

Gary L. Owens Trust

Administrative Permit

Application

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Owens Residence			
Project Description: A new detached accessory dwelling unit & a new detached accessory structure located on 5.73 acres			
Project Address: 8895 Lakeside Drive			
Project Area (acres or square feet): D.A.D.U. = 1,160 SQ. FT. & D.A.S. = 3,240 SQ. FT.			
Project Location (with point of reference to major cross streets AND area locator): West of Holcomb Ranch Ln. and Lakeside Dr. Intersection			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
041-130-57	5.73		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Gary L. Owens		Name: James D. Molder	
Address: 3983 S. McCarran #258		Address: 11512 Chesapeake Drive	
Reno Nevada	Zip: 89502	Reno Nevada	Zip: 89506
Phone: 775-851-5486	Fax:	Phone:	Fax:
Email: garylowens@yahoo.com		Email: gadaski21@gmail.com	
Cell:	Other:	Cell: 775-843-9328	Other:
Contact Person: Gary Owens		Contact Person: James Molder	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Amendment of Conditions Application

(Information may be attached separately)

Required Information

1. The following information is required for an Amendment of Conditions:
 - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
 - b. Identify the specific Condition or Conditions that you are requesting to amend.
 - c. Provide the requested amendment language to each Condition or Conditions, and provide both the *existing* and *proposed condition(s)*.

We would like to extend the timeframe allowed for permit issue by two years from the date of this approval.

Detached Accessory Dwelling Administrative Review Written Decision/Action Order
Case No. DADAR11-02 - Item 1. b.

Board of Adjustment Action Order

Administrative Permit Case No. AP12-008 - Item 1. b.

We would also like to add an approximate 30' x 60' (1,800 s.f.) Greenhouse to the south side of the Existing Metal Barn.

2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

There will no impacts to public health, safety, or welfare that could result from granting the amendment.

SITE PLAN NOTES

APN - 041-130-57
 OWNER: GARY L OWENS
 STORAGE / MECHANICAL FINISH FLOOR = 4993'

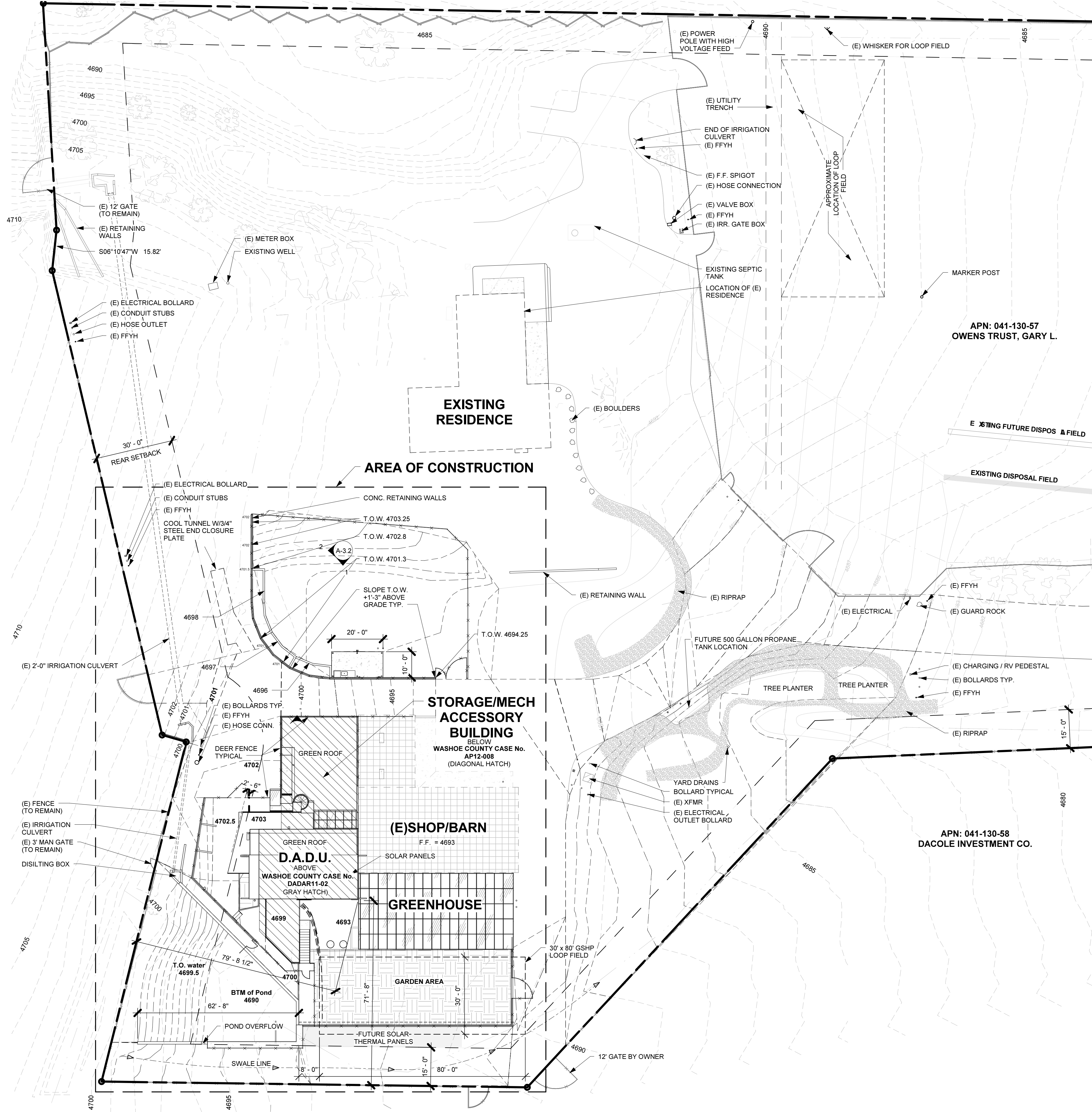
1. THERE IS AN EXISTING WELL THAT SERVES THE PROPERTY.
2. THIS IS NOT A LEGAL SURVEY. PROPERTY DESCRIPTION INFORMATION ON THIS SHEET FOR GENERAL USE ONLY.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM PERIMETER OF BUILDING. MINIMUM SLOPE 2% FOR 10' MIN. AWAY FROM BLDG.
4. SLOPE ALL CONCRETE 1% MIN. UNLESS NOTED OTHERWISE.
5. CONNECT UTILITY EXTENSIONS TO EXISTING UTILITIES. CONTRACTOR TO VERIFY LOCATIONS OF EXTENSIONS.
6. LIMITS OF CONSTRUCTION, STORAGE AREA, & VEGETATION OF CONCERN TO BE COORDINATED WITH OWNER OR ARCHITECT
7. FOR REMAINING SITE INFORMATION REFER TO CIVIL DRAWINGS



