

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: <u>Detached Garage and D.A.D.</u>			
Project Description: <u>detached garage 1707 sqft</u> <u>utility bath 203 sqft</u> <u>D.A.D. Stairway 584 sqft</u>			
Project Address: <u>105 Desatoya Ct Reno NV 89511</u>			
Project Area (acres or square feet): <u>LOT size 1.083 acres</u>			
Project Location (with point of reference to major cross streets AND area locator): <u>South of Arrowcreek Parkway and east of Thomas Creek</u>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>142-250-10</u>	<u>1.083</u>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s):			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <u>Jeanne Cregg Hill</u>		Name: <u>Ainsworth, Gary</u>	
Address: <u>105 Desatoya Ct</u>		Address: <u>PO Box 10054</u>	
<u>Reno NV Zip: 89511</u>		<u>Reno NV Zip: 89510</u>	
Phone: <u>805 990 1317</u> Fax: <u>Jeanne</u>		Phone: <u>775 324 1155</u> Fax: <u>775 324 1190</u>	
Email: <u>hilljeanne@gmail.com</u>		Email: <u>ainsworthdesign@att.net</u>	
Cell: <u>805 701 6711</u> Other: <u>Cregg</u>		Cell: _____ Other: _____	
Contact Person: <u>Jeanne</u>		Contact Person: _____	
Applicant/Developer:		Other Persons to be Contacted:	
Name: _____		Name: _____	
Address: _____		Address: _____	
Zip: _____		Zip: _____	
Phone: _____ Fax: _____		Phone: _____ Fax: _____	
Email: _____		Email: _____	
Cell: _____ Other: _____		Cell: _____ Other: _____	
Contact Person: _____		Contact Person: _____	
For Office Use Only			
Date Received: _____ Initial: _____		Planning Area: _____	
County Commission District: _____		Master Plan Designation(s): _____	
CAB(s): _____		Regulatory Zoning(s): _____	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

current dwelling is 3096

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

Total size is 2584 of which, 1707 is garage
293 is stairway, 584 is dwelling

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

match stucco siding & color
match composite roof color

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

ample parking / no new road or driveway

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

no neg. impacts no add light
no existing vegetation

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Washoe Cty Tr.	Washoe Cty Tr.
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Mgmt	Waste Mgmt
Water Service	Truckee Meadows	Truckee Meadows

Assessor data

Home » Assessor » Real Property Assessment Data

WASHOE COUNTY ASSESSOR PROPERTY DATA

11/2/2022

Owner Information				Building Information		XFOB	SUBAREA
APN	142-250-10	Card 1 of 1	Bld #1 Situs	105 DESATOYA CT	Property Name		
Situs 1	105 DESATOYA CT WASHOE COUNTY NV 89511	Bld # 1	Quality	R40 Good	Building Type	Single Family Residence	
Owner 1	HILL FAMILY 2021 TRUST		Stories	1 Story	2nd Occupancy		
Owner 2 or Trustee	HILL TRUSTEE, CREGG S & JEANNE M		Year Built	2007	WAY	2007	
Mail Address	105 DESATOYA CT RENO NV 89511		Bedrooms	4	Square Feet	3096	
Parcel Information				Full Baths	2	Finished Bsmt	0
Keyline Desc	PM 4493 A		Half Baths	1	Unfin Bsmt	0	
Subdivision	UNSPECIFIED		Fixtures	13	Basement Type		
	Section Township 18	Range 20	Fireplaces	1	Gar Conv Sq Feet	0	
Record of Survey Map : Parcel Map# 4493 : Sub Map#				Heat Type	FA/AC	Total Garage Area	713
Special Property Code				2nd Heat Type		Garage Type	ATTACHED
2022 Tax District	4000	Prior APN	142-250-03	Exterior Walls	STUCCO ON FRAME	Detached Garage	0
2021 Tax District	4000	Tax Cap Status	Low Cap Qualified Primary Residence	2nd Ext Walls		Basement Gar Door	0
PERMITS	pkinne 06/07/2016			Roof Cover	COMPOSITION SHINGLE	Sub Floor	WOOD
				% Complete	100	Frame	FRAME
				Obso/Bldg Adj	0	Units/Bldg	1
				Construction Modifier		Units/Parcel	1

Land Information

LAND DETAILS

Land Use	200	DOR Code	200	Sewer	Municipal	Neighborhood	EABG EA Neighborhood Map
Size	47,166 SqFt	Size	1.083 Acres	Street	Unpaved	Zoning Code	LDS
				Water	Muni		

