300 SHILOH ROAD, RENO, NV 89512-3025
 (775) 322-8791 (775) 322-8450
 Paul@RenoResidentialDesign.com

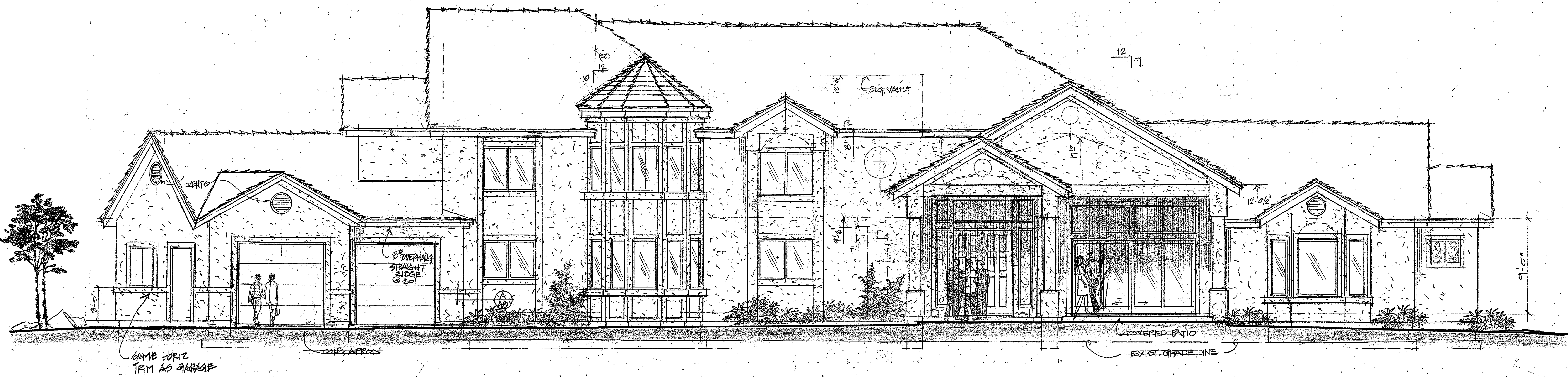
OVER ANY AND ALL RIGHTS RESERVED FOR ORIGINAL DESIGNER. ANY REUSE OR REPRODUCTION OF THIS DESIGN OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER IS STRICTLY PROHIBITED. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO ANY PERSON OR PROPERTY ARISING FROM THE USE OF THIS DESIGN OR ANY PART THEREOF. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE DESIGNER SHALL HOLD FULL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ANY SUCH REUSE OR REPRODUCTION OF THIS DESIGN OR ANY PART THEREOF.

NO.	REVISION

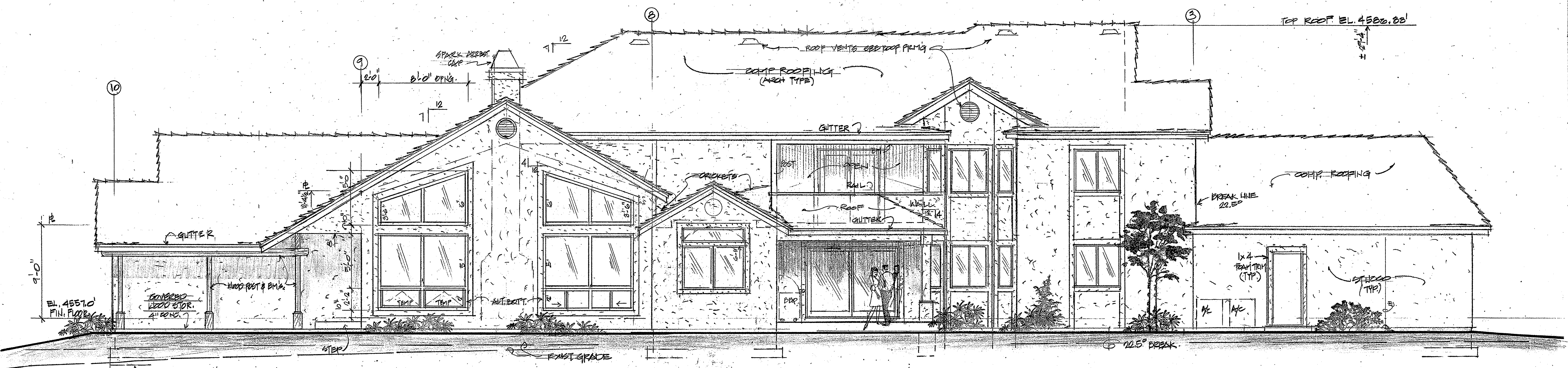
DATE: 5-24-16

BY: PL

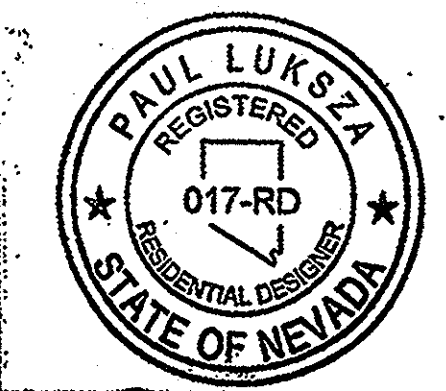
SHEET
A3 OF 7



EAST ELEVATION ~ 1/4" = 1'-0"



WEST ELEVATION ~ 1/4" = 1'-0"



NEW RESIDENCE FOR:

Tim & Jane Iveson
A.P.N. 040-640-08
Reno, NV 89519
Contact: Tim Iveson (842-4874)