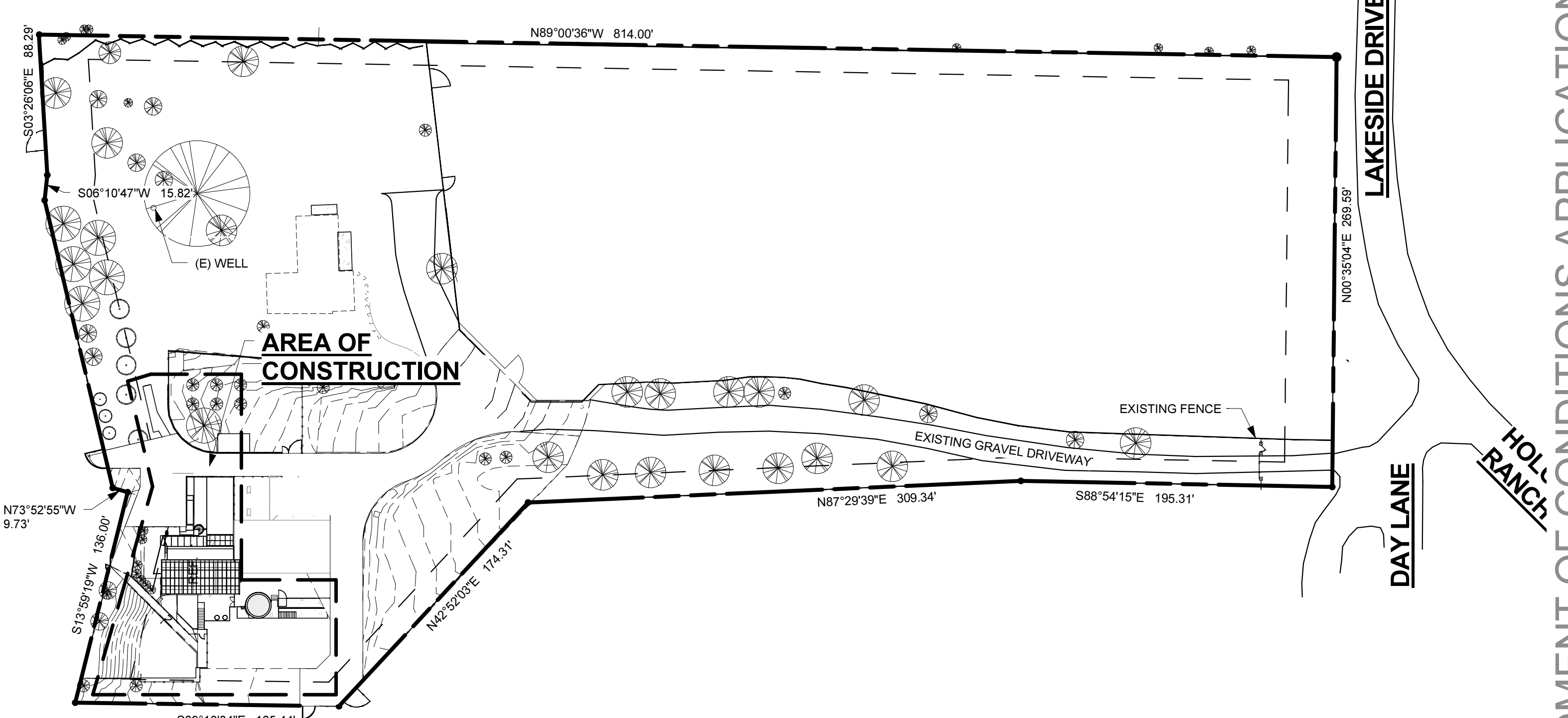
VICINITY MAP

ADDRESS	8895 LAKESIDE DRIVE
APN	041-130-57
SUBDIVISION	FR NE4
Existing Residence Square Footage	2,320 sq. ft.
Proposed Accessory Storage/Mech. Bldg	3,240 sq. ft.

PROPERTY INFORMATION



1 ENLARGED PARTIAL D.A.D.U./STORAGE/MECHANICAL BUILDING SITE PLAN
 1" = 20'-0"



2 OVERALL SITE PLAN
 1" = 60'-0"

James Dean Molder
 NEVADA REGISTERED RESIDENTIAL DESIGNER - 3116-P
 ARIZONA REGISTERED ARCHITECT - 032578
 1952 Owens Drive Reno NV 89502
 775.786.8888

