

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: <i>Casita on Eastlake</i>			
Project Description: <i>784sf 1-bedroom casita with covered loggia and 1-car covered parking</i>			
Project Address: <i>1200 Eastlake Blvd Washoe Valley NV 89704</i>			
Project Area (acres or square feet): <i>5.02 acres</i>			
Project Location (with point of reference to major cross streets AND area locator): <i>Near Eastlake Blvd. and Skinner Dr.</i>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<i>050-210-53</i>	<i>5.02</i>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). <i>WBLD21-103862</i>			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <i>Kiley + Christina Collingsworth</i>		Name: <i>Gabe Wittler</i>	
Address: <i>720 Barnwood Ct.</i>		Address: <i>895 Roberta Ln. Ste 104</i>	
<i>Reno NV</i> Zip: <i>89511</i>		<i>Sparks NV</i> Zip: <i>89431</i>	
Phone: Fax:		Phone: <i>775-690-0991</i> Fax:	
Email: <i>kjc5nv@gmail.com</i>		Email: <i>gabe@odysseyreno.com</i>	
Cell: <i>775-691-1542</i> Other:		Cell: Other:	
Contact Person: <i>Kyle Collingsworth</i>		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: <i>Same as Owner</i>		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Kyle Collinsworth

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Kyle Collinsworth
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 050-210-53

Printed Name Kyle Collinsworth

Signed [Signature]

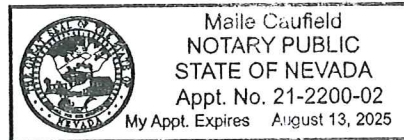
Address 720 Barnwood Ct.
Reno NV 89511

Subscribed and sworn to before me this 6th day of April, 2022.

(Notary Stamp)

[Signature]
Notary Public in and for said county and state

My commission expires: August 13, 2025



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**
(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

3371 sf

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

784 sf

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

Same designer, style, and exterior materials

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

N/A

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

5 acre parcel w/ no neighbors.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

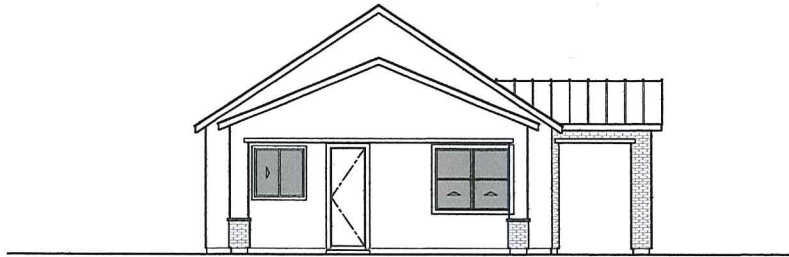
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

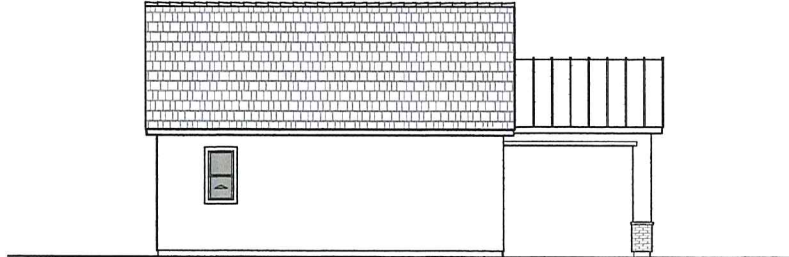
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic	Septic
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Mgmt	Waste Mgmt
Water Service	Well	Well



