

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: <i>Fuselier Inlaw Quarters</i>			
Project Description: <i>DADAR</i>			
Project Address: <i>6275 Rock Farm Drive</i>			
Project Area (acres or square feet): <i>2.5 acres</i>			
Project Location (with point of reference to major cross streets AND area locator): <i>Timberline x Rock Farm Road</i>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<i>049-040-08</i>	<i>2.5</i>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). <i>WBLD 22-104337</i>			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <i>Jean Fuselier</i>		Name:	
Address: <i>609 Moab Ct Reno NV</i>		Address:	
Zip: <i>89523</i>		Zip:	
Phone: <i>775-527-3142</i>		Phone:	
Fax:		Fax:	
Email: <i>fuselierjean0700@gmail.com</i>		Email:	
Cell: <i>775-527-3142³¹⁴²</i>		Cell:	
Other:		Other:	
Contact Person: <i>Jean Fuselier</i>		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name: <i>Lori Fuselier</i>	
Address:		Address: <i>1680 Back Nine Trail Reno NV</i>	
Zip:		Zip: <i>89523</i>	
Phone:		Phone: <i>775-527-3142</i>	
Fax:		Fax:	
Email:		Email: <i>lorifuselier@gmail.com</i>	
Cell:		Cell:	
Other:		Other:	
Contact Person:		Contact Person: <i>Lori lori.fuselier@yahoo.com</i>	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Special Use Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the project being requested?

INLAW QUARTERS - DADAR -
2 BR ROOM, 2 BATH, 2 CAR GARAGE

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

INCLUDED

3. What is the intended phasing schedule for the construction and completion of the project?

START THE SUMMER OF 2023

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

THE LOT IS BIG, 2.5 ACRES. THERE IS A LOT OF
SPACE FOR THE EXTRA HOUSE. IT WILL BE A
MOTHER INLAW QUARTERS.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

IT WILL MATCH THE EXISTING HOUSE WITH
SIDING, ROOF SLOPE AND ROOFING.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

I AM NOT SURE ON THE NEGATIVE IMPACTS ON
THE ADJACENT PROPERTIES.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

THERE WILL BE SOME LANDSCAPING DONE ONCE THE
HOUSE IS BUILT. TYPICAL HOUSE LIGHTS.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	SEPTIC
b. Electrical Service	NV ENERGY
c. Telephone Service	NONE
d. LPG or Natural Gas Service	PROPANE
e. Solid Waste Disposal Service	WASTE MANAGEMENT
f. Cable Television Service	NONE
g. Water Service	WELL

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	TRUCKER MEADOWS FIRE T-36
b. Health Care Facility	CARE MERIDIAN
c. Elementary School	HONSBERGER
d. Middle School	HELLZ
e. High School	GALENA
f. Parks	
g. Library	SOUTH VALLEYS LIBRARY
h. Citifare Bus Stop	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

2. How many cubic yards of material are you proposing to excavate on site?

3. How many square feet of surface of the property are you disturbing?

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

11. Are you planning any berms?

Yes	No	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

13. What are you proposing for visual mitigation of the work?

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

16. How are you providing temporary irrigation to the disturbed area?

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No	If yes, please attach a copy.
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Special Use Permit Application for Stables Supplemental Information

(All required information may be separately attached)

1. What is the maximum number of horses to be boarded, both within stables and pastured?

2. What is the maximum number of horses owned/maintained by the owner/operator of the project, both within stables and pastured?

3. List any ancillary or additional uses proposed (e.g., tack and saddle sales, feed sales, veterinary services, etc.). Only those items that are requested may be permitted.

4. If additional activities are proposed, including training, events, competition, trail rides, fox hunts, breaking, roping, etc., only those items that are requested may be permitted. Clearly describe the number of each of the above activities which may occur, how many times per year and the number of expected participants for each activity.

5. What currently developed portions of the property or existing structures are going to be used with this permit?

6. To what uses (e.g., restrooms, offices, managers living quarters, stable area, feed storage, etc.) will the barn be put and will the entire structure be allocated to those uses? (Provide floor plans with dimensions).

7. Where are the living quarters for the operators of the stables and where will employees reside?

8. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.) Have you provided for horse trailer turnarounds?

9. What are the planned hours of operation?

10. What improvements (e.g. new structures including the square footage, roadway/driveway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

11. What is the intended phasing schedule for the construction and completion of the project?

12. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

13. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

14. What are the adverse impacts upon the surrounding community (including traffic, noise, odors, dust, groundwater contamination, flies, rats, mice, etc.) and what will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

15. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

16. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

17. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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19. Community Sewer

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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20. Community Water

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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From: [Lori Fuselier](#)
To: [Bronczyk, Christopher](#)
Cc: fuselierjean0700@gmail.com; [Lori Fuselier](#)
Subject: Fw: Fuselier Inlaw DADAR Application
Date: Monday, March 13, 2023 5:52:28 PM
Attachments: [image001.png](#)

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Hello Christopher,

I hope this email finds you well. As I understand it you need confirmation of square footage for the following

Square Footage of Proposed Home

- Living Space - 3774 SF
- Garage: - 1198 SF

Square Footage of Proposed In-law Quarters (which is the home I would occupy)

- Living Space -1500 SF
- Garage - 519.80 SF

Please feel free to call or email me if you have further questions.

Regards.