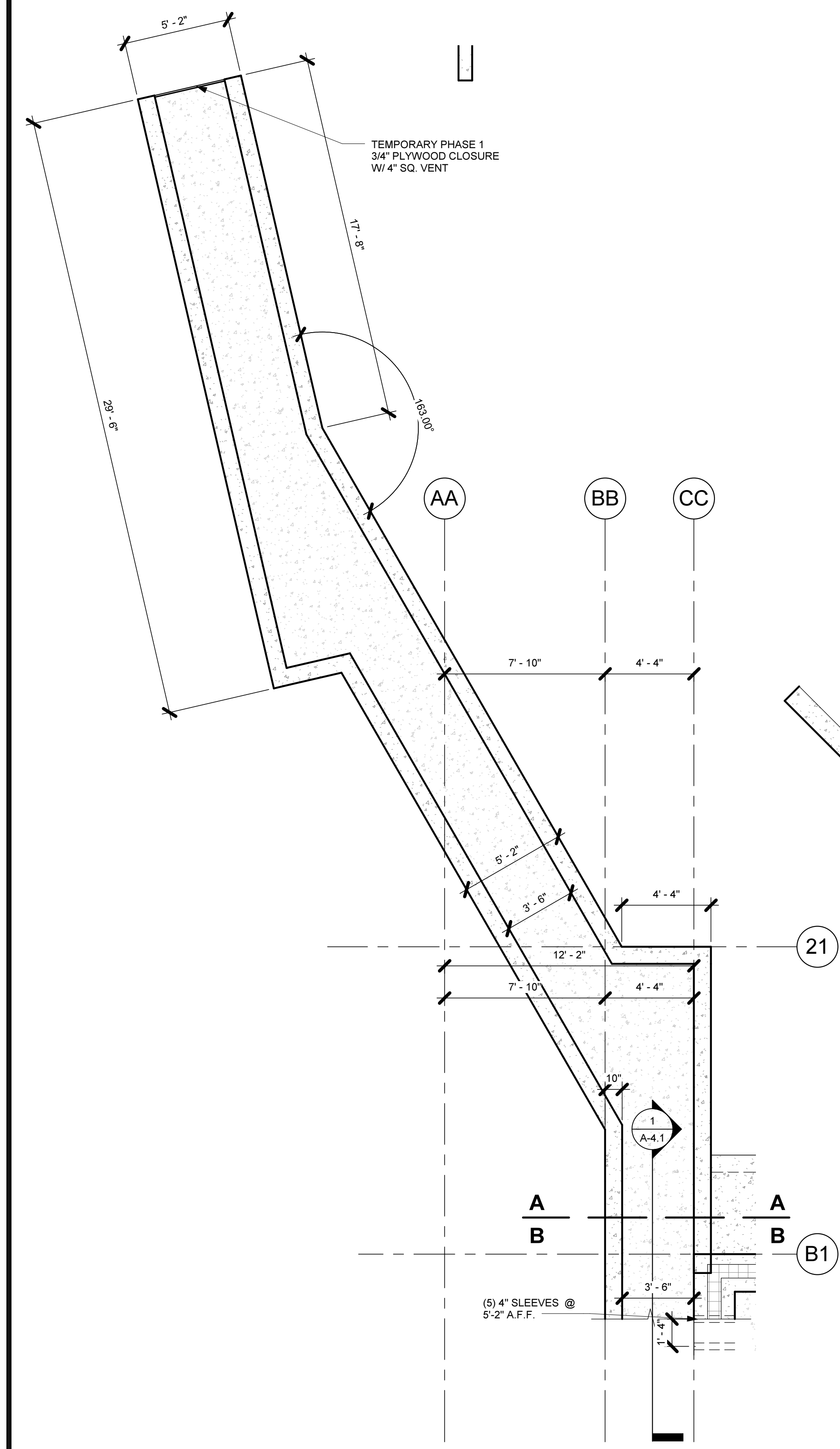
**OWENS RESIDENCE
 D.A.D.U. / STORAGE / MECHANICAL BUILDING
 8895 LAKESIDE DRIVE
 WASHOE COUNTY, NEVADA 89511**

AMENDMENT OF CONDITIONS APPLICATION

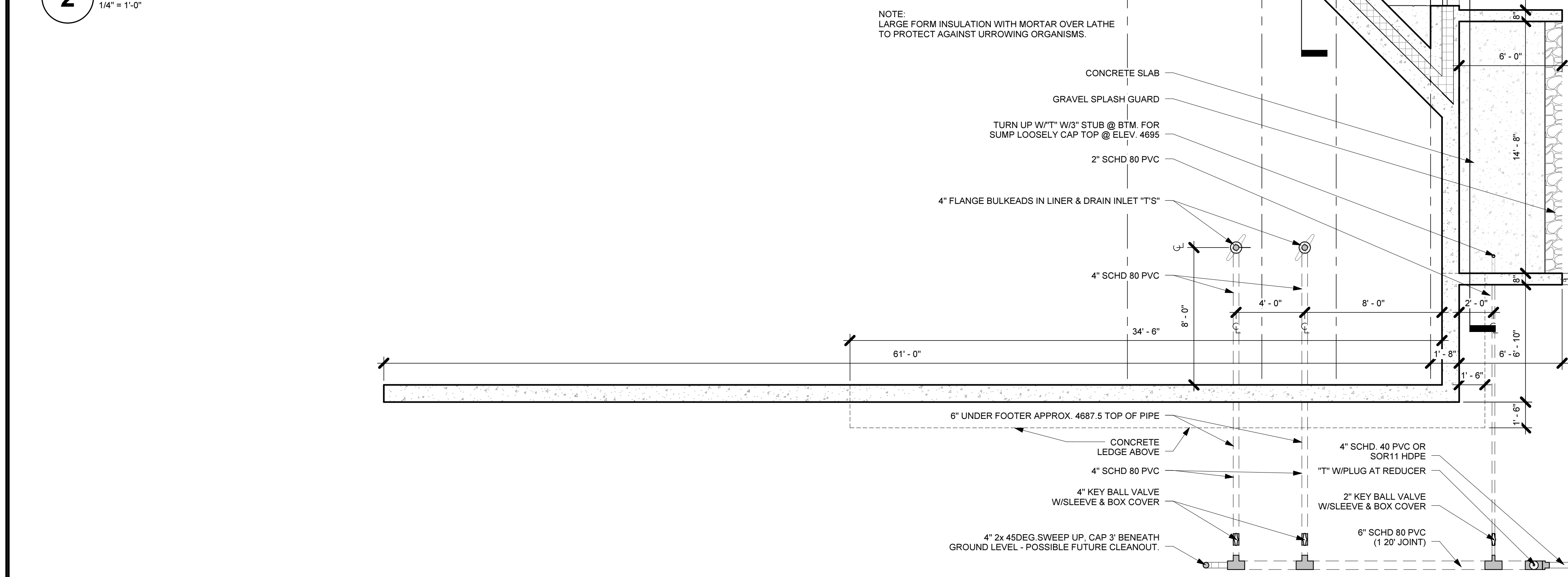
NO.	DESCRIPTION	DATE
1	LOOP FIELD, GARDEN, MISC. NOTES	1-27-2015