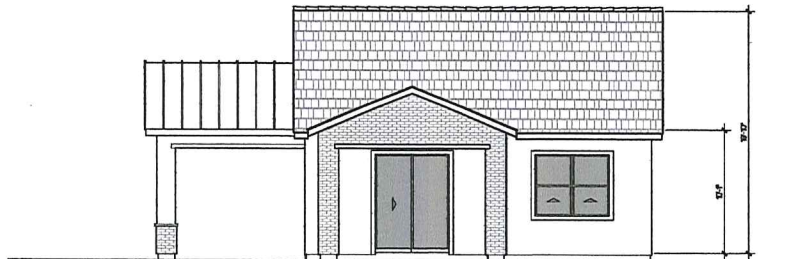
Left Elevation



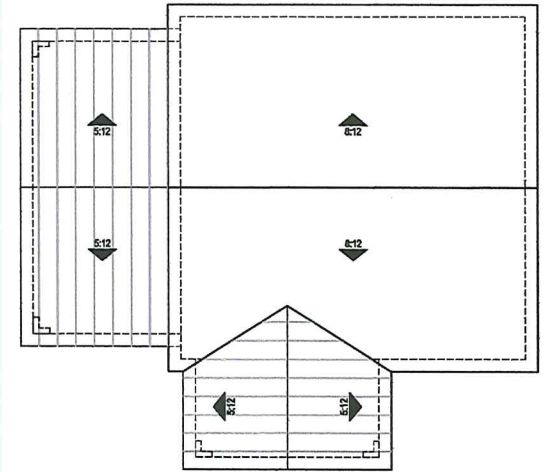
Rear Elevation



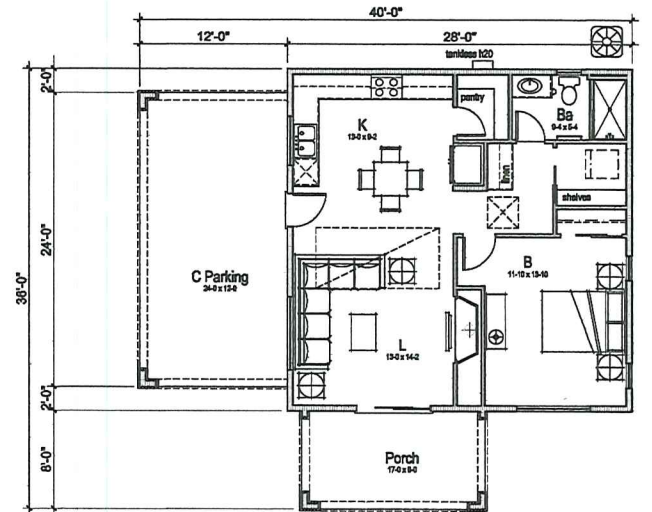
Right Elevation



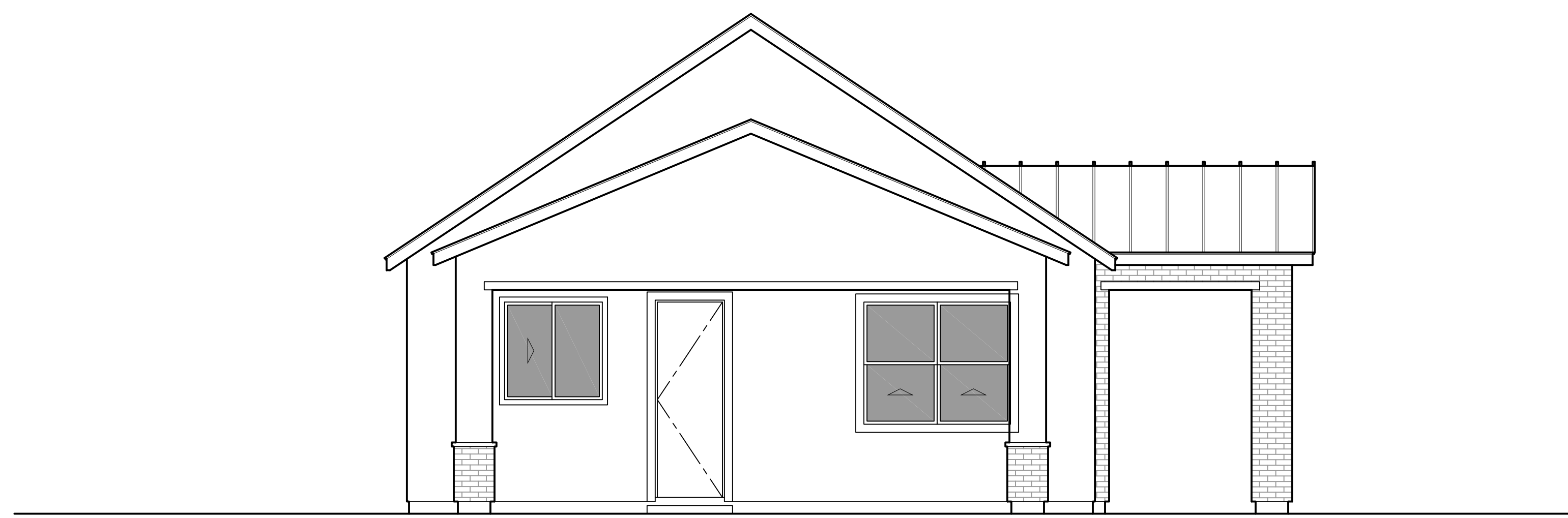
Front Elevation