PAUL LUKSHA
RESIDENTIAL DESIGN
1800 Macdonald Avenue, Reno, NV 89512-8923
(775) 322-8791 (775) 322-8450
Paul@RenoResidentialDesign.com

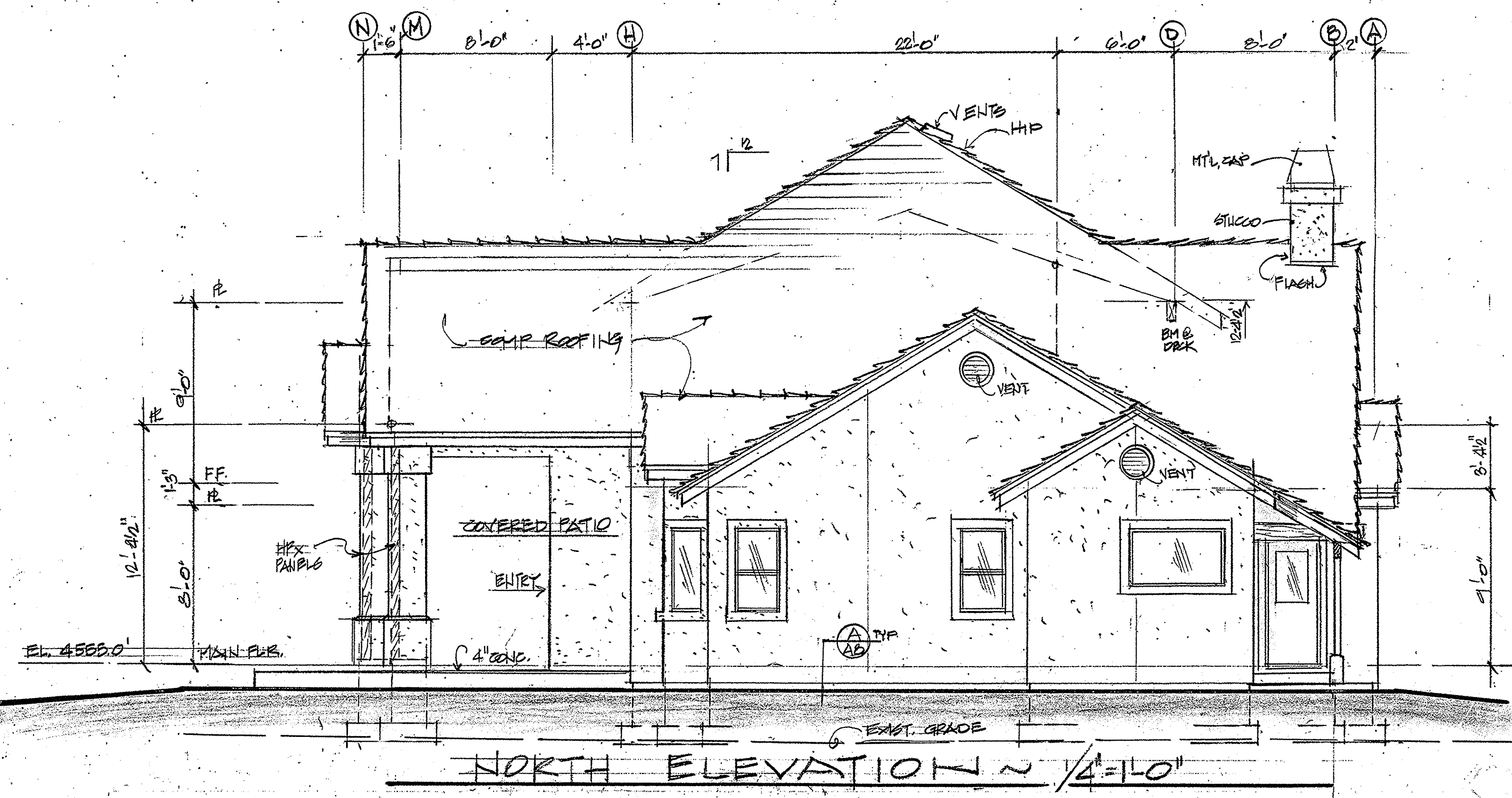
PAUL LUKSHA RESIDENTIAL DESIGN
I am a licensed professional architect in the State of Nevada. I have been practicing architecture since 1985. I have a B.S. in Architecture from the University of Nevada, Reno. I am a member of the American Institute of Architects and the Nevada State Board of Architectural Examiners. I have designed and supervised the construction of many residential projects in the Reno area. I am committed to providing high quality architectural services to my clients.

REVISION:

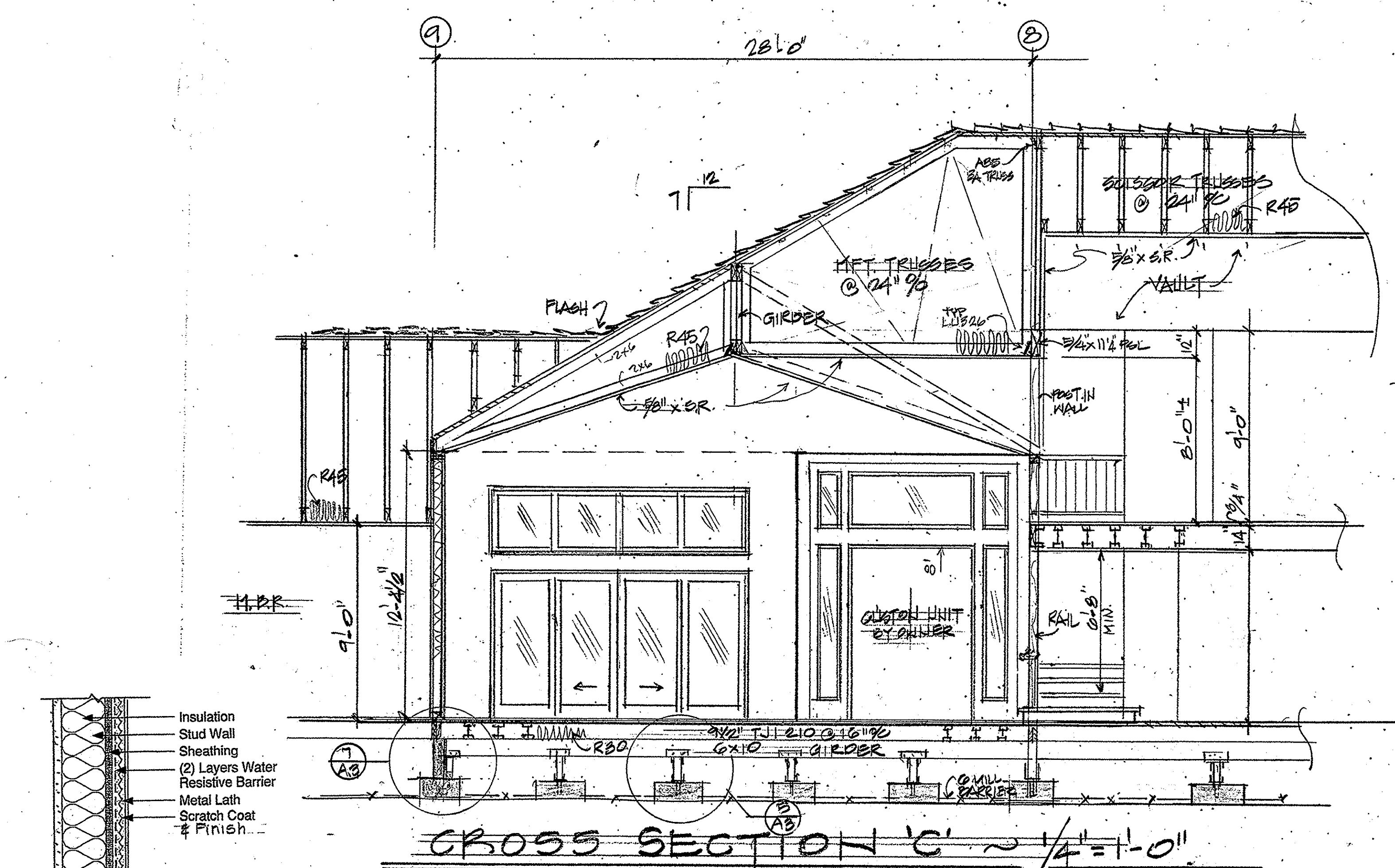
DATE: 5-24-16

BY: PL

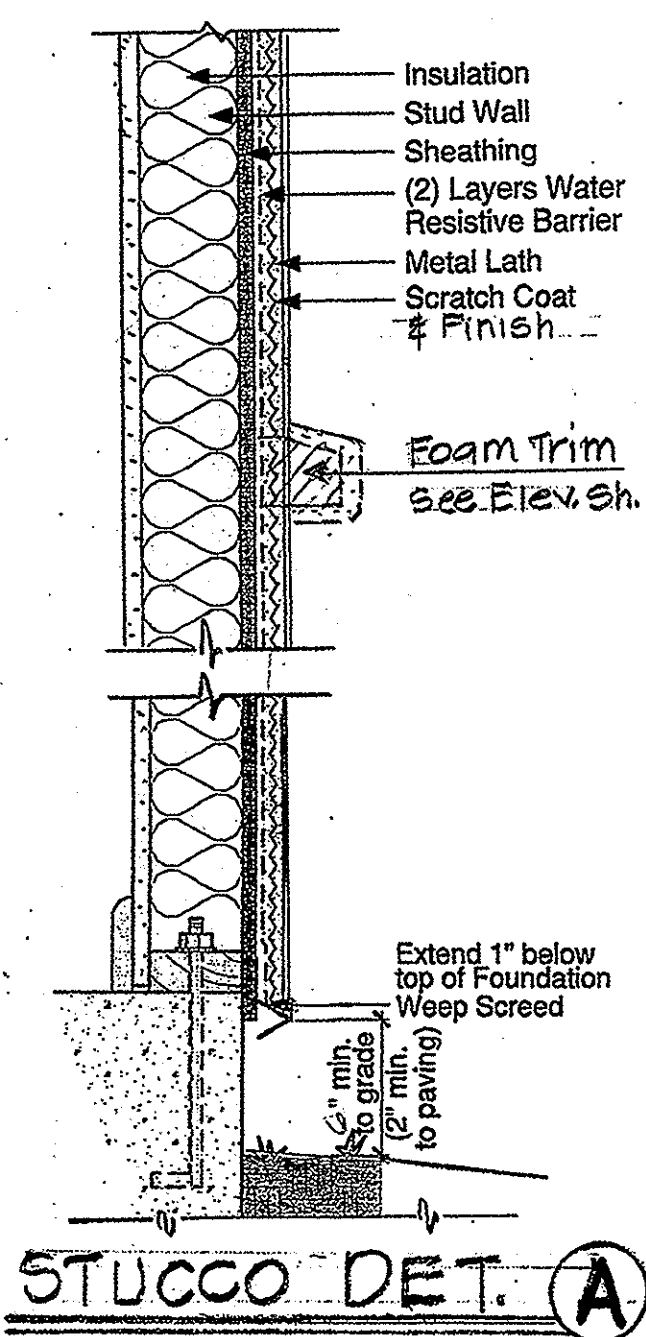