REVISIONS:

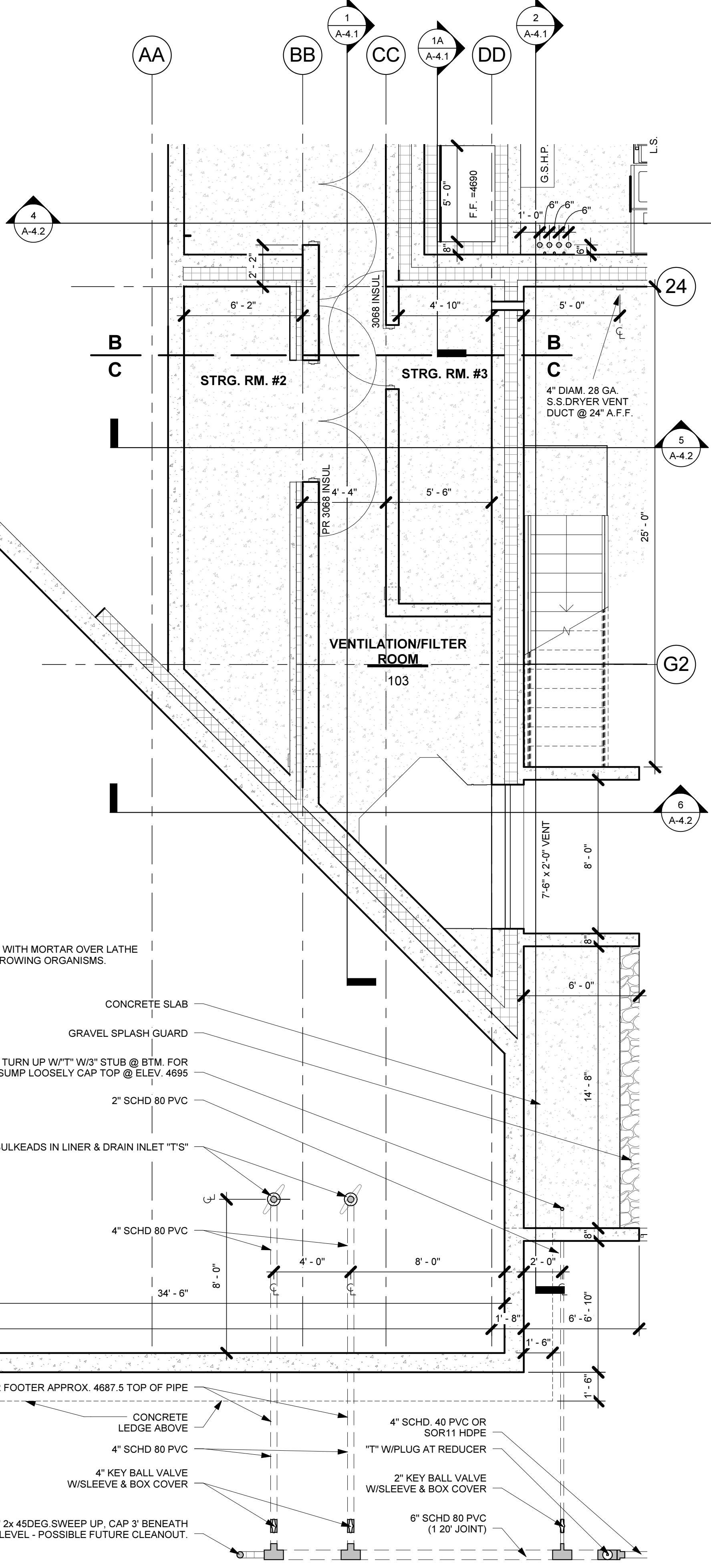
SHEET NAME:	SITE PLAN
PROJECT NUMBER:	2012-02
DRAWN BY:	JDM
CHECKED BY:	JDM
DATE:	2-3-2014