Lori Fuselier
775-813-6840

----- Forwarded Message -----

From: Jean Fuselier <fuselierjean0700@gmail.com>
To: "lorifuselier@yahoo.com" <lorifuselier@yahoo.com>
Sent: Monday, March 13, 2023 at 05:09:17 PM PDT
Subject: Fwd: Fuselier Inlaw DADAR Application

----- Forwarded message -----

From: **Bronczyk, Christopher** <CBronczyk@washoecounty.gov>
Date: Mon, Mar 13, 2023 at 5:03 PM
Subject: Fuselier Inlaw DADAR Application
To: fuselierjean0700@gmail.com <fuselierjean0700@gmail.com>

Hi Jean,

Thank you for taking my call, as mentioned I just need clarification on the square footages.

Can you provide me the following.

Square Footage of Proposed Home

- Living Space
- Garage

Square Footage of Proposed Inlaw Quarters

- Living Space
- Garage

What I have on file from the plans for the submittal is: 3774 SF Home with a 1,198 sf Garage; 1,500 sf inlaw quarters with a 506sf garage.

I need something in writing from the applicant however outlining the proposed square footage of everything.

Thank you,



Chris Bronczyk

Senior Planner, Planning & Building Division | Community Services Department

cbronczyk@washoecounty.gov | Direct Line: 775.328.3612

My working hours: Monday-Friday 7:00am to 3:30pm

Visit us first online: www.washoecounty.gov/csd

Planning Division: 775.328.6100 | Planning@washoecounty.gov

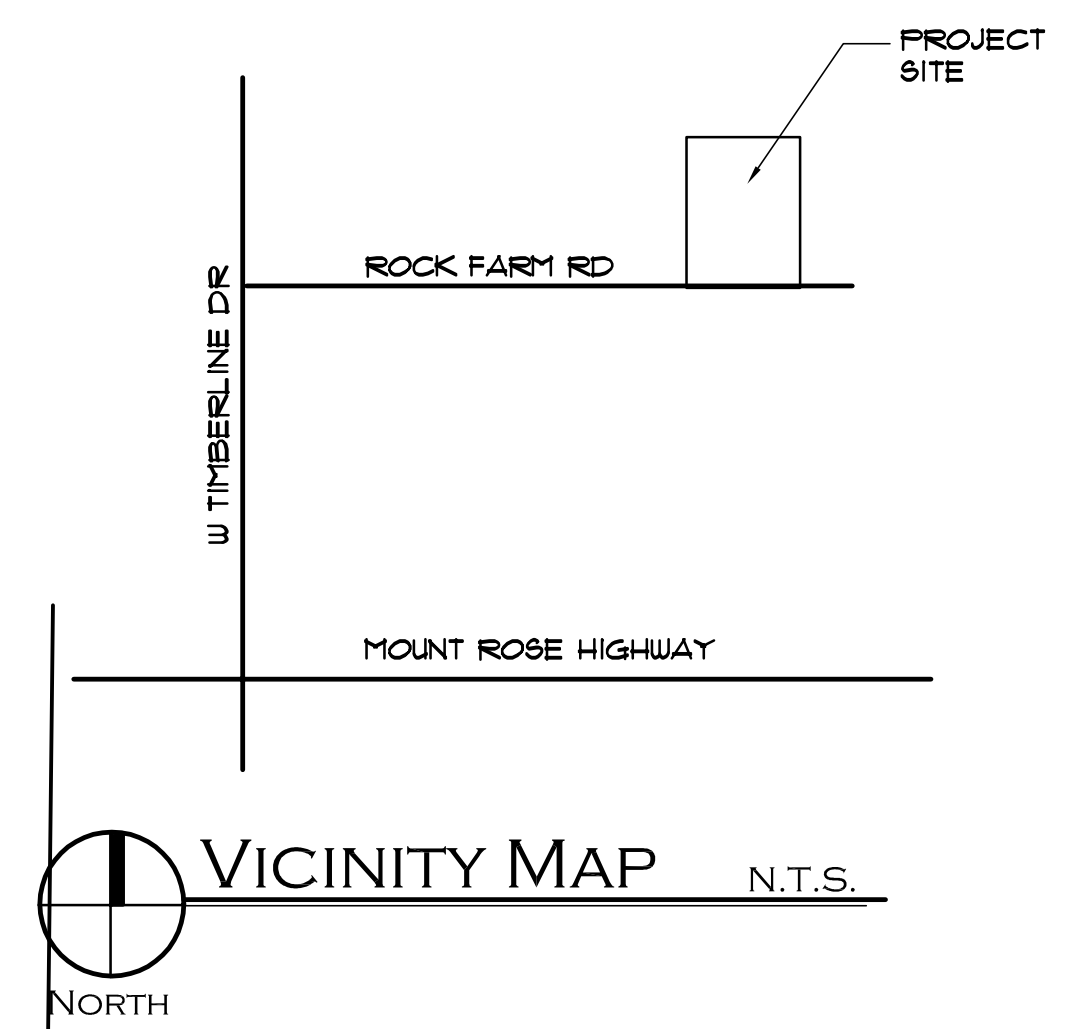
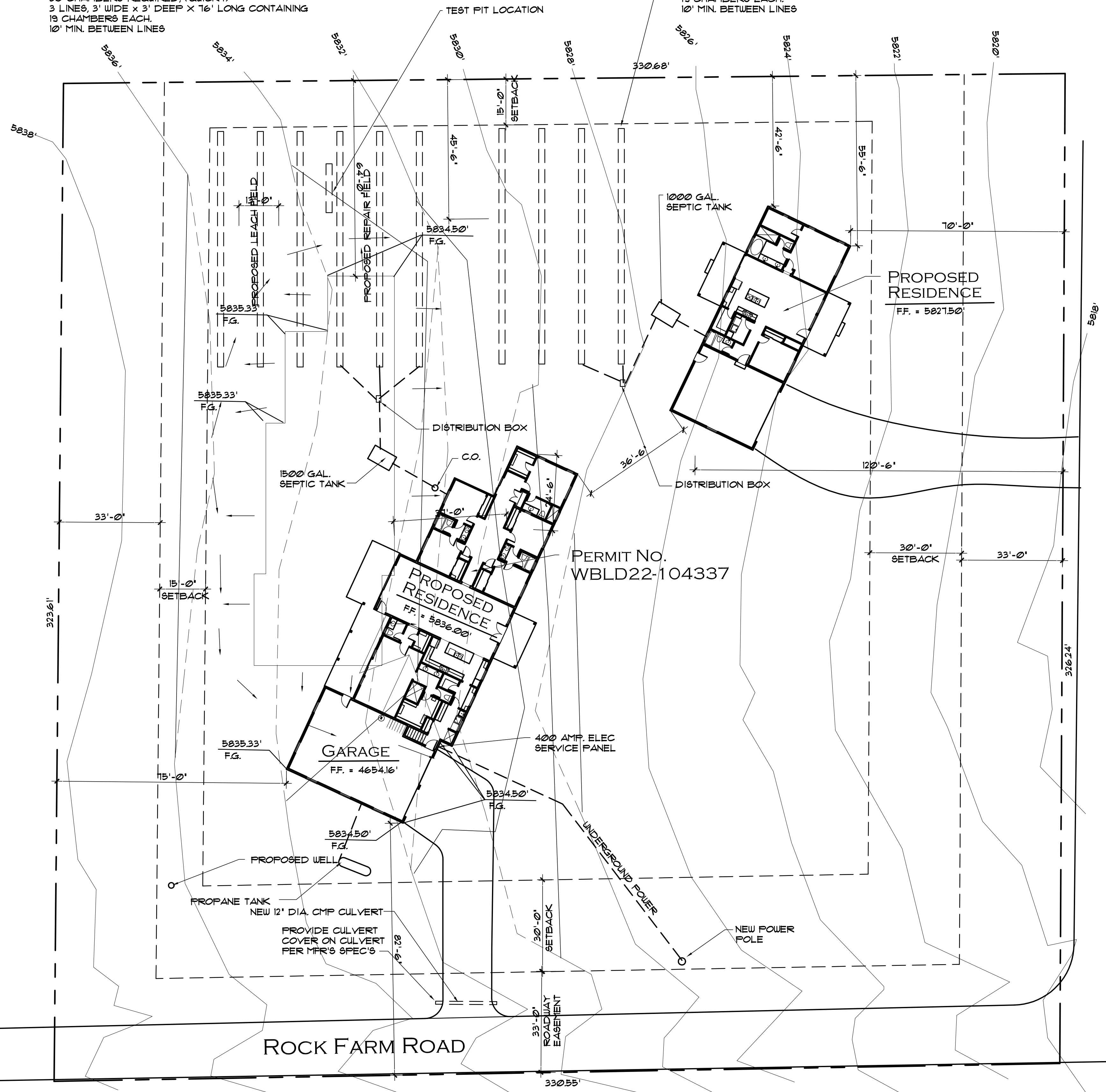
CSD Office Hours: Monday-Friday 8:00am to 4:00pm