SHEET
A4 OF 7



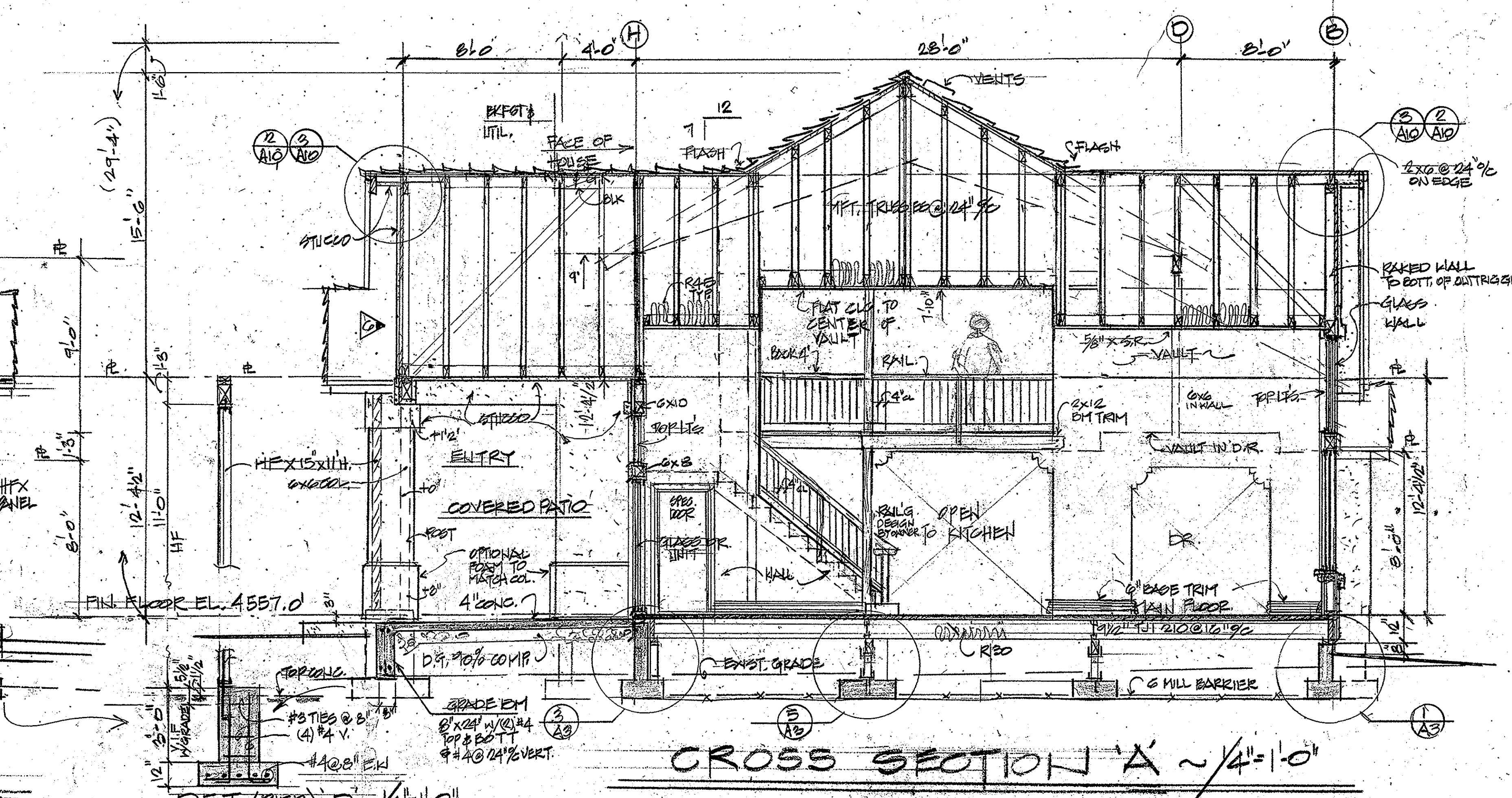
NORTH ELEVATION ~ 1/4"=1'-0"