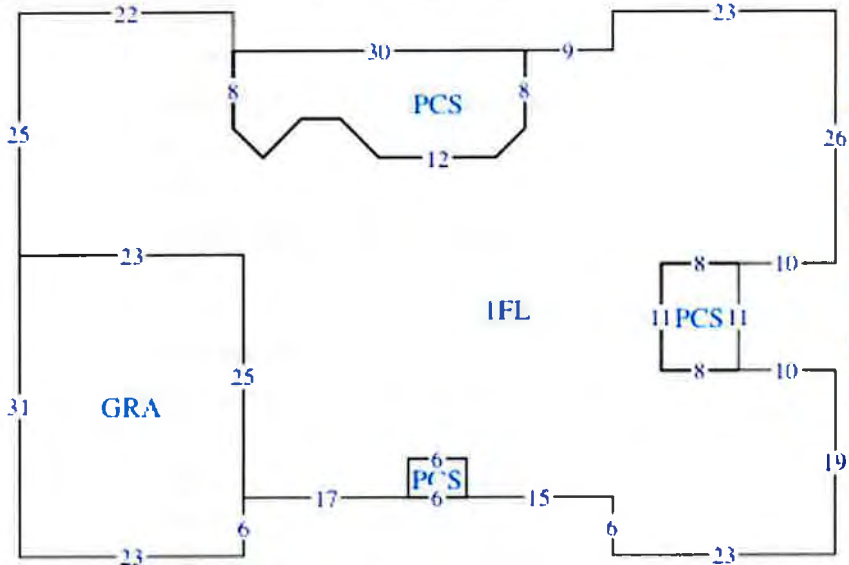
Sales and Transfer Records

RECORDER SEARCH

Grantor	Grantee	Doc #	Doc Type	Doc Date	DOR Code	Value/Sale Price	Sale Code	Note
HILL, CREGG S & JEANNE M	HILL FAMILY 2021 TRUST HILL TRUSTEE, CREGG S & JEANNE M	5191142	DEED	06-10-2021	200	0	3BGG	
FRITZ, JOHN & MELISSA	HILL, CREGG S & JEANNE M	4457977	DEED	04-15-2015	200	510,000	2D	
FRITZ, JOHN & MELISSA	FRITZ, JOHN & MELISSA	3828441	F#	12-09-2009	200	0	3NTT	
FRITZ, JOHN & MELISSA	FRITZ,JOHN & MELISSA	3323726	PM	12-14-2005		0	3NTT	

Valuation Information

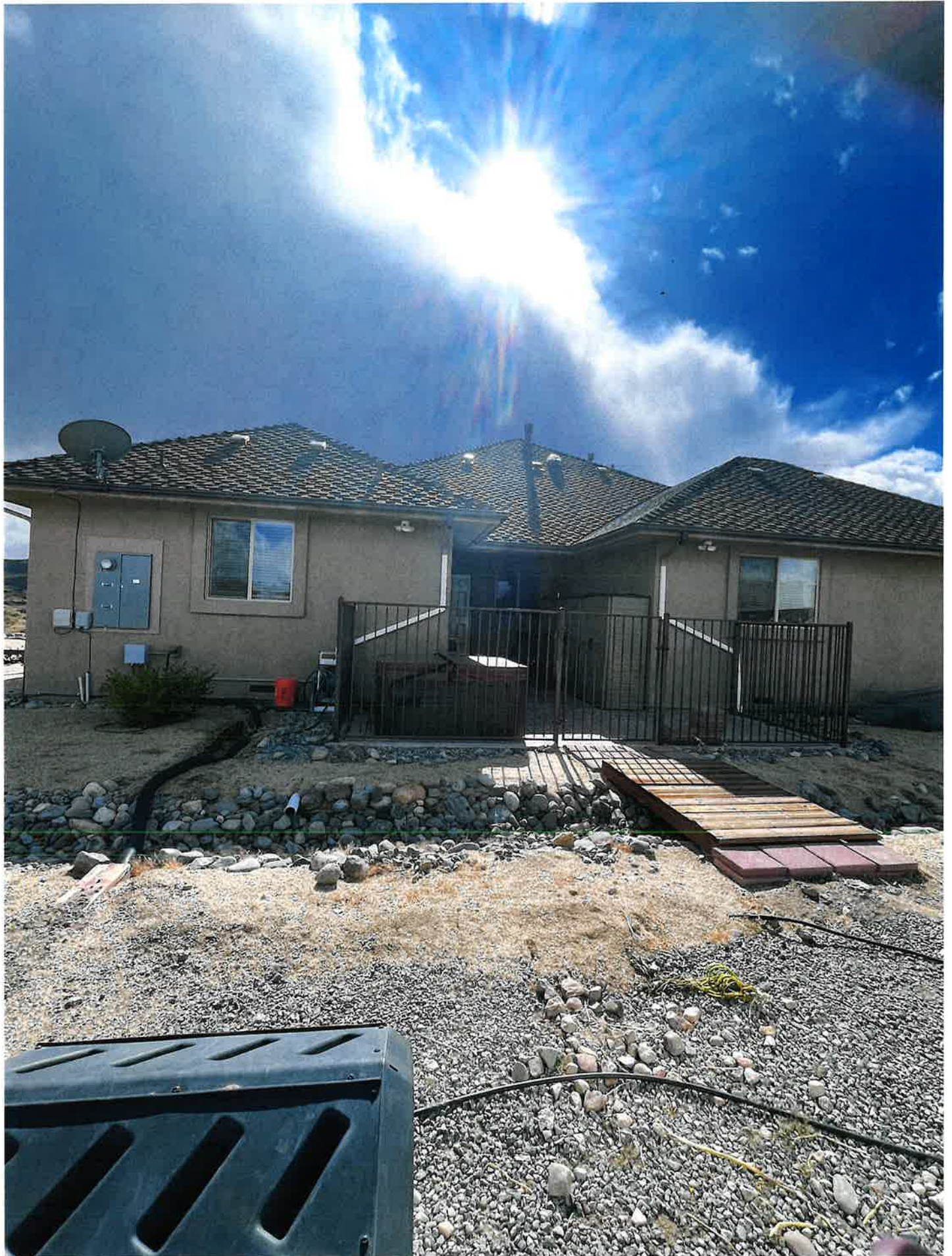
	Taxable Land	New Value	Taxable Imps	OBSO	Tax Cap Value	Taxable Total	Land Assessed	Imps Assessed	Total Assessed	Exemption Value
2022/23 FV	153,000	0	378,161	0	414,677	531,161	53,550	132,356	185,906	0