1001 East Ninth Street, Reno, NV 89512

A New Inlaw Quarters Lori & Jean Fuselier

LEACH FIELD BASED ON INFO FROM WASHOE COUNTY
LEACH FIELD SHALL BE AN INFILTRATOR SYSTEM
3/6 CHAMBERS REQUIRED, (QUICK4)
3 LINES, 3' WIDE X 3' DEEP X 16' LONG CONTAINING
19 CHAMBERS EACH,
10' MIN. BETWEEN LINES

LEACH FIELD BASED ON INFO FROM WASHOE COUNTY
LEACH FIELD SHALL BE AN INFILTRATOR SYSTEM
3/6 CHAMBERS REQUIRED, (QUICK4)
2 LINES, 3' WIDE X 3' DEEP X 16' LONG CONTAINING
19 CHAMBERS EACH,
10' MIN. BETWEEN LINES



WUI NOTES

- ACCESS DOES COMPLY WITH SECTION 4022 AND 4022.1
- WATER SUPPLY DOES NOT CONFORM TO 4022, EXCEPTION 1 WILL BE USED FOR NON-CONFORMING WATER SUPPLY. IR2 CONSTRUCTION (15' x DEFENSIBLE SPACE).
- DEFENSIBLE SPACE SHALL BE 15' FROM HOUSE AND SHALL BE CLEARED OF ALL BRUSH AND MAINTAINED. TREES ARE ALLOWED IN THE DEFENSIBLE SPACE PROVIDED THE HORIZ. DISTANCE BETWEEN THE CROUNTS OF ADJACENT TREES AND CROUNTS OF TREES AND STRUCTURES, OVERHEAD ELECTRICAL FACILITIES AND UNMODIFIED FUEL IS NOT LESS THAN 10'-0"

GRADING NOTES

CUT AREA	4800 S.F.
CUT QUANTITY	250 C.Y.
FILL AREA	4400 S.F.
FILL QUANTITY	250 C.Y.
DISTURBED AREA	9200 S.F.