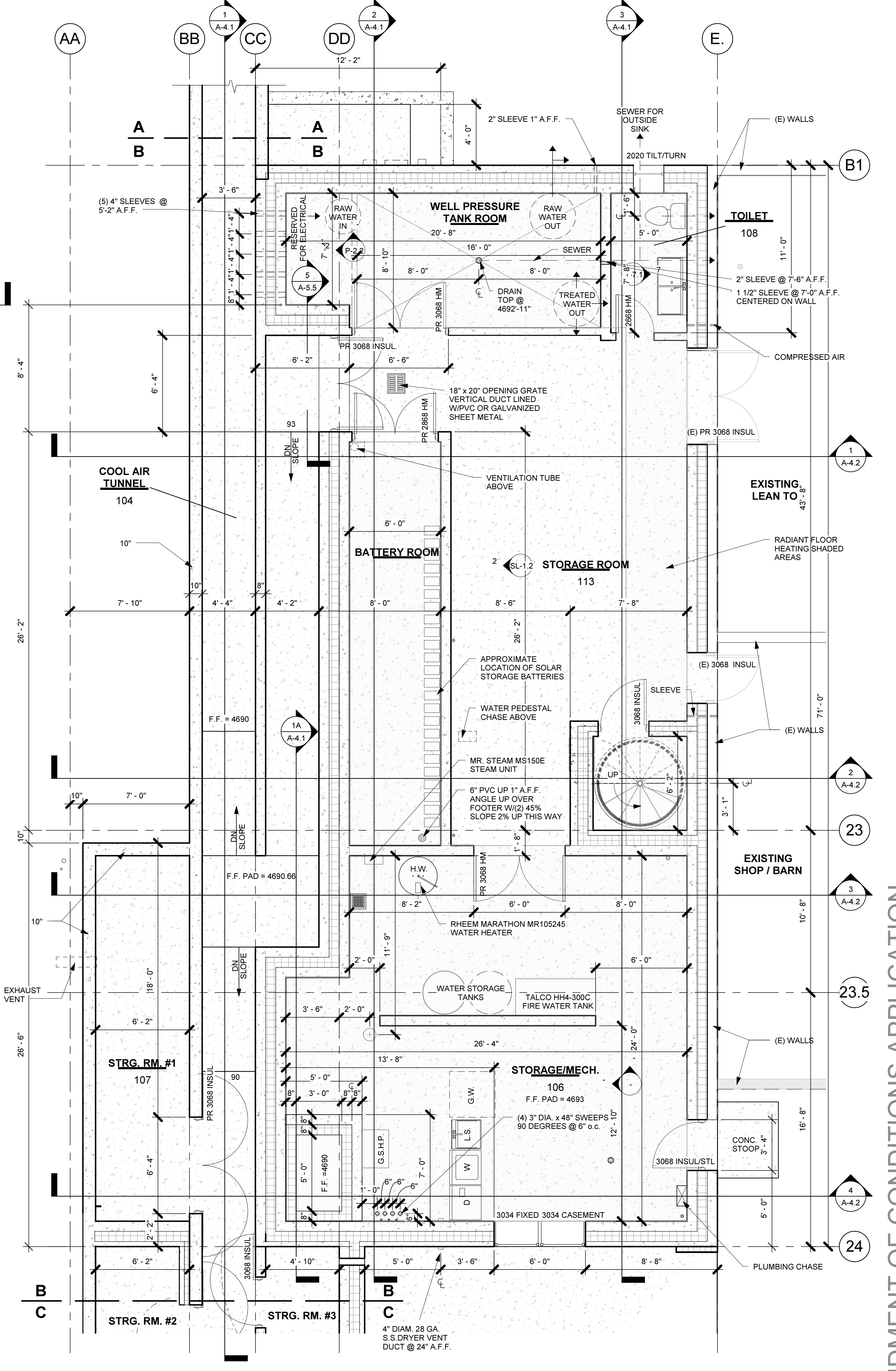
2 PARTIAL COOL AIR TUNNEL FLOOR PLAN A-A
1/4" = 1'-0"



3 PARTIAL POND WALLS PLAN C-C
1/4" = 1'-0"



1 STORAGE/COOL AIR TUNNEL FLOOR PLAN B-B
1/4" = 1'-0"



FLOOR PLAN NOTES

1. ALL DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD, AND FACE-OF-BLOCK TO FACE-OF-BLOCK (U.N.O.)
2. ALL LUMBER TO BE FOREST STEWARDSHIP COUNCIL CERTIFIED DOUGLAS FIR#2 OR BETTER (U.N.O.)
3. ALL FINISH MATERIALS NOT SPECIFIED TO BE COORDINATED WITH OWNER AND/OR DESIGNER
4. PROVIDE SOLID BLOCKING BEHIND ALL FIXTURES AND WALL MOUNTED ACCESSORIES.
5. ANY WALLS THAT ARE MODIFIED, REPLACE GYP. BD. W/ 5/8" TYPE 'X' GYP. BD.
6. PROVIDE WALL & FLOOR STOPS AT DOORS AS REQUIRED.
7. ALL PLYWOOD SHEATHING SHALL BE FOREST STEWARDSHIP COUNCIL CERTIFIED (U.N.O.)

WALL LEGEND

- 4/8" (2") THERMOMASS WALL U.N.O.
- 8/8" (24") THERMOMASS WALL U.N.O.
- 4/8" (20") THERMOMASS WALL U.N.O.
- 10" CONCRETE WALL U.N.O.
- 8" CONCRETE WALL U.N.O.
- 6" EXTERIOR SIP PANEL
- 6" INTERIOR METAL STUD WALL U.N.O.
- 4" INTERIOR METAL STUD WALL U.N.O.
- (E) WALL