All parcel data on this page is for use by the Washoe County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Washoe County Assessor's Office as of 11-01-2022



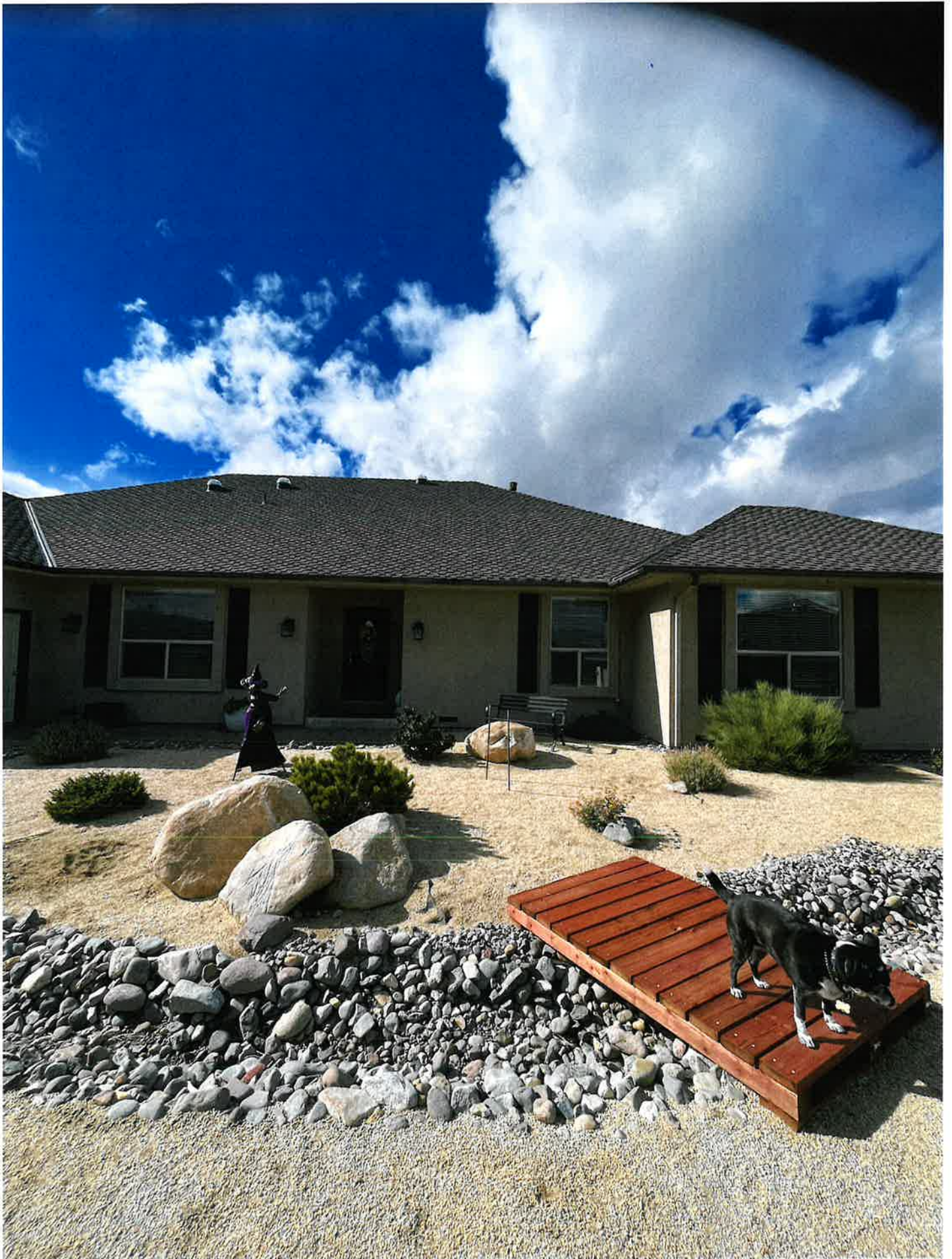
SOUTH Desatoya



North Desatoyg



East Desatoya partial

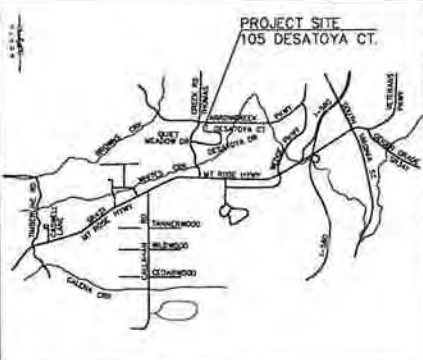


East Desatoya



West desatoyy

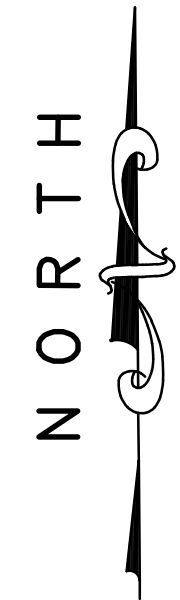
DETACHED GARAGE AND D.A.D. FOR: CREGG & JEANNE HILL 105 DESATOYA COURT RENO, WASHOE CO., NV. 89511