GRADING NOTES:

- CONTRACTOR TO PERPETUATE EXISTING DRAINAGE TO THE STREET. DRAINAGE SHALL NOT CHANGE FROM EXISTING CONDITIONS.
- SLOPE FINISH GRADE AWAY FROM HOUSE AT 5% MIN FOR 10'-0" MIN.
- PROVIDE LANDSCAPING AS REQUIRED TO STABILIZE THE AREAS DISTURBED BY CONSTRUCTION.
- MAXIMUM SLOPE OF GRADE SHALL BE 3:1.

NOTE:
THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH CONDITIONS OF APPROVAL AND COUNTY CODE.

NOTES:
ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.

CONSULTANTS
RESIDENTIAL DESIGNER
MICHAEL T. PETERSON
3710 GRANT DRIVE SUITE C
RENO NEVADA 89509
PHONE: (775) 856-1400
CELL: (775) 240-4564
MIKE@MTPETERSON.COM
ENGINEER
K2 ENGINEERING
860 MAESTRO DRIVE SUITE A
RENO, NEVADA 89511
PHONE: (775) 355-0505
JARED@K2ENG.NET

OWNER INFORMATION
JEAN & LORI FUSELIER
14437 RAIDER RUN ROAD
BEND, OREGON 97703
PHONE (775) 527-3142

DESIGN INFORMATION

RESIDENTIAL CODE	2018 I.R.C.
ELECTRICAL CODE	2018 I.R.C.
PLUMBING CODE	2018 I.R.C.
MECHANICAL CODE	2018 I.R.C.
ENERGY CONS. CODE	2018 IECC
STRUCTURAL DESIGN	2018 I.B.C.
WIND LOAD	VULT 130 MPH EXP C
SEISMIC ZONE	D-2
ROOF LL	87 PSF SNOW
WUI FIRE ZONE	HIGH

AND ANY APPLICABLE LOCAL ORDINANCES WHICH AFFECT THIS PROJECT

GENERAL NOTES

- ALL TRADE CONTRACTORS SHALL VERIFY CONDITIONS AND DIMENSIONS IN THE FIELD. ALL QUESTIONS AS TO DIMENSIONS AND FIELD CONDITIONS SHALL BE RESOLVED BEFORE THE AFFECTED WORK PROCEEDS.
- THE GENERAL BUILDING PERMIT AND PLAN CHECK FEE SHALL BE SECURED AND PAID FOR BY THE OWNER. ALL OTHER LICENSES AND FEES SHALL BE OBTAINED BY THE APPLICABLE TRADE CONTRACTOR FOR THE ASPECTS OF THE WORK RELATED TO THEIR TRADE.
- THE BUILDER SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TEMPORARY WATER SUPPLY, LIGHT / POWER, TOILET FACILITIES, AND A TRASH DUMPSTER OR TRAILER.
- ALL TRADES SHALL AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK, AND AT THE COMPLETION OF THEIR WORK REMOVE ALL RUBBISH FROM AND ABOUT THE JOB SITE, AND ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE JOB BEYOND CLEAN, INCLUDING REMOVING ALL LABELS, STICKERS, PAINT SHEARS, ETC. FROM LIGHTING FIXTURES, PLUMBING FIXTURES, GLASS SURFACES, FINISH HARDWARE, CABINETS, COUNTER TOPS, ETC.
- NOTHING INDICATED ON THESE PLANS IS INTENDED TO CONFLICT WITH ANY APPLICABLE CODE OR ORDINANCE. IN THE EVENT OF A CONFLICT THE CONTRACTOR OR SUB CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- EXISTING 840 SQ. FT RESIDENCE TO BE TRANSITIONED TO 840 SQ. FT. DADU 65 PER ARTICLE 302.1306

RESIDENCE INFORMATION

FIRST FLOOR LIVING AREA	3437 SQ. FT.
SECOND FLOOR LIVING AREA	337 SQ. FT.
TOTAL LIVING AREA	3774 SQ. FT.
GARAGE AREA	1198 SQ. FT.
COVERED PORCH AREA	425 SQ. FT.

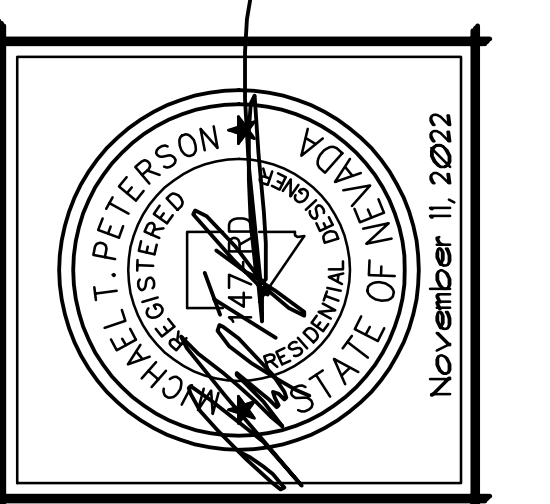
BUILDING INFORMATION

BUILDING OCCUPANCY GROUP: IRC
TYPE OF CONSTRUCTION: VB
A. P. N.: 049-040-08
LOT SIZE: 2.5 ACRES
LOT: BLOCK:
SUB DIVISION: UNSPECIFIED