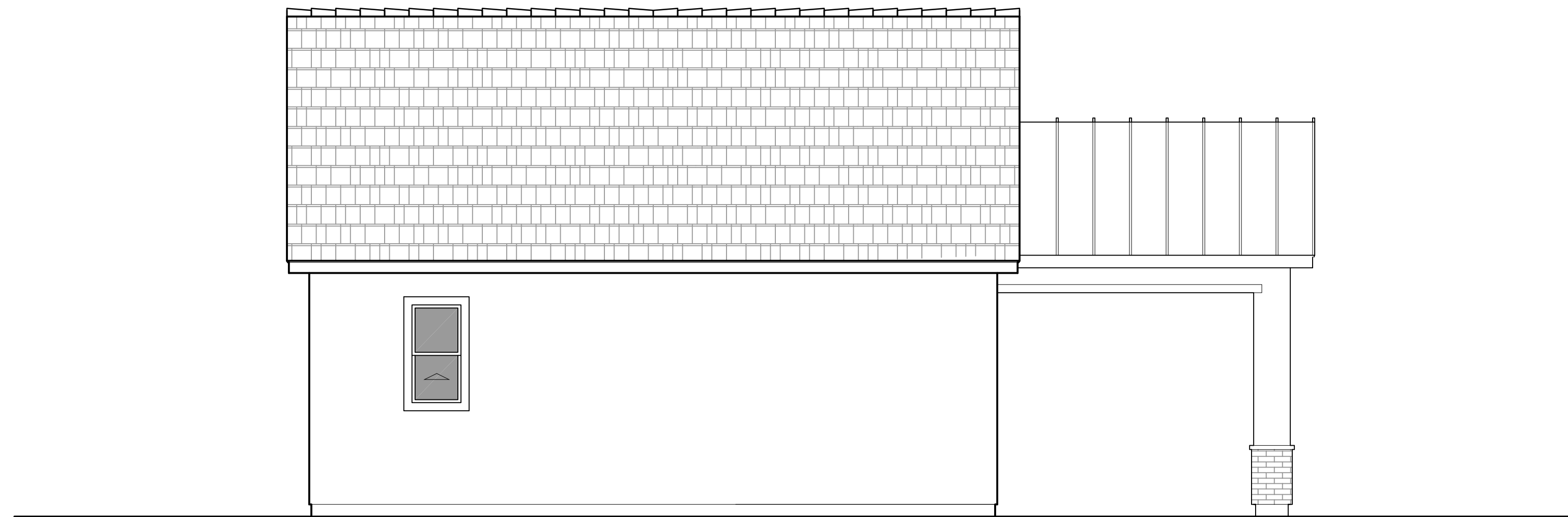
Roof Plan



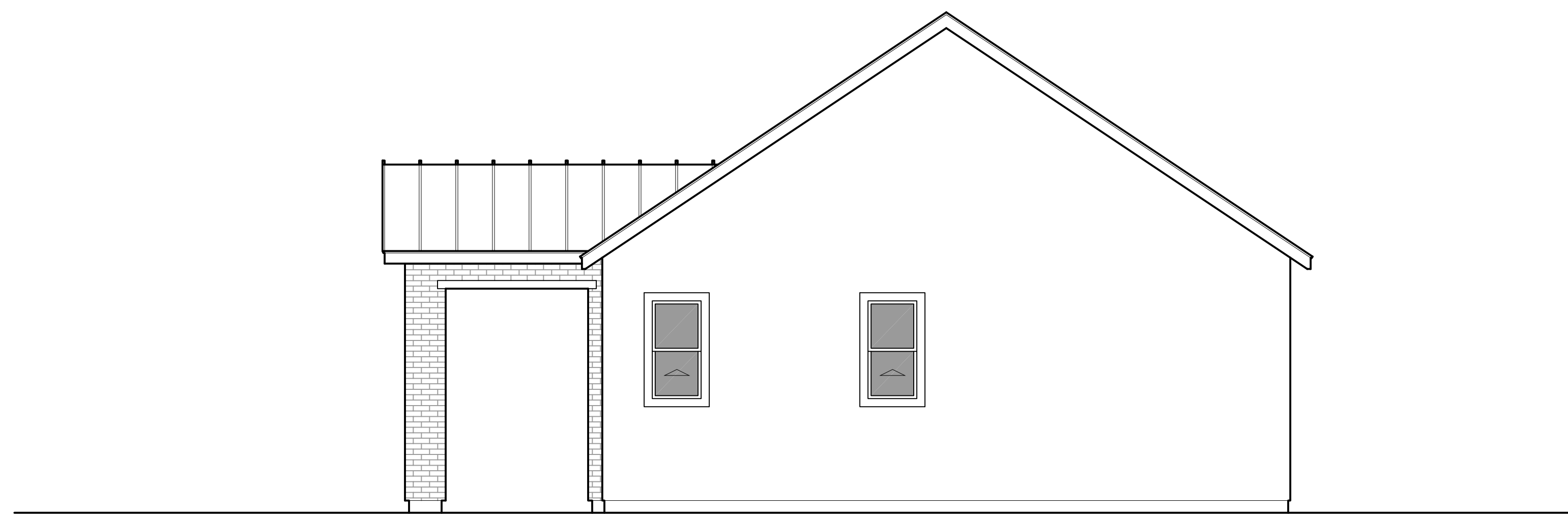
Floor Plan
784sf



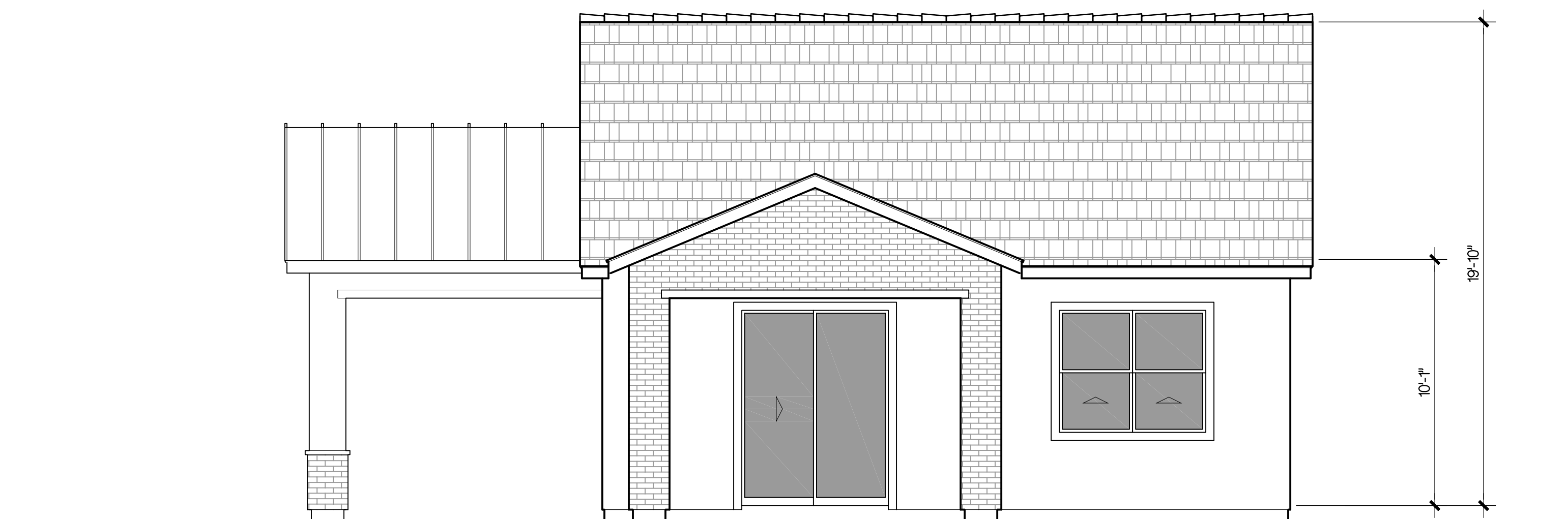
Left Elevation



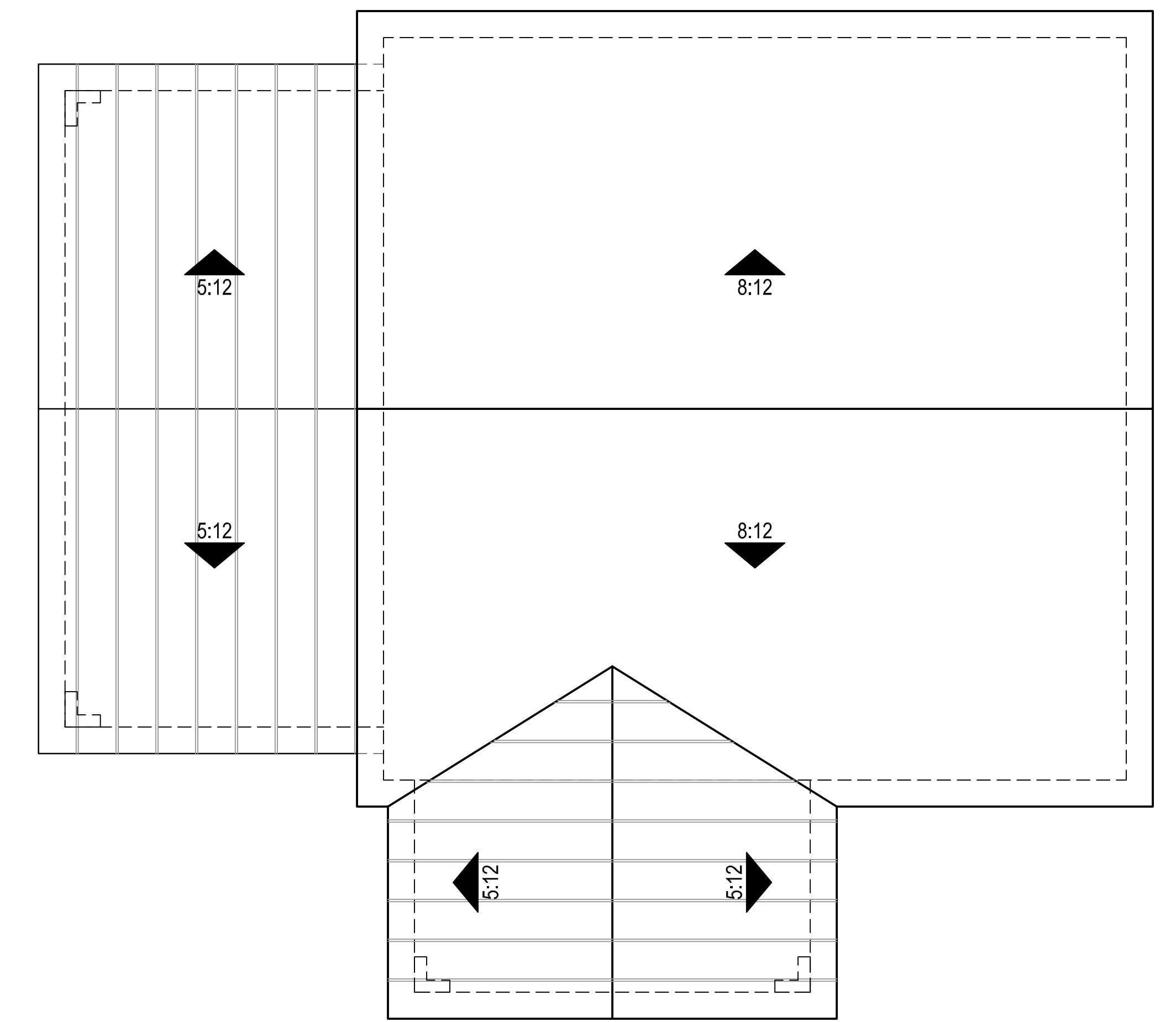
Rear Elevation