DESIGN DATA	PROJECT DATA	OWNER INFORMATION
ZONING	PROJECT SQUARE FOOTAGE	OWNER
LDS	DETACHED GARAGE 1707 SF	CREGG AND JEANNE HILL 105 DESATOYA COURT RENO, NV. 89511 (805) 701-6711
OCCUPANCY GROUP	UTILITY, BATH, STAIRWAY 293 SF	DESIGN TEAM
R-3	DETACHED ACCESSORY DWELLING (D.A.D.) 584 SF	DESIGNER
TYPE OF CONSTRUCTION		AINSWORTH RESIDENTIAL DESIGN 215-B MT. ROSE ST. RENO, NV. 89509 GARY AINSWORTH, Reg.# 096-RD 324-1155
TYPE V-N		ENGINEER
FIRE SPRINKLERS		
NO	FIRE RISK RATING (W.U.I.)	
FIRE ALARM	MODERATE RISK RATING	
NO	WATER	
VICINITY MAP	MUNICIPAL	
	SEWER	
	MUNICIPAL	
	LOT SIZE	
	1.083 ACRES (47,166 SQ. FT.)	
	PARCEL NUMBER	
	142-250-10	
	ALLOWABLE AREA	ALLOWABLE HEIGHT
	UNLIMITED	3 STORIES 40 FEET
	PROJECT ELEVATION	
	GROUND ELEVATION (5070')	
WASHOE COUNTY CODE		
2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 NORTHERN NEVADA AMENDMENTS 2018 MIDLAND URBAN INTERFACE CODE 2018 INTERNATIONAL BUILDING CODE (STRUCTURAL)		
		SHEET INDEX
		A0 TITLE SHEET A1 SITE PLAN A2 FLOOR PLANS A3 EXTERIOR ELEVATIONS



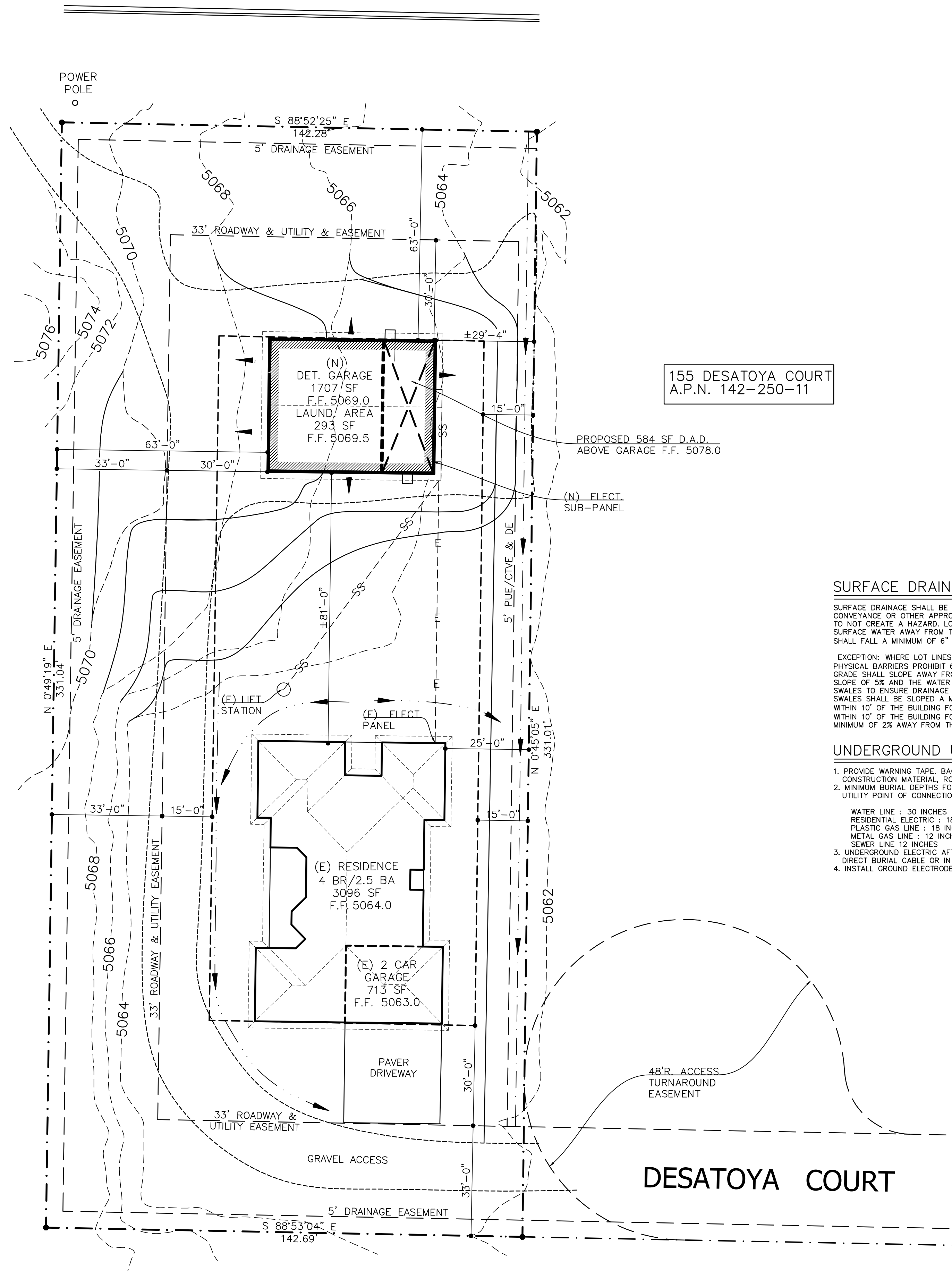
	REVISION	BY
AINSWORTH RESIDENTIAL DESIGN <small>AINSWORTH RESIDENTIAL DESIGN, INC. 215-B MT. ROSE STREET, RENO, NV. 89509 BOX 1770, 224-1145 FAX (775) 234-1140 C-MAIL: ainsworth@ardesign.com</small>		
DETACHED GARAGE & D.A.D. FOR: CREGG & JEANNE HILL <small>105 DESATOYA COURT · RENO · NEVADA 89511</small>		
	11/01/2022	
	HILL	
	GRA	
	TITLE	
A0		