SHEET SCHEDULE

A-1	COVER SHEET & SITE PLAN
A-2	FLOOR PLANS
A-3	EXTERIOR ELEVATIONS
A-4	BUILDING SECTIONS
A-5	ROOF PLAN
E1	ELECTRICAL PLANS
M-1	MECHANICAL PLANS
S-1	FOUNDATION PLAN
S-2	SHEARWALL & HOLDDOWN PLAN
S-3	ROOF FRAMING PLAN
SD-1	STRUCTURAL DETAILS
SD-2	STRUCTURAL DETAILS
SD-3	STRUCTURAL DETAILS

Michael T. Peterson
Residential Designer
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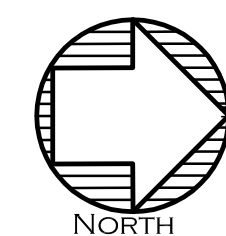
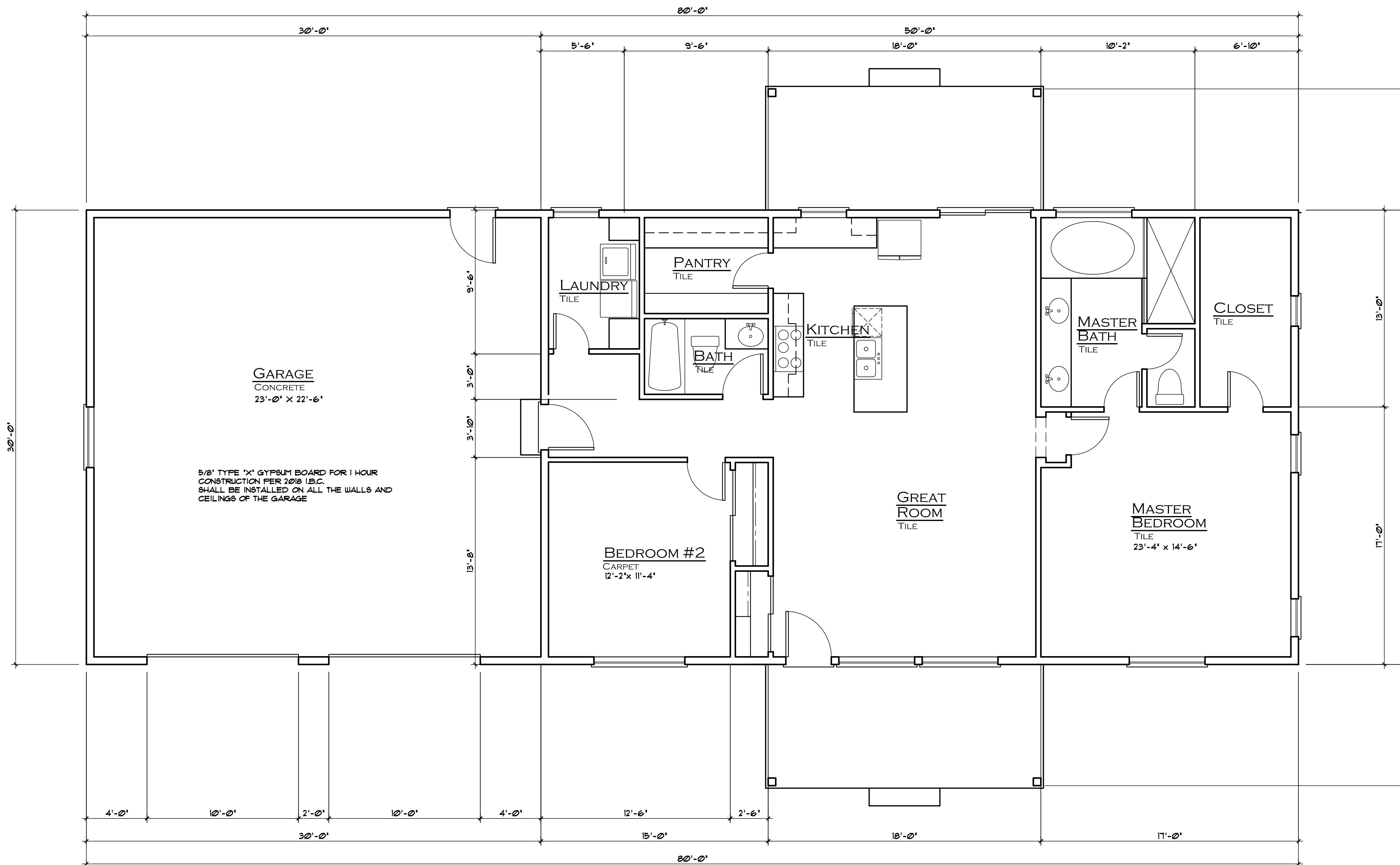
A New Inlaw Quarters
For
Jean & Lori Fuselier
6275 Rock Farm Road
Reno, Nevada 89511

Revisions

Mark	Date	Description

Drawn By	M.T.P.	Date	September 2, 2022
Checked By	M.T.P.	Project No.	2229

Sheet Title
COVER SHEET AND SITE PLAN
Sheet Number
A-1



FLOOR PLAN

FIRST FLOOR AREA = 1500 SQ. FT. GARAGE AREA COVERED PORCH = 900 SQ. FT. / 288 SQ. FT.