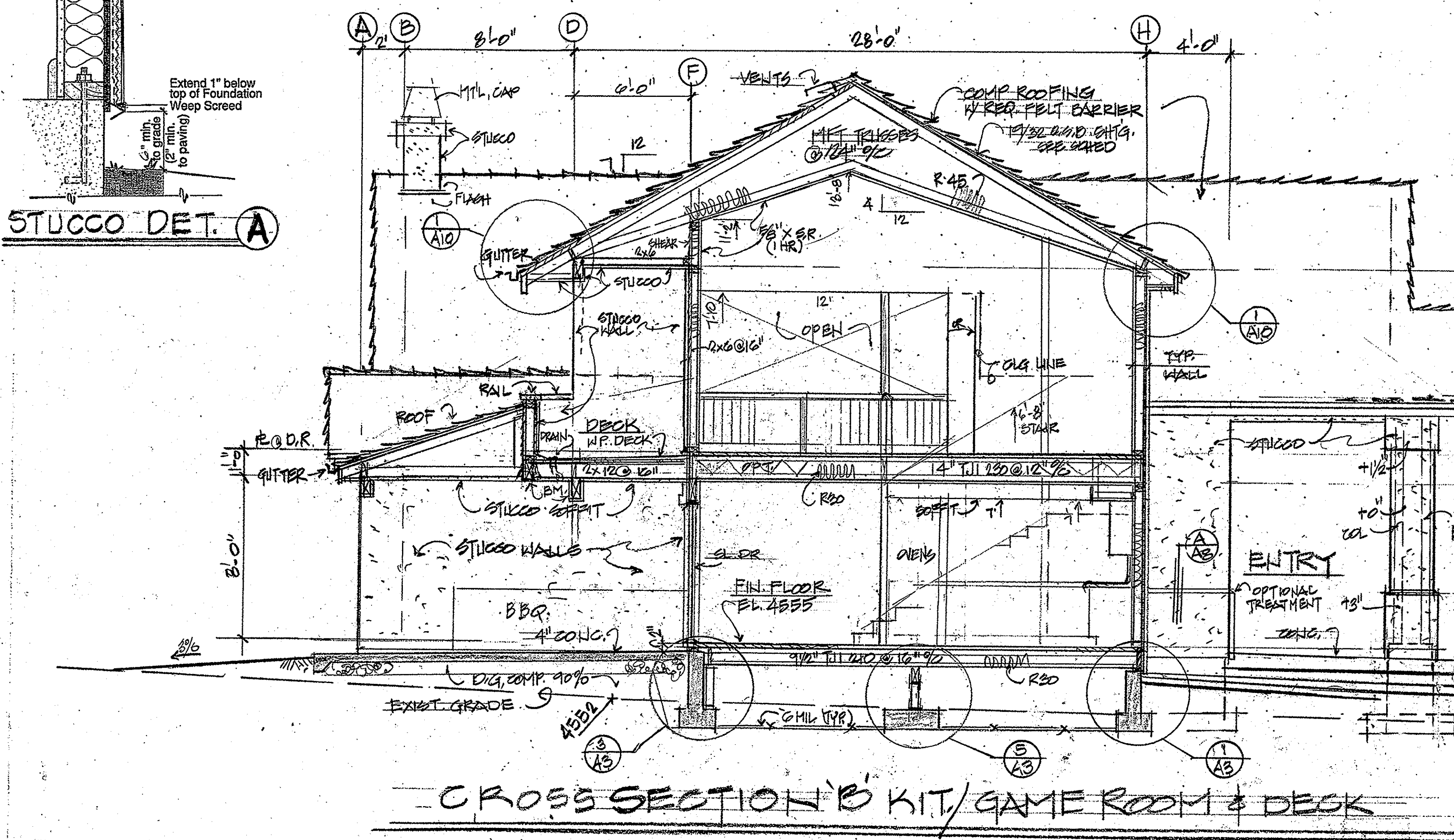
CROSS SECTION 'C' ~ 1/4"=1'-0"



STUCCO DET. A



CROSS SECTION 'A' ~ 1/4"=1'-0"



CROSS SECTION 'B' KIT/GAME ROOM & DECK

DET. (PIER) D ~ 1/4"=1'-0"

CONSTRUCTION SPECIFICATIONS

Contractor and/or sub-contractor is obliged to verify intent of work and use of construction design plans prior to construction start up. All questions should be referred to Designer.

Throughout construction process, any existing conditions that do not meet design document drawings and specifications are to be immediately reported to Designer for site inspection and possible design revisions (i.e. location of piping; electrical; ducts; waste lines, etc.).

Contractor (or sub-contractor) assumes responsibility for any deviations or alterations to (Owner) approved construction design documents including any field change not previously site inspected and approved by Designer or Engineer.