ARROWCREEK PARKWAY



0 THOMAS CREEK RD.
A.P.N. 150-030-01

155 DESATOYA COURT
A.P.N. 142-250-11



0 DESATOYA DRIVE
A.P.N. 142-250-04

WILDLAND URBAN INTERFACE
FIRE RISK RATING IR2 (MODERATE)
IGNITION-RESISTANT CONSTRUCTION

ROOFS	<ul style="list-style-type: none"> CLASS B EAVE ENDS FIRE STOPPED 26 GAUGE VALLEY FLASHING^a
EAVES	<ul style="list-style-type: none"> ENCLOSED WITH SOLID MATERIAL (3/4" MIN.) NO EXPOSED TAILS UNLESS HEAVY TIMBER
FASCIA	<ul style="list-style-type: none"> ENCLOSED WITH SOLID MATERIAL (3/4" MIN.)
VENTS ^{b,c}	<ul style="list-style-type: none"> <144 SQUARE INCHES <1/4" NONCOMBUSTIBLE CORROSION-RESISTANT MESH OR APPROVED DEVICE
EXTERIOR WALLS	<ul style="list-style-type: none"> APPROVED 1-HOUR FRC^d APPROVED NONCOMBUSTIBLE MATERIALS HEAVY TIMBER OR LOG WALL FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE IR MATERIAL
WINDOWS	<ul style="list-style-type: none"> TEMPERED GLASS MULTI-LAYERED GLAZED PANELS GLASS BLOCK 20 MINUTE RATING MINIMUM
DOORS ^e	<ul style="list-style-type: none"> APPROVED NONCOMBUSTIBLE CONSTRUCTION SOLID CORE (1 3/4" MIN.) 20 MINUTE RATING MINIMUM
APPENDAGES (i.e. DECKS) ^f	<ul style="list-style-type: none"> 1-HOUR FRC HEAVY TIMBER APPROVED NONCOMBUSTIBLE MATERIALS FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE IR MATERIAL
ENCLOSED UNDERFLOOR	<ul style="list-style-type: none"> ENCLOSED TO GROUND 1-HOUR FRC HEAVY TIMBER FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE
GUTTERS & DOWNSPOUTS	<ul style="list-style-type: none"> NONCOMBUSTIBLE MATERIAL PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS

a. WHEN PROVIDED.
b. GABLE END, SOFFIT, EAVE AND DORMER VENTS SHALL BE LOCATED AT LEAST 10 FEET FROM LOT LINES.
c. ATTIC VENTILATION OPENINGS AT SOFFITS, EAVES OR OVERHANG AREAS MUST BE APPROVED DEVICES ONLY.
d. ON THE EXTERIOR SIDE.
e. EXCEPTION: VEHICLE ACCESS DOOR.
f. SEE W.U.I. CODE, AMENDMENTS AND GUIDE FOR ADDITIONAL RESTRICTIONS OR EXCEPTIONS.

SURFACE DRAINAGE:

SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION SO AS TO NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'.

EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6" OF FALL WITHIN 10', THE FINAL GRADE SHALL SLOPE AWAY FROM THE FOUNDATION AT A MINIMUM SLOPE OF 5% AND THE WATER SHALL BE DIRECTED TO DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. SWALES SHALL BE SLOPED A MINIMUM OF 2% WHEN LOCATED WITHIN 10' OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

UNDERGROUND UTILITIES:

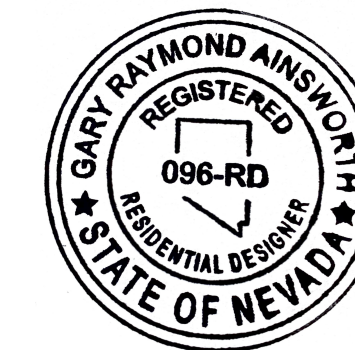
- PROVIDE WARNING TAPE, BACKFILL MATERIAL TO BE FREE OF CONSTRUCTION MATERIAL, ROCKS AND DEBRIS.
- MINIMUM BURIAL DEPTHS FOR UTILITIES AFTER THE SERVING UTILITY POINT OF CONNECTION:
 - WATER LINE : 30 INCHES
 - RESIDENTIAL ELECTRIC : 18 INCHES
 - PLASTIC GAS LINE : 18 INCHES
 - METAL GAS LINE : 12 INCHES
 - SEWER LINE 12 INCHES
- UNDERGROUND ELECTRIC AFTER THE METER SHALL BE LISTED DIRECT BURIAL CABLE OR IN CONDUIT.
- INSTALL GROUND ELECTRODE PER IRC E3608.

WASHOE COUNTY GRADING NOTES

- "OWNER IS RESPONSIBLE TO PERPETUATE EXISTING DRAINAGE". IF MORE THAN 50 CUBIC YARDS OF MATERIAL AND/OR MORE THAN 10,000 SQ. FT. WILL BE DISTURBED, COMPLY WITH WASHOE COUNTY CODE 438.3B.