SCALE: 1/4" = 1'-0"

TYPICAL NOTES:

- ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION W/ PAPER
- NON LOAD BEARING INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. TYP. UNO.
- BATHROOM WALLS SHALL RECEIVE FIBERGLASS BATT SOUND INSULATION (TYF)
- ALL CEILING SHALL BE 9'-1" +/- MATCH EXISTING PLATE.
- PROVIDE R-3 INSULATION ON ALL HOT WATER PIPES IN CRAWL SPACE.
- SEE HEAT LOSS CALCULATIONS PER RESCHECK COMPLIANCE FOR MIN. WINDOW AND DOOR PERFORMANCE SPECIFICATIONS, AND FOR IECC REQUIREMENTS.
- AIR LEAKAGE AND SEALING MUST BE TESTED AND MEET OR BE LESS THAN 5 AIR EXCHANGES PER HOUR IN ACCORDANCE WITH THE ADOPTED NORTHERN NEVADA AMENDMENTS TO THE 2018 IECC.
- ATTIC ACCESS DOOR OR COVER TO BE INSULATED TO THE SAME LEVEL AS THE ATTIC INSULATION. PROVIDE WEATHER STRIPPING FOR THE ACCESS DOOR OR COVER PER 2018 IECC SECTION 402.2.3
- SUPPLY DUCTS IN THE ATTIC TO BE INSULATED TO A MIN. OF R-8. ALL OTHER DUCTS TO BE INSULATED TO A MIN. OF R-6.
- WALL AREAS IN TUBS AND SHOWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH 2012 OR OTHER NON PERMIABLE MATERIALS TO THE HEIGHT OF 12" ABOVE THE TUB OR SHOWER FINISH FLOOR.

ENERGY NOTES:

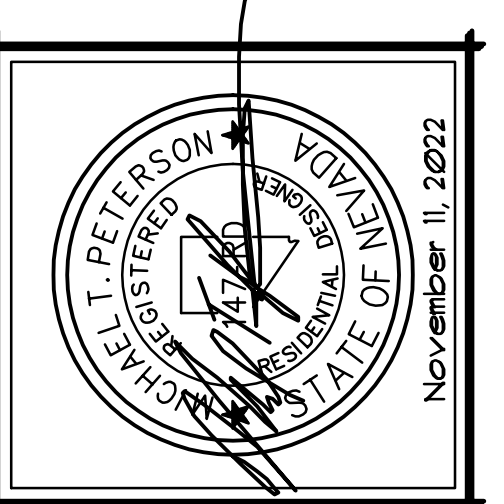
- A PERMANENT CERTIFICATE SHALL BE COMPLETED AND LOCATED IN AN APPROVED LOCATION THE LISTS THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED IN THE CEILING / ROOF, WALLS, FOUNDATION AND DUCTS OUTSIDE CONDITIONED SPACES, AND U-FACTORS FOR FENESTRATION.
- THE ATTIC ACCESS DOOR FROM THE CONDITIONED SPACE TO UNCONDITIONED SPACES (ATTIC) SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.
- THE AIR BARRIER SHALL BE VERIFIED BY A BLOWER DOOR TEST. PER IECC R402.4.1

PLUMBING NOTES:

- HOSE BIBS SHALL BE PROVIDED WITH AN ATMOSPHERE OR PRESSURE TYPE VACUUM BREAKER.
- THE WATER HAMMER ARRESTOR ARE REQUIRED AT THE QUICK-CLOSING VALVES, IE, DISHWASHER & CLOTHES WASHER.
- THE REQUIRED TEMPERATURE LIMITING DEVICE FOR BATHTUBS AND SHOWERS SHALL BE SET AT 120°F.
- BACKWATER VALVE IS REQUIRED TO PROTECT PLUMBING FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL OF THE NEAREST MAN HOLE COVER. FIXTURES THAT ARE ABOVE THE ELEVATION LEVEL OF THE MANHOLE COVER SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE.
- JETTED TUBS SHALL HAVE A 12" x 12" ACCESS OPENING. IF THE PUMP IS LOCATED WITHIN 2' FROM THE ACCESS OPENING THE OPENING SHALL BE 18" x 18"
- HOT WATER PIPING SHALL BE INSULATED WITH R-3 MIN.
- PROVIDE A WATER PRESSURE REGULATOR IN ACCORDANCE WITH 2018 UPC WHEN CITY WATER SUPPLY EXCEEDS 80 PSI.