AMENDMENT OF CONDITIONS APPLICATION

**OWENS RESIDENCE
D.A.D.U. / STORAGE / MECHANICAL BUILDING
8895 LAKESIDE DRIVE
WASHOE COUNTY, NEVADA 89511**

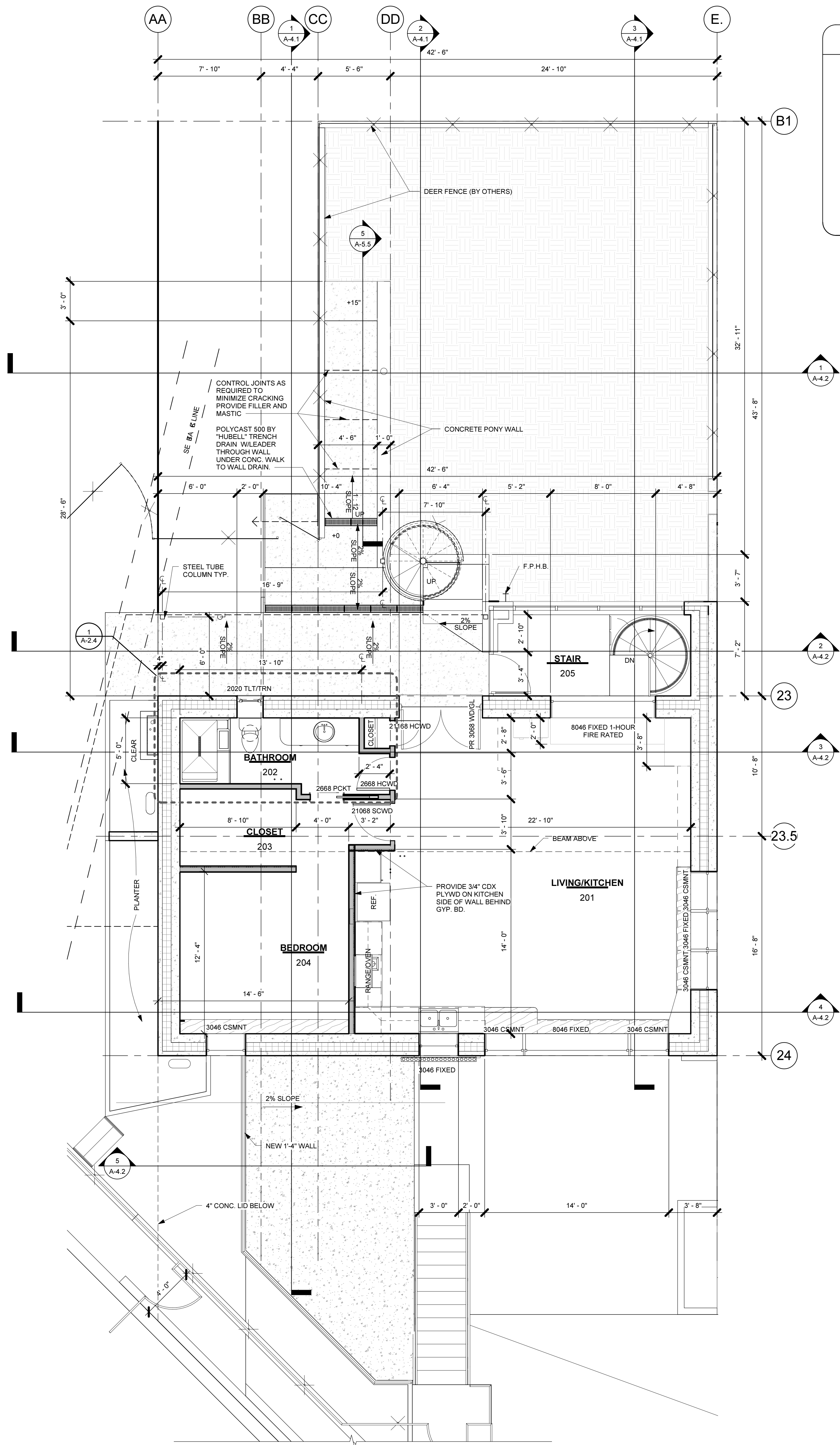
James Dean Molder
NEVADA REGISTERED RESIDENTIAL DESIGNER - 3116-P
ARIZONA REGISTERED ARCHITECT - 032718
1952 Cherokee Drive Reno NV 89502
1952 Cherokee Drive Reno NV 89502

NO.	DESCRIPTION	DATE
1	Equipment locations	1-27-15

REVISIONS:

SHEET NAME:	PROJECT NUMBER:	DATE:
MAIN LEVEL PLAN	2012-02	1-27-15
DRAWN BY:	CHECKED BY:	DATE:
JDM	JDM	2-3-2014

A-2.1



WALL LEGEND	
	4" x 8" x 16" (28") THERMOMASS WALL U.N.O.
	8" x 8" x 16" (24") THERMOMASS WALL U.N.O.
	4" x 8" x 16" (20") THERMOMASS WALL U.N.O.
	6" CONCRETE WALL U.N.O.
	6" EXTERIOR SIP PANEL
	6" INTERIOR METAL STUD WALL U.N.O.
	4" INTERIOR METAL STUD WALL U.N.O.

1 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"

AMENDMENT OF CONDITIONS APPLICATION

OWENS RESIDENCE
D.A.D.U. / STORAGE / MECHANICAL BUILDING
8895 LAKESIDE DRIVE
WASHOE COUNTY, NEVADA 89511

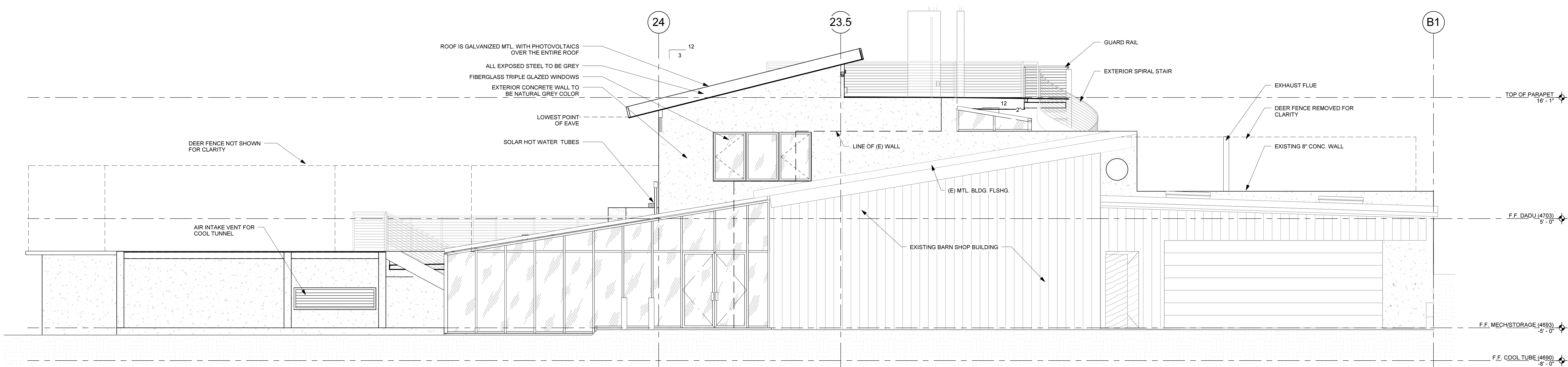
James Dean Molder
NEVADA REGISTERED RESIDENTIAL DESIGNER - 3116-P
ARIZONA REGISTERED ARCHITECT - 032578
1952 Cherokee Drive Reno NV 89502
775-785-0000