Ashford 30.1
Versatile design

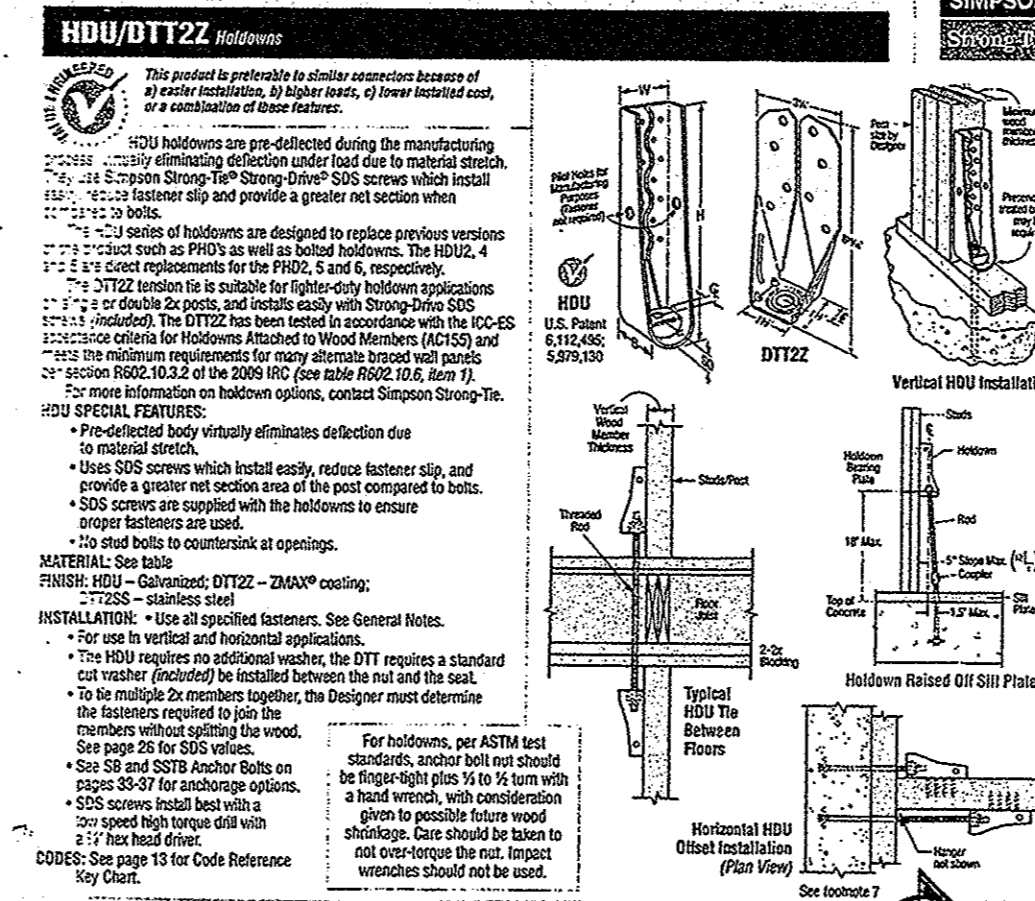


OR EQUAL

The Ashford 30.1 has a beautiful Cast Iron body which is available in metallic black paint, carbon black paint, cobalt grey paint, stone white enamel and chestnut high gloss enamel. As with the Sirocco 30.1 and the Ashford 30.1, the Ashford 30.1 uses our cleanest burning Firebox at 0.8 g/hr. At 2.75 lbs./hr. then Firebox is large and capable of burning for up to 30 hours on low. The Standard ash pit is mounted on an engineered number for a smooth gliding action and our craftsmen used beautiful butted wooted for our door and bypass handles.

Performance		Unit Dimensions	
Maximum heat input	447,760 BTUs	Width	29 1/2" (750 mm)
Efficiency	80%	Height	33 7/8" (859 mm)
Constant heat output on High	35,897 BTU/hr for 10 hours	Depth	29 3/8" (746 mm)
Constant heat output on Low	12,856 BTU/hr for up to 30 hours	Weight	500 lbs. (226.8 kg)
CO% Weighted Average	0.14%	Flue Diameter	6" / 152.4mm
Square Feet Heated	1,100 - 2,400		
Maximum Log Size	18" (recommended 16")		
Burn Time	Up to 30 hours on low		
Emissions (grams/hour)	0.8		
Firebox Size	2.75 cu. ft.		

**FIREPLACE
FREE STANDING
UNIT (UL APPY)**



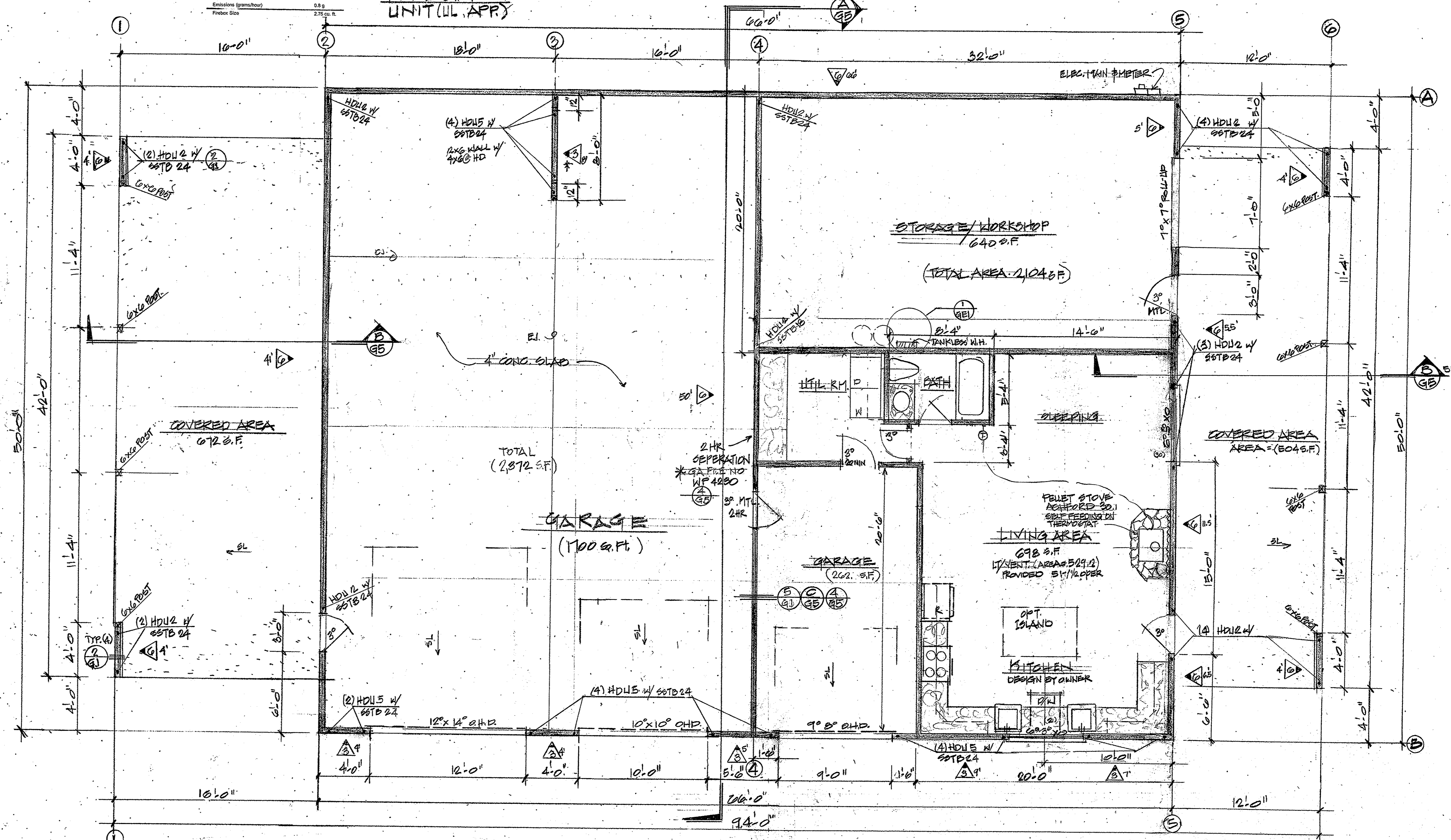
Model No.	W	H	D	E	S	Features		Minimum Clearance		Allowable Vent System Codes (B3)		Bore Dia.
						ACCENT	SSS	Minimum	Maximum	CSST	SPSPF	
HDU-DT22	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22S	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22L	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22R	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22S	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22L	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22R	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22S	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22L	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"
HDU-DT22R	34	36	30 1/2	1 1/4	1 1/4	1 1/4	SSS	18"	18"	CSST	SPSPF	1 1/2"