BUILDING SITE NOTES:

- ALL NEW SINGLE FAMILY DWELLINGS AND ADDITIONS REGARDLESS OF LOT SIZE SHALL REQUIRE A NEVADA ENGINEER TO SUBMIT A REPORT INDICATING SOIL CLASSIFICATION AND SUITABILITY FOR THE PROPOSED DESIGN. A NEVADA ENGINEER OR SURVEYOR IS TO CERTIFY FOUNDATION ELEVATION AND BUILDING SETBACK PRIOR TO THE FOUNDATION INSPECTION. AT THE DISCRETION OF THE FIELD INSPECTOR A SETBACK LETTER MAY BE WAIVED WHEN PROPERTY LINES CAN BE DETERMINED. DETACHED NON HABITABLE STRUCTURES MAY REQUIRE ANY OF THE ABOVE DEPENDING ON FIELD CONDITIONS.
- CHECK YOUR PLANS FOR REBAR GRADE SPECIFICATIONS.
- ALL STEEL REINFORCING AND EMBEDS WITH THE EXCEPTION OF STANDARD ANCHOR BOLTS MUST BE FASTENED IN PLACE AT THE TIME OF INSPECTION.
- A NEVADA ENGINEER OR SURVEYOR TO CERTIFY DRAINAGE PER THE APPROVED PLANS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL CULVERTS AND DRIVEWAYS PER APPROVED PLAN. CONTACT THE ROAD OPERATIONS FOR INSPECTION.



Gary Ainsworth
11/10/2022



1" = 20' - 0"

105 DESATOYA COURT
A.P.N. 142-250-10
RENO, WASHOE COUNTY, NEVADA 89511

KEY:

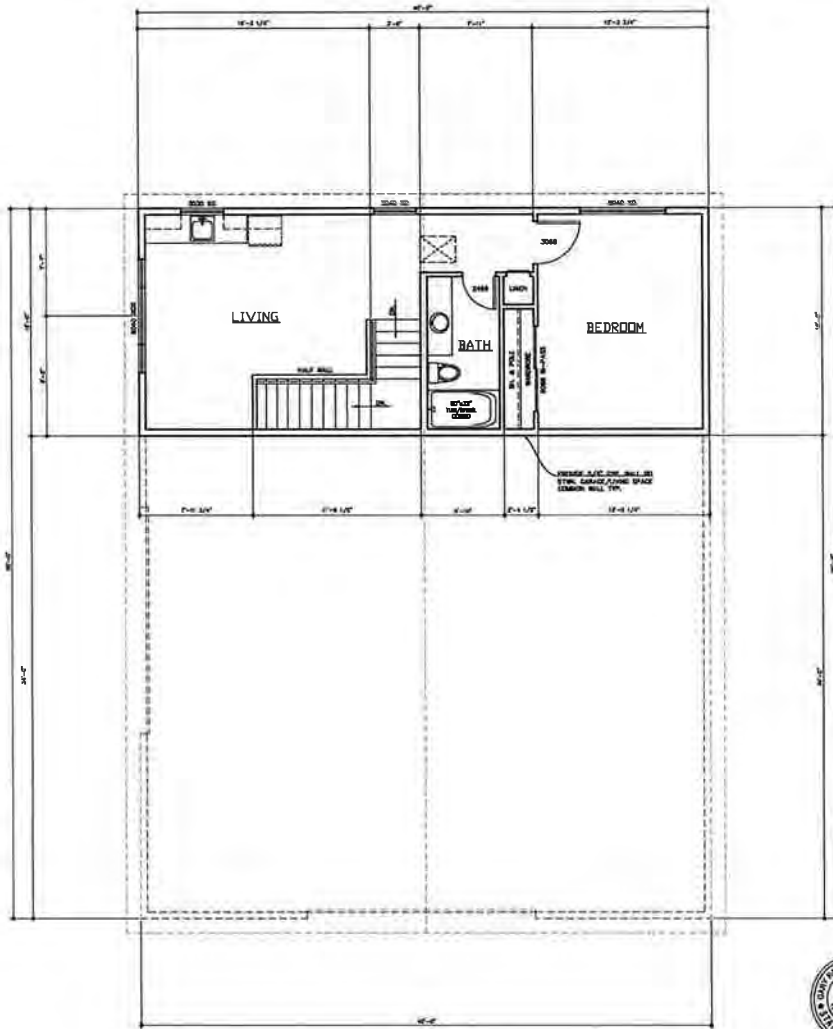
---	PROPERTY LINE
- - - -	EASEMENTS
---	BUILDING SETBACKS
→	DRAINAGE
---	EXISTING GRADE
---	FINISH GRADE

REVISION BY

AINS WORTH RESIDENTIAL DESIGN
GARY AINS WORTH REGISTERED RESIDENTIAL DESIGNER
CUSTOM HOMES & ADDITIONS
215-B Mt. Rose Street, Reno, NV, 89509
P.O. Box 10054, Reno, NV, 89510
Bus. (775) 324-1155 Fax. (775) 324-1190
E-Mail gary@northdesign.com