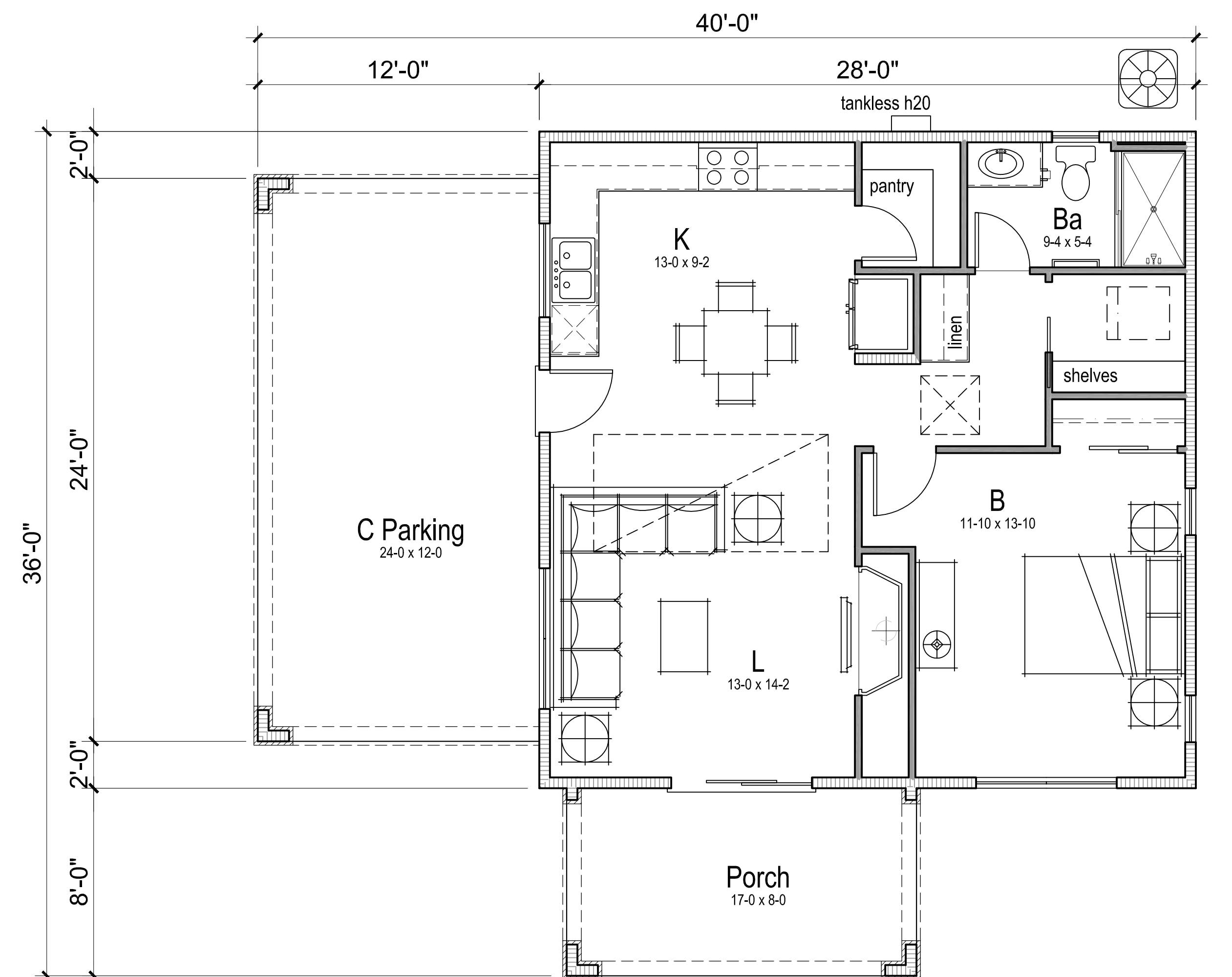
Right Elevation



Front Elevation



Roof Plan



Floor Plan
784sf

BASIS OF BEARINGS:

THE BASIS OF BEARINGS AND COORDINATES FOR THIS SURVEY IS THE NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE GRID, NAD 83/98, BASED UPON MEASUREMENTS TAKEN TO GPS CONTROL POINTS, ON FILE WITH THE WASHOE COUNTY ENGINEERING OFFICE. COORDINATES SHOWN ARE GROUNDS TO CONVERT TO GRID DIVIDE BY THE WASHOE COUNTY MODIFIED GRID COMBINED FACTOR OF 1.000197939 PER P.M. 5328.