Michael T. Peterson
 Residential Designer
 www.mtpeterson.com
 mike@mtpeterson.com

Phone: (775) 856-1400 3710 Grant Dr. Suite C
 Reno, Nevada 89509
 Cell: (775) 240-4564



A New Inlaw Quarters
 For
 Jean & Lori Fuselier
 6275 Rock Farm Road
 Reno, Nevada 89511

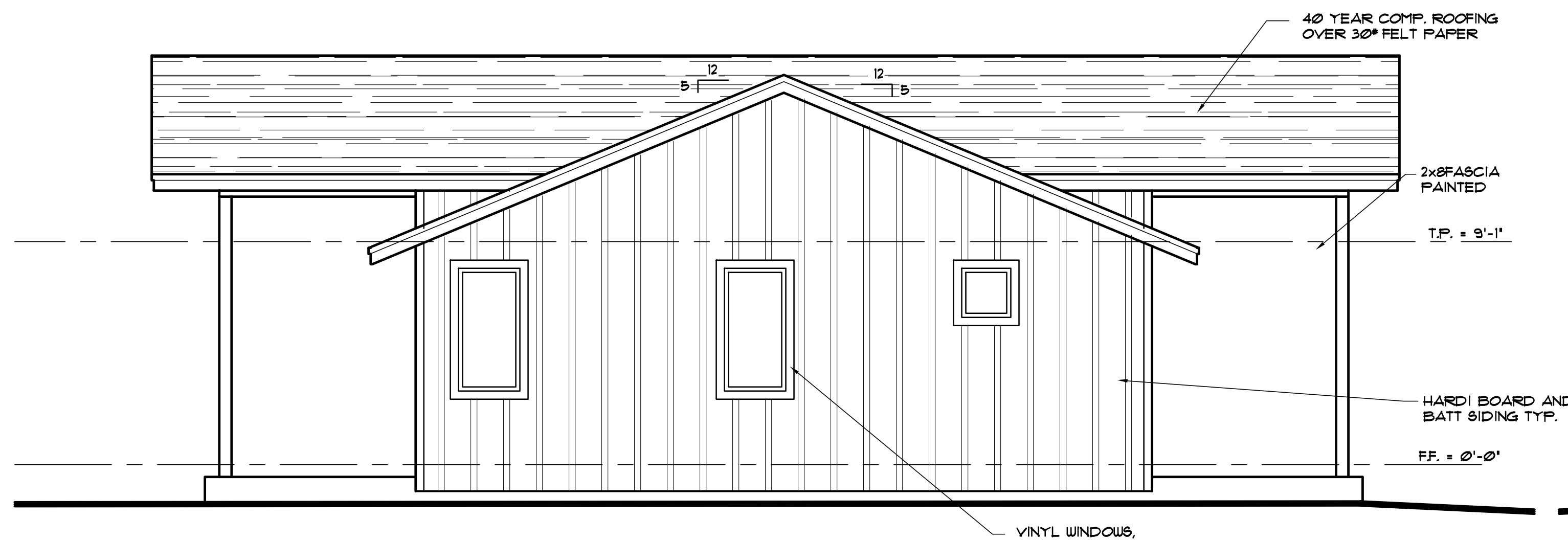
Revisions		
Mark	Date	Description

Drawn By M.T.P.	Date September 2, 2022
Checked By M.T.P.	Project No. 2229

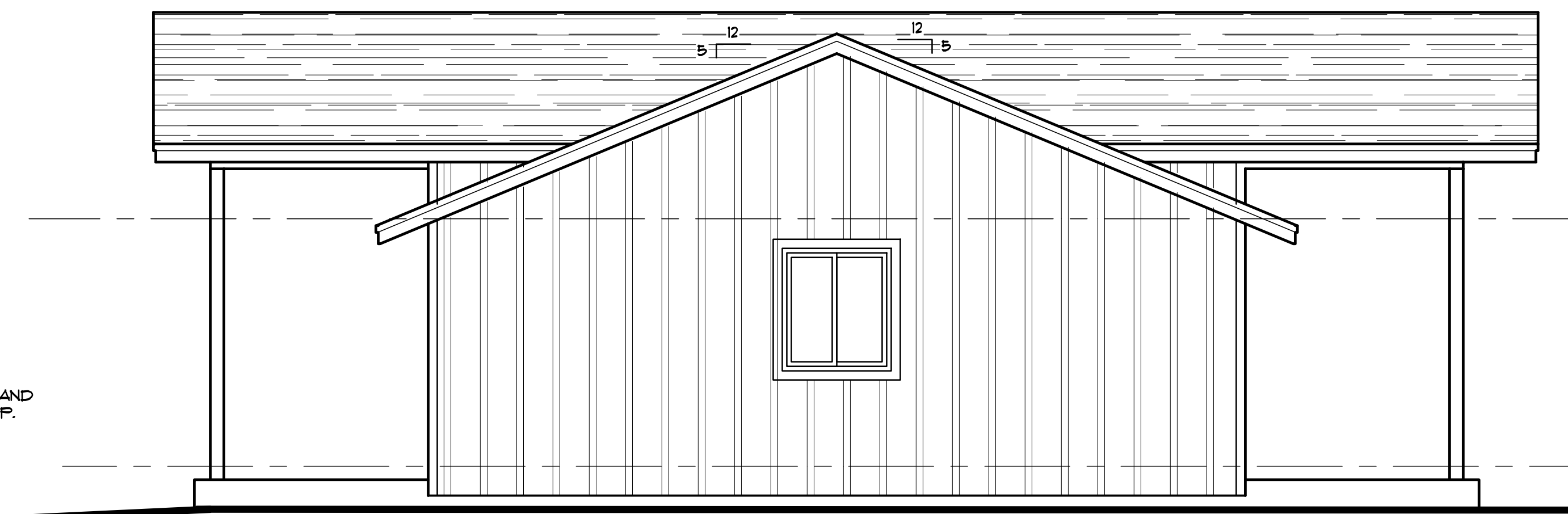
Sheet Title
FLOOR PLAN

Sheet Number
A-2

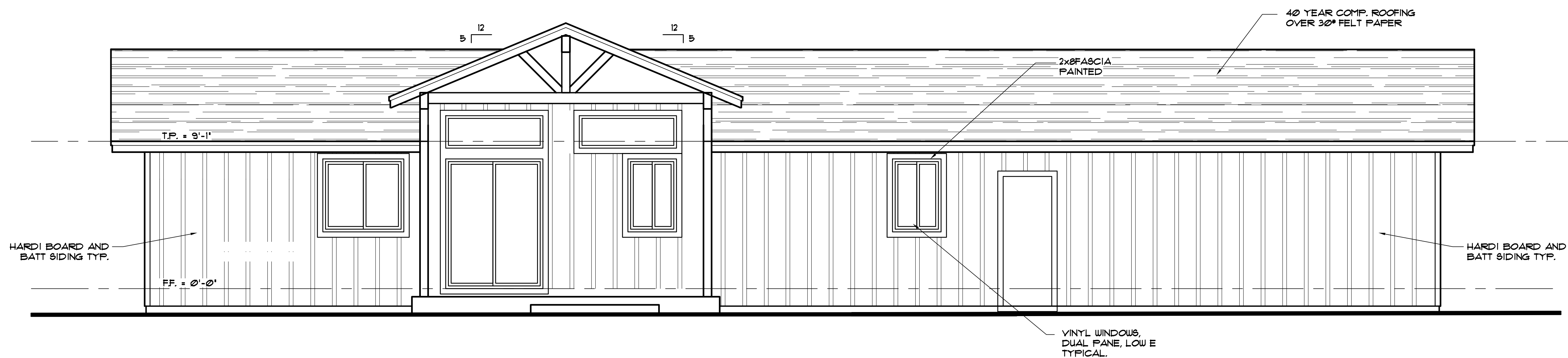
Final Submittal



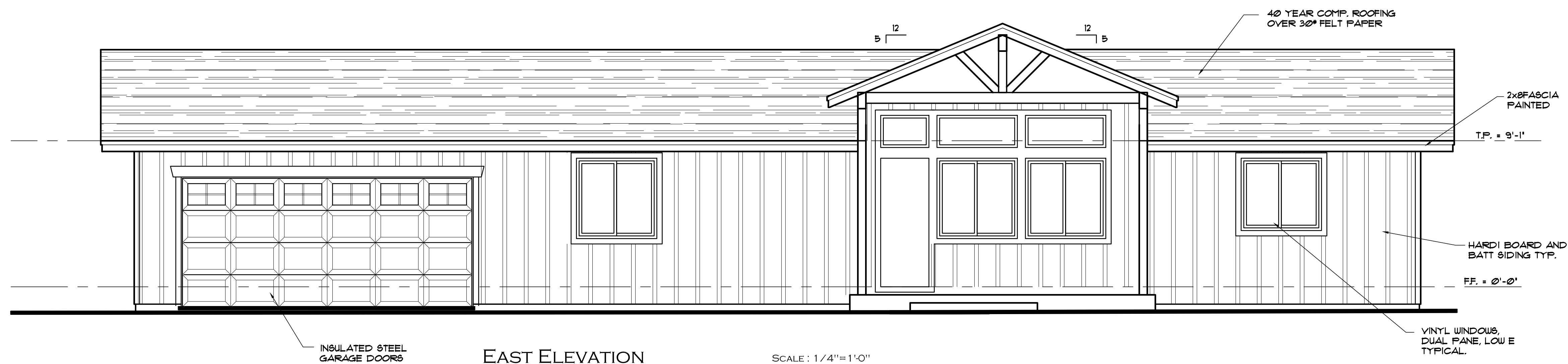
EAST ELEVATION SCALE: 1/4"=1'-0"