DETACHED GARAGE & D.A.D. FOR:
CREGG & JEANNE HILL
105 DESATOYA COURT, RENO, NEVADA 89511

Date 11/10/2022
Job HILL
Drawn GRA
Sheet Name SITE
Sheet Number A1

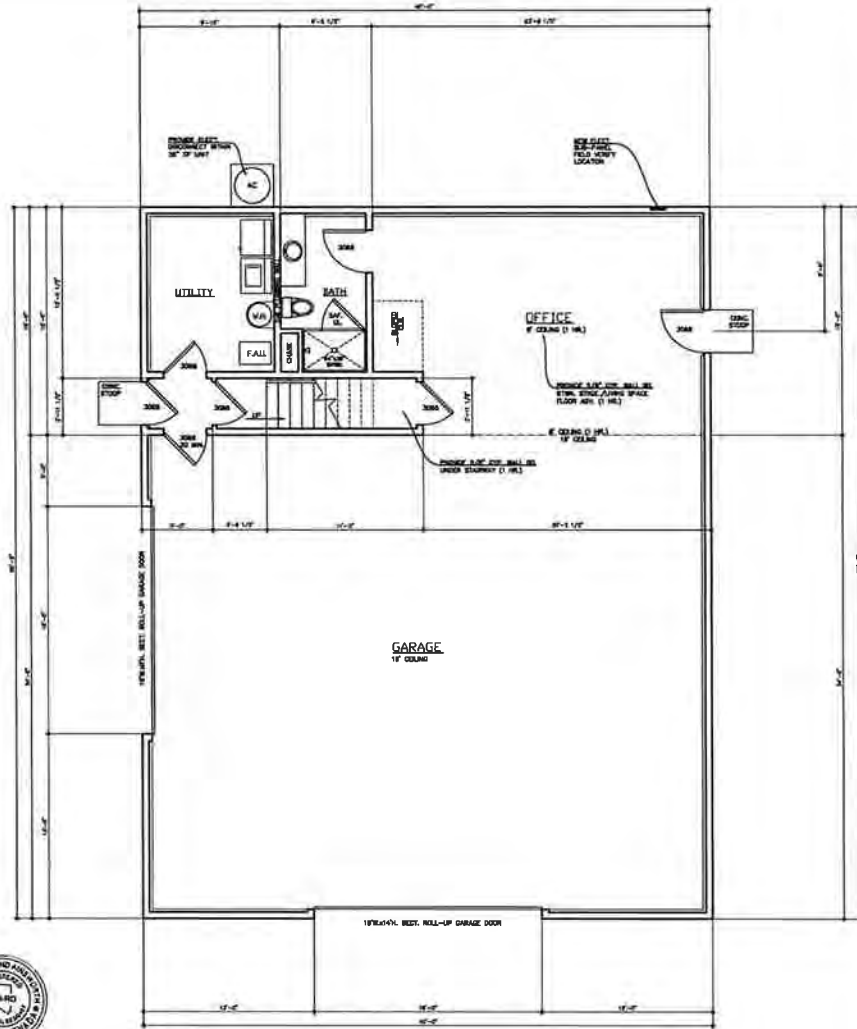


**DETACHED
ACCESSORY DWELLING FLOOR PLAN**

1/4" = 1' 0" 1 BDRM / 1 BATH 584 SF



Gary Ainsworth
11/01/2022



**DETACHED
GARAGE FLOOR PLAN**

1/4" = 1' 0" GARAGE 1707 SF
UTILITY, BATH, STAIRWAY 293 SF

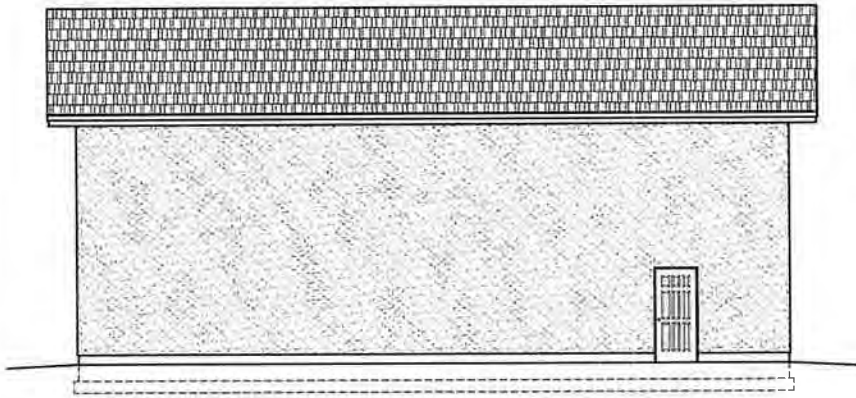
REVISION	BY

AINSWORTH RESIDENTIAL DESIGN
GARY AINSWORTH REGISTERED RESIDENTIAL DESIGNER
215-B W. Ross Street, Reno, NV 89509
P.O. Box 10044 Reno, NV 89510
Doc. C:\dgd\ainsworth\rdp\2022\11

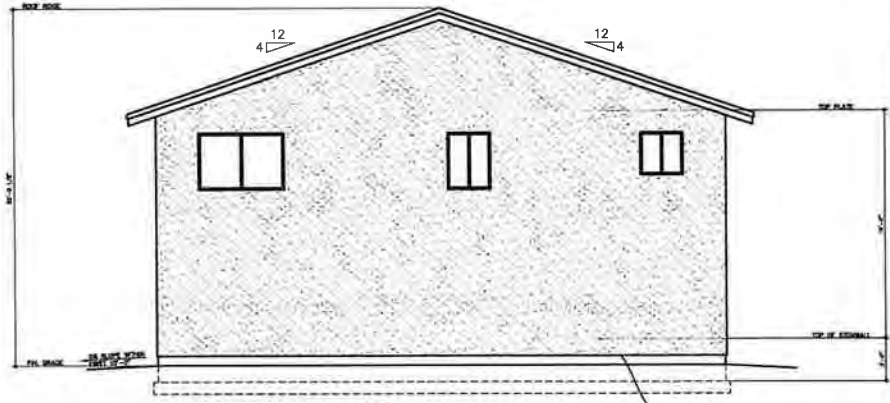
**DETACHED GARAGE & D.A.D. FOR:
CREGG & JEANNE HILL**
105 DESATOYA COURT, RENO, NEVADA 89511