BASIS OF ELEVATIONS:

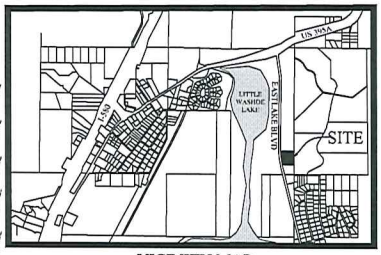
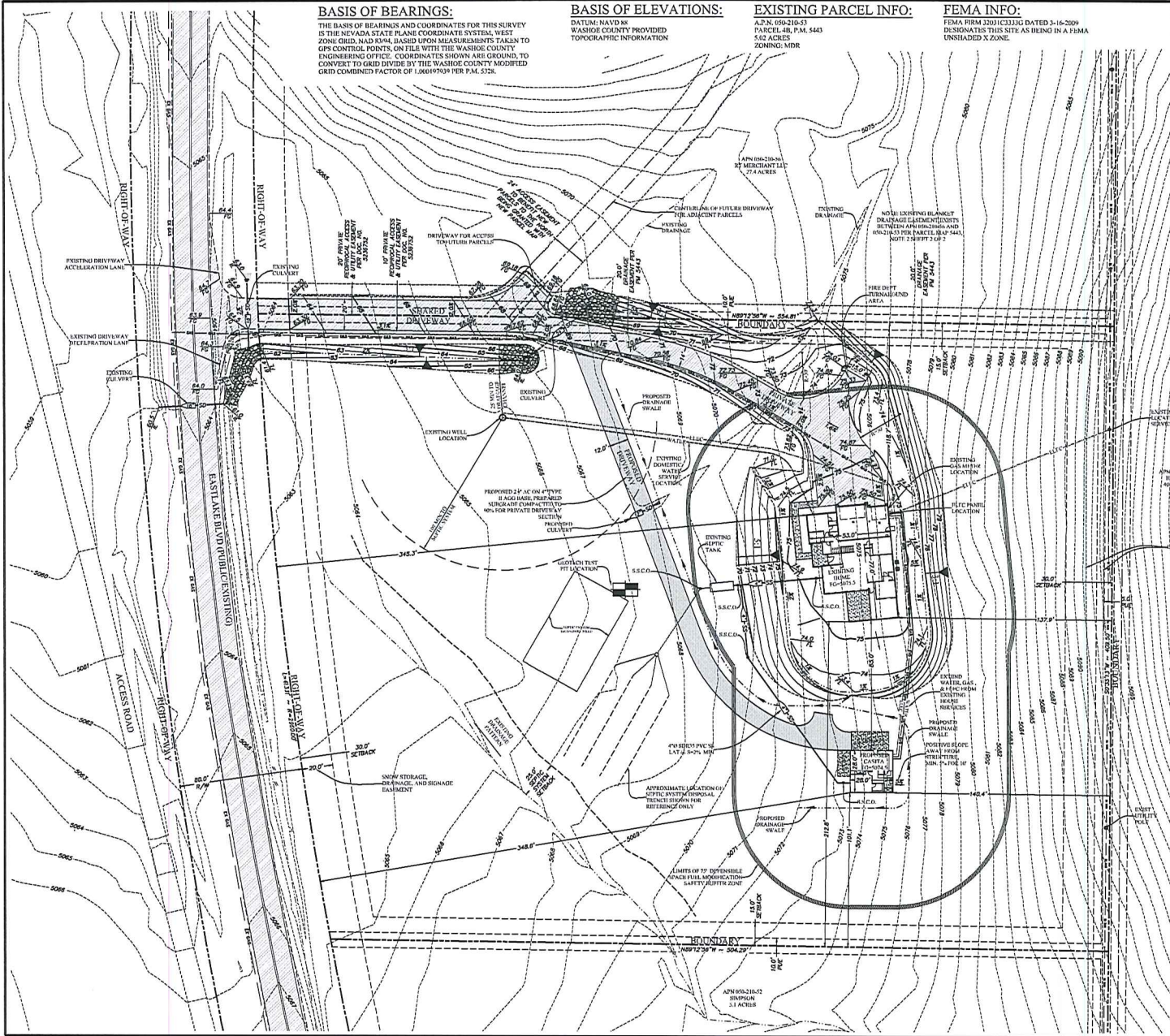
DATUM: NAVD 88
WASHOE COUNTY PROVIDED
TOPOGRAPHIC INFORMATION

EXISTING PARCEL INFO:

A.P.N. 050-210-53
PARCEL AB, P.M. 5443
5.02 ACRES
ZONING: MDR

FEMA INFO:

FEMA FIRM 2201C333JG DATED 3-16-2009
DESIGNATES THIS SITE AS BEING IN A FEMA
UNSHADED X ZONE.