EAST ELEVATION SCALE: 1/4"=1'-0"

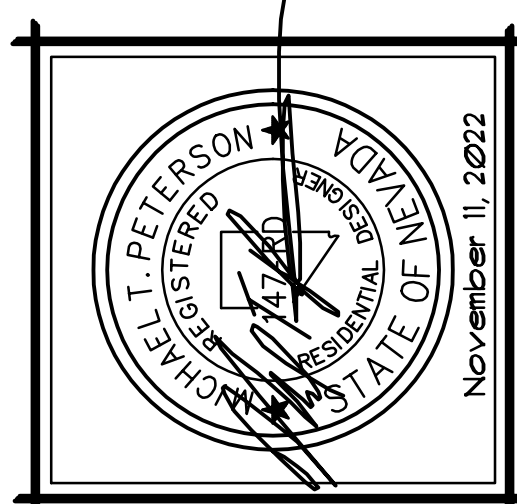


EAST ELEVATION SCALE: 1/4"=1'-0"



EAST ELEVATION SCALE: 1/4"=1'-0"

Michael T. Peterson
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mike@mtpeterson.com
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3710 Grant Dr. Suite C
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A New Inlaw Quarters
For
Jean & Lori Fuselier
6275 Rock Farm Road
Reno, Nevada 89511

Revisions	Mark	Date	Description

Drawn By M.T.P.	Date September 2, 2022
Checked By M.T.P.	Project No. 2229

Sheet Title
EXTERIOR ELEVATIONS

Sheet Number
A-3

Final Submittal