NAILING SCHEDULE

WEATHEN EXTERIOR W/3/8" MIN. APA-RATED PLYWOOD OR O.S.B. NAILED PER SCHEDULE THIS SHEET. OPTIONAL SMART PANEL RATED.

- ▶ NAILING @ 6" O.C. @ EDGES & 12" O.C. IN FIELD, 5/8" DIA X 12" A.B. @ 48" O.C.
- ▶ NAILING @ 4" O.C. @ EDGES & 12" O.C. IN FIELD, 5/8" DIA X 12" A.B. @ 32" O.C.
- ▶ NAILING @ 3" O.C. @ EDGES & 12" O.C. IN FIELD, 5/8" DIA A.B. @ 24" O.C.

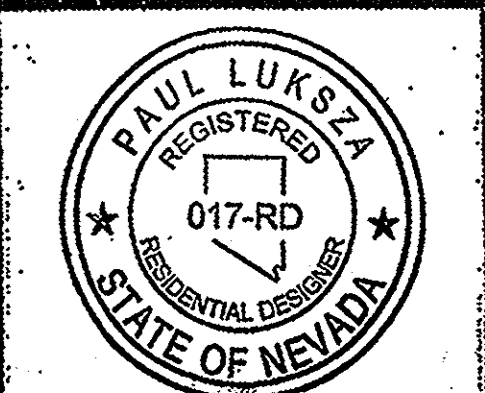
* INDICATES 3X STUD REQ'D @ ALL ABUTTING SHEARWALL SHEATHING PANEL EDGES & 3X PTD MUSSILL REQUIRED BELOW PANEL.



FLOOR PLAN ~ 1/4" = 1'-0" (4,476 SF)

BUILDING AREAS

LIVING AREA	698
GARAGE AREA	2,002
COVERED AREA	1,176
TOTAL AREA	4,476 SF



NEW RESIDENCE FOR:
Tim & Jane Iveson
A.P.N. 040-640-08
Reno, NV 89519
Contact: Tim Iveson (842-4879)

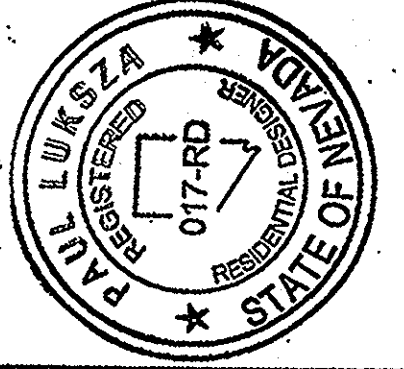
PAUL LUKSZA
RESIDENTIAL DESIGN
1800 S. McClellan Avenue, Reno, NV 89512-1933
(775) 332-8791 (775) 332-6450
Paul@RemoResidentialDesign.com

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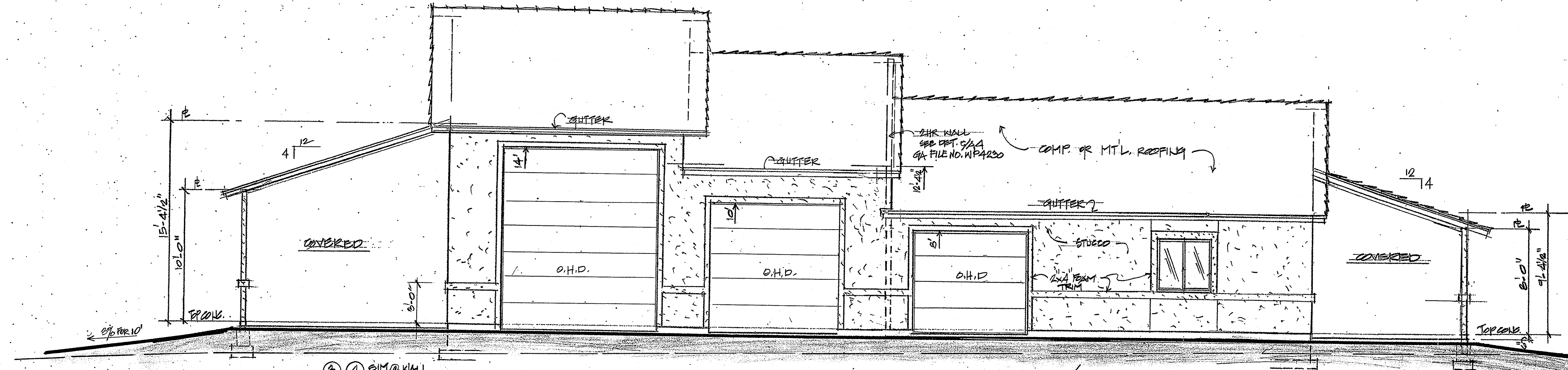
REVISIONS:

DATE:	5-24-16
BY:	PL

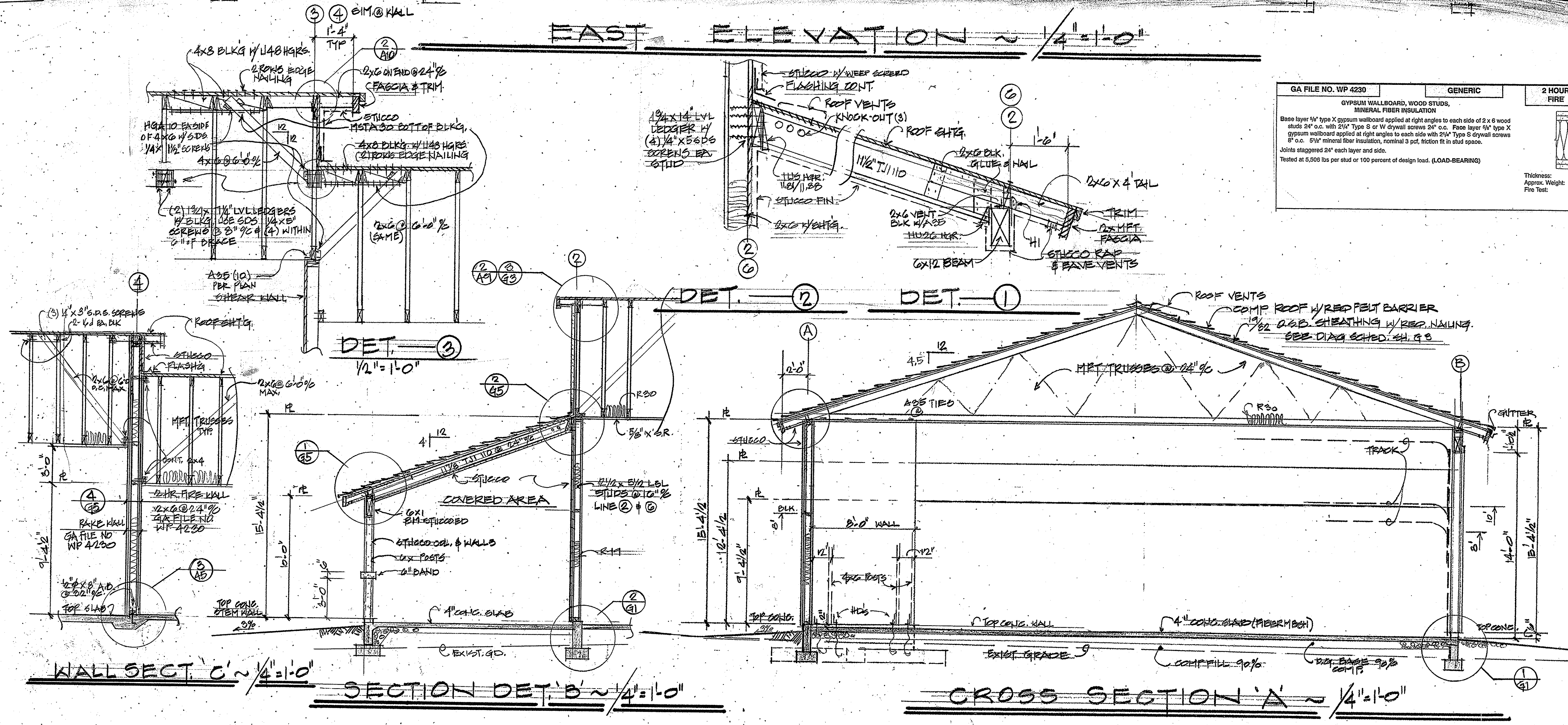
SHEET
A5 OF **7**



NEW RESIDENCE FOR:
Tim & Jane Iveson
 A.P.N. 040-640-08
 Reno, NV 89519
 Contact: Tim Iveson (842-4874)



EAST ELEVATION ~ 1/4" = 1'-0"



GA FILE NO. WP 4230	GENERIC	2 HOUR FIRE
GYPSUM WALLBOARD, WOOD STUDS, MINERAL FIBER INSULATION		
Base layer 1/2" type X gypsum wallboard applied at right angles to each side of 2 x 6 wood studs 24" o.c. with 2 1/4" Type S or W drywall screws 24" o.c. Face layer 5/8" type X gypsum wallboard applied at right angles to each side with 2 1/4" Type S drywall screws 8" o.c. 5 1/2" mineral fiber insulation, nominal 3 pcf, friction fit in stud space. Joints staggered 24" each layer and side. Tested at 5,500 lbs per stud or 100 percent of design load. (LOAD-BEARING)		
Thickness:	6"	
Approx. Weight:	13 psf	
Fire Test:	ITS 420-06170.3, 12-00	

PAUL LUKSHA
 RESIDENTIAL DESIGN
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 Paul@RemoResidentialDesign.com

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REVISION:

DATE:	5-24-16
BY:	PL