NO.	DESCRIPTION	DATE
1	EXTERIOR LANDSCAPE WALLS	1-27-2015

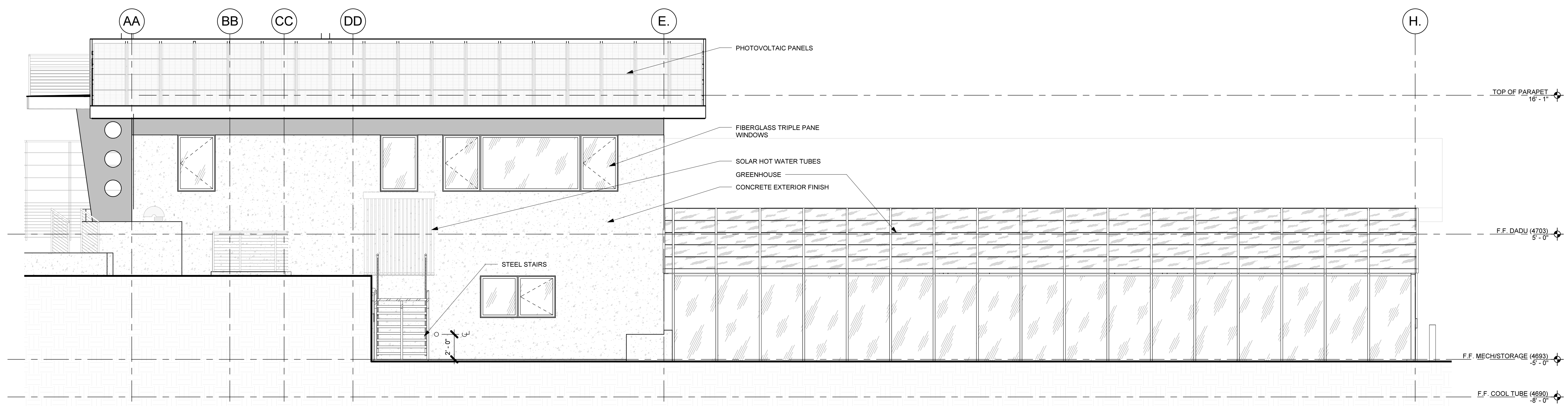
REVISIONS:

SHEET NAME	PROJECT NUMBER	DATE
UPPER LEVEL PLAN	2012-02	1-27-2015
DRAWN BY	CHECKED BY	DATE
JDM	JDM	2-3-2014

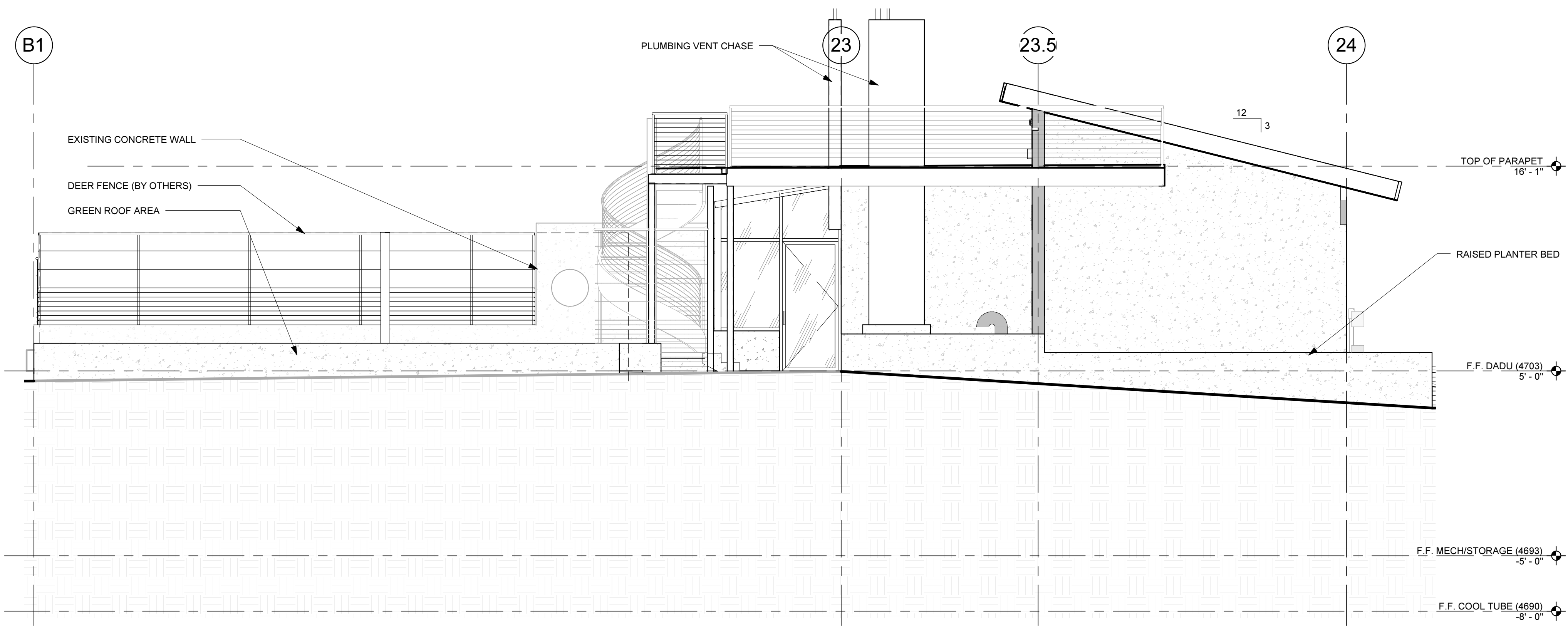
A-2.2



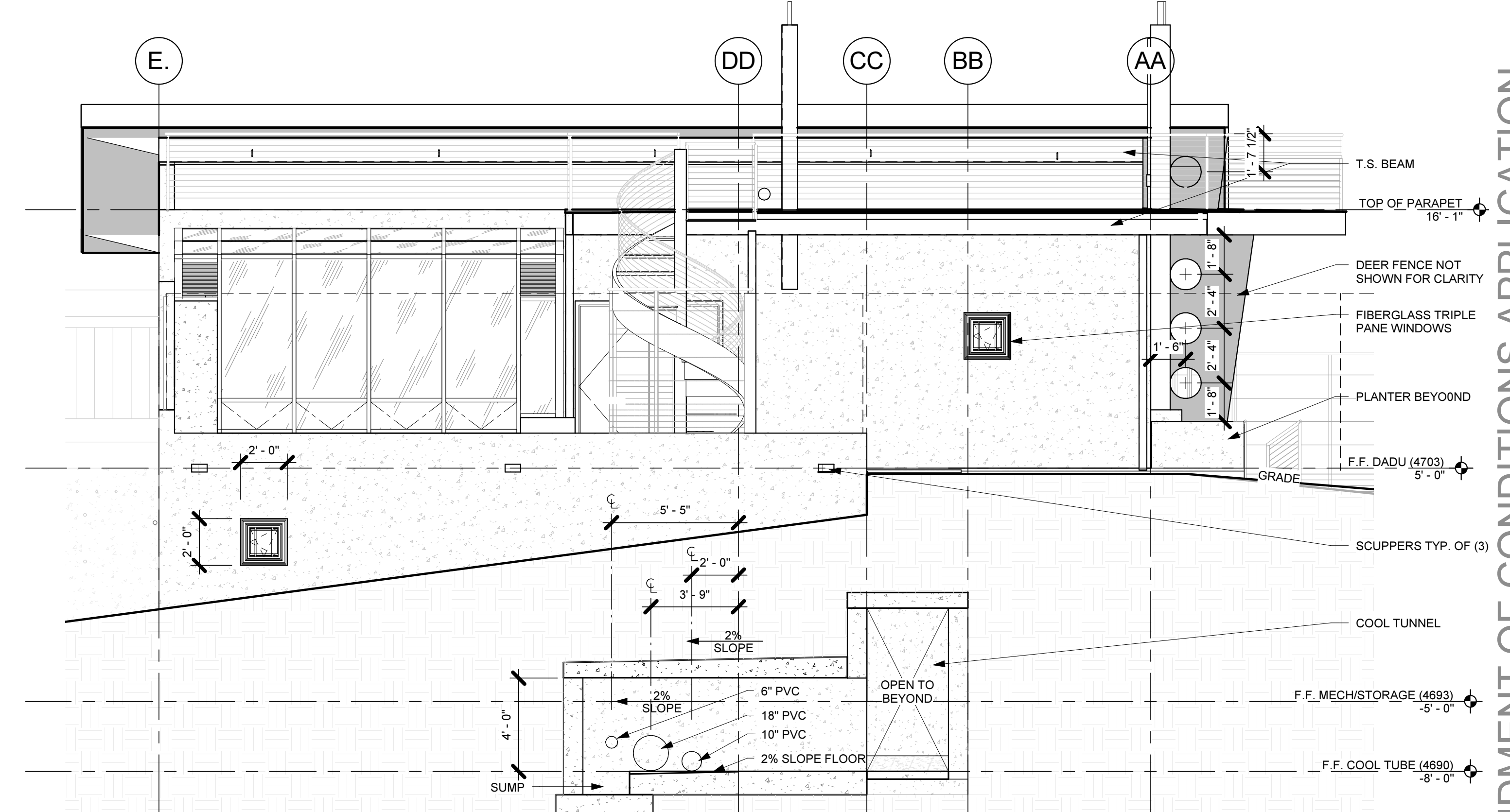
1 EAST ELEVATION STORAGE
1/4" = 1'-0"



2 SOUTH ELEVATION STORAGE
1/4" = 1'-0"



3 WEST ELEVATION STORAGE
1/4" = 1'-0"



4 NORTH ELEVATION STORAGE
1/4" = 1'-0"

AMENDMENT OF CONDITIONS APPLICATION

NO.	DESCRIPTION	DATE
1	EXTERIOR COLORS	1-27-2013
REVISIONS:		
SHEET NAME:	ELEVATIONS	
PROJECT NUMBER:	2012-02	
DRAWN BY:	MAJ	
CHECKED BY:	JIM	
DATE:	7-12-2013	

James Dean Molder
NEVADA REGISTERED RESIDENTIAL DESIGNER - 3116-P
NEVADA REGISTERED ARCHITECT - 25125-LS
ARIZONA REGISTERED ARCHITECT - 032578
1952 Oldwood Drive Reno NV 89502
1952 Oldwood Drive Reno NV 89502

OWENS RESIDENCE
D.A.D.U. / STORAGE / MECHANICAL BUILDING
8895 LAKESIDE DRIVE
WASHOE COUNTY, NEVADA 89511