VICINITY MAP

LEGEND:

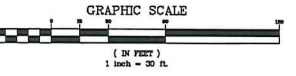
- AC PAVING AREA
- CONC AREA
- RRP-RAP AREA
- MANHOLE (DASHED IF EXISTING)
- STORM DRAIN MAIN (DASHED IF EXISTING)
- SANITARY SEWER MAIN (DASHED IF EXISTING)
- SANITARY SEWER LATERAL
- CLEANOUT
- WATER MAIN (DASHED IF EXISTING)
- WATER SURFACE
- FENCELINE
- ELECTRIC
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING FINISH GRADE
- ELEVATION IN PERCENT
- ELEVATION @ FINISH GRADE
- ELEVATION @ GRADE BREAK
- ELEVATION @ FLOW LINE

NOTES:

1. ALL CONSTRUCTION SHALL BE PER UNIFORM STANDARD SPECIFICATIONS AND DRAWINGS, WASHOE COUNTY NEVADA.
2. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTION WITH ADJACENT PROPERTY (FIELD OF WORK). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERSHED OF CONVEYANCE. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMANCE WITH SECTION 040.020 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS.
5. THE CONTRACTOR SHALL MAINTAIN AN ON-GOING PROCESS OF REMOVAL OF ALL SPILLAGE OF EXCAVATION MATERIAL ON ALL PAVED STREETS.
6. LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVELING THE PROPERTY LINE.
7. THE CONTRACTOR SHALL NOTIFY ALL AFFECTED PUBLIC ENTITIES 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS CHAIRMAN, WASHOE COUNTY, TOWN, AND ANY ENTITY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OF POT-HOLDING PRIOR TO CONSTRUCTION.
10. ADD 5000 FEET TO ALL SPOT ELEVATIONS.



Know what's below.
Call before you dig.



REV.	DATE	DESCRIPTION	BY	APP'D
01	05-22-2020	ISSUE FOR PERMIT	GA	GA
02	06-02-2020	REVISIONS	GA	GA
03	06-02-2020	REVISIONS	GA	GA
04	06-02-2020	REVISIONS	GA	GA
05	06-02-2020	REVISIONS	GA	GA
06	06-02-2020	REVISIONS	GA	GA
07	06-02-2020	REVISIONS	GA	GA
08	06-02-2020	REVISIONS	GA	GA
09	06-02-2020	REVISIONS	GA	GA
10	06-02-2020	REVISIONS	GA	GA

DATE: 06-05-22
DRAWN: GA
CHECKED BY: G.S.W.
G.S.F.

1200 EASTLAKE BLVD CASITA
APN 050-210-53
PRELIMINARY CIVIL PLOT PLAN
NEVADA
WASHOE COUNTY.

303 WESTERN AVE. SUITE 104, SPAS, NV 89401
(702) 253-2333
OFFICE: (702) 253-2333
CELL: (702) 253-2333
WWW.DYSSYENGINEERING.COM

dyssy
ENGINEERING INCORPORATED

REGISTERED PROFESSIONAL ENGINEER - CIVIL
GABRIEL S. WITTLER
Exp. 03-22
CIVIL
18853

SCALE
HORIZ. 1"=30'
VERT. 1"=10'

JOB NO.
1-07

SHEET
1

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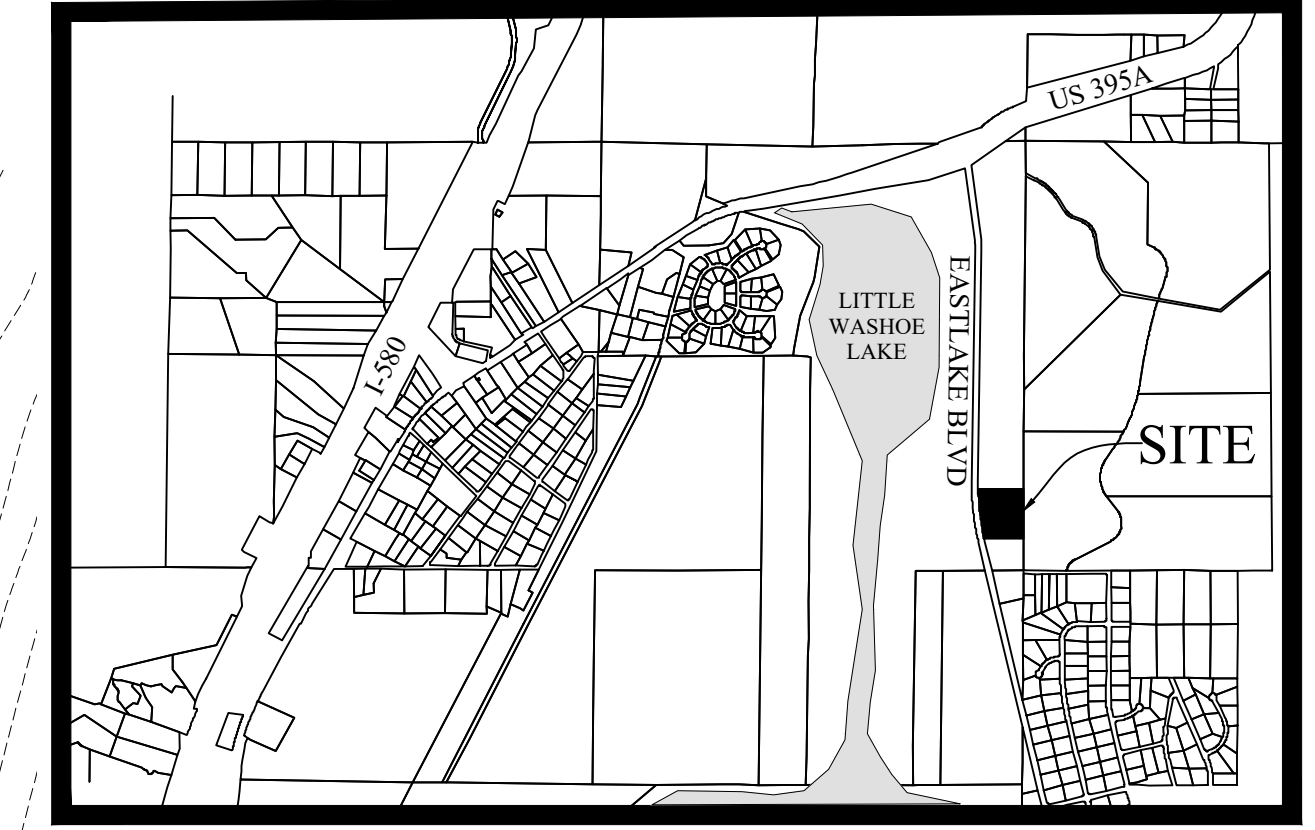
DATUM: NAVD 88
WASHOE COUNTY PROVIDED TOPOGRAPHIC INFORMATION