DATE	11/01/2022
PROJECT	HILL
TYPE	GRA
SCALE	FP

A2



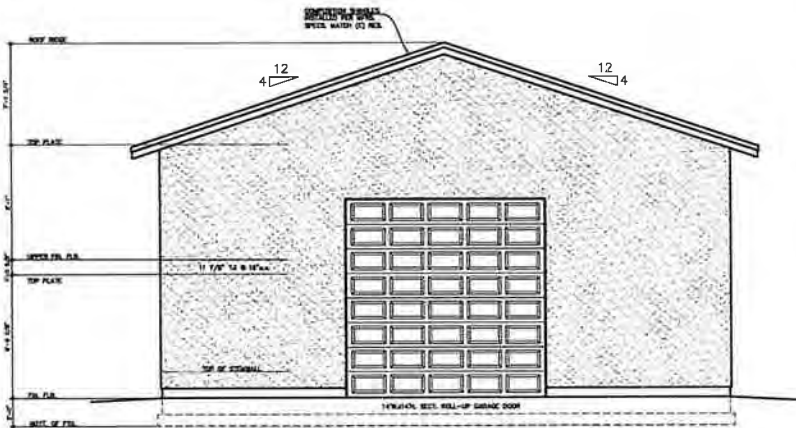
SOUTH ELEVATION
1/4" = 1'-0"



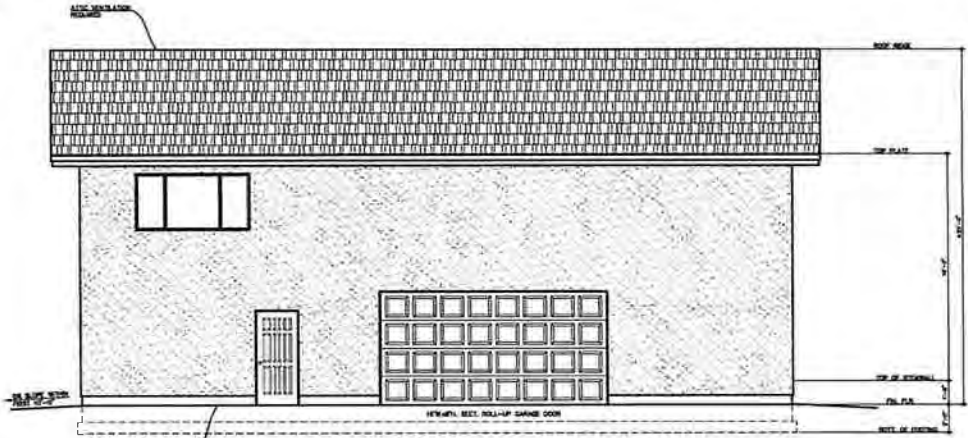
EAST ELEVATION
1/4" = 1'-0"

ELEVATION NOTES:

1. ALL METALS AND FLASHING SHALL BE FINISHED TO MATCH ADJACENT SURFACES.
2. USE ROOF VENTS PER U.L.C. SECTION R909 TYP.
3. STUCCO AND VENER CLEARANCES: ON EXTERIOR 2x4 WALLS, ANCHORED WOODEN NAILS AND STUCCO SHALL BE INSTALLED A MINIMUM OF 2 INCHES ABOVE EARTH, A MINIMUM OF 2 INCHES ABOVE PAVED AREAS OR A MINIMUM OF 1/2 INCH ABOVE EXTERIOR WALKING SURFACES SUPPORTED BY THE SAME FOUNDATION SUPPORTING THE EXTERIOR WALL.
4. WEEP SCREEDS: GUTS INCH (NO. 38 GALV. SHT GA.) CORROSION-RESISTANT WEEP SCREEDS WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/4" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUCCO WALLS IN ACCORDANCE WITH ASTM C 655. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH AND 2 INCHES ABOVE PAVED AREAS AND SHALL BE THE TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.
5. STUCCO CONTROL JOINTS: JOINT SPACING SHALL NOT BE GREATER THAN 18 FEET. NO PANEL SHALL EXCEED 144 SQ. FT. ON VERTICAL WALLS. NO PANEL SHALL EXCEED 100 SQ. FT. ON CURVED APPROACHES. NO LIGHTING-FIXTURE RATED SHALL EXCEED 18 TO 1 ON ANY GIVEN PANEL.



WEST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

REVISION	BY

AINS WORTH RESIDENTIAL DESIGN
GARY AINSWORTH
 REGISTERED RESIDENTIAL DESIGNER
 CUSTOM HOMES & ADDITIONS
 3150 S. RIVER ST. SUITE 100
 RENO, NV 89502
 PH: (775) 334-1155 FAX: (775) 334-1190
 WWW: www.garyainsworth.com

**DETACHED GARAGE & D.A.D. FOR:
 CREGG & JEANNE HILL**
105 DESATOYA COURT, RENO, NEVADA 89511

Date	11/01/2022
Site	HILL
Drawn	GRA
Check	ELEVS
Sheet Number	A3