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5.02 ACRES
ZONING: MDR

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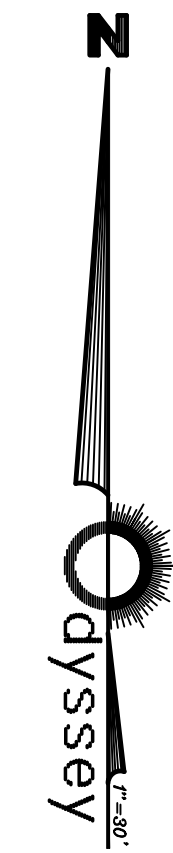
FEMA FIRM 32031C3333G DATED 3-16-2009
DESIGNATES THIS SITE AS BEING IN A FEMA UNSHADED X ZONE.



VICINITY MAP

LEGEND:

- AC PAVING AREA
- CONC AREA
- RIP-RAP AREA
- MANHOLE (DASHED IF EXISTING)
- SD-T2 STORM DRAIN MAIN (DASHED IF EXISTING)
- SS-8" SANITARY SEWER MAIN (DASHED IF EXISTING)
- SANITARY SEWER LATERAL
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- W WATER MAIN (DASHED IF EXISTING)
- WATER SURFACE
- FENCELINE
- ELEC ELECTRIC
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING
- SLOPE IN PERCENT
- ELEVATION @ FINISH GRADE
- ELEVATION @ GRADE BREAK
- ELEVATION @ FLOW LINE

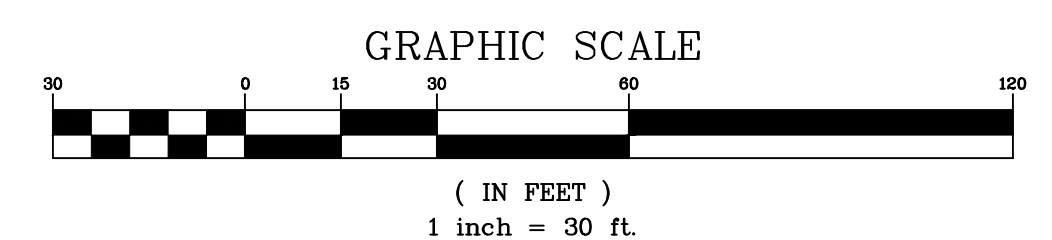


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4. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH SECTION 040.030 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS.
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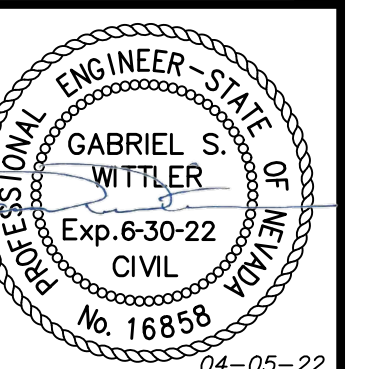
REV.	DATE	DESCRIPTION	BY	APP'D

DATE: 04-05-22
DRAWN BY: ACAD2020
DESIGNED BY: G.S.W.
CHECKED BY: G.S.W.

1200 EASTLAKE BLVD CASITA
APN 050-210-53
PRELIMINARY CIVIL PLOT PLAN
NEVADA

885 ROBERTA LANE, SUITE 104, SPARKS, NV 89431
(775) 369-3303 FAX (775) 359-3329
ODYSSEY@RENO.COM

odyssey
ENGINEERING
INCORPORATED



SCALE	HORIZ. 1"=30'
VERT.	---
JOB NO.	---
SHEET	1 OF 1