

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

| | | | |
|--|-------------------|---------------------------------------|-----------------|
| Project Information | | Staff Assigned Case No.: _____ | |
| Project Name: Taylor Variance | | | |
| Project Description: Increase allowable height within front setback from 18" to 6'0". | | | |
| Project Address: 4340 Drake Way, Washoe Valley, Nevada 89704 | | | |
| Project Area (acres or square feet): 42,000 sq.ft. | | | |
| Project Location (with point of reference to major cross streets AND area locator): Approximately 1/4 mile north of intersection of Jumbo Grade and Drake Way. | | | |
| Assessor's Parcel No.(s): | Parcel Acreage: | Assessor's Parcel No.(s): | Parcel Acreage: |
| 050-435-08 | 0.9642 | | |
| Section(s)/Township/Range: N 1/2 Section 5, T16N, R20E | | | |
| Indicate any previous Washoe County approvals associated with this application: None. | | | |
| Case No.(s): | | | |
| Applicant Information (attach additional sheets if necessary) | | | |
| Property Owner: | | Professional Consultant: | |
| Name: Taylor Living Trust, Gary & Melanie Taylor, Trustees | | Name: Same. | |
| Address: PO Box 1715 | | Address: | |
| Crystal Bay NV 89402 | Zip: | | Zip: |
| Phone: 775 832 5074 | Fax: 775 832 5072 | Phone: | Fax: |
| Email: garyrtaylor7@gmail.com | | Email: | |
| Cell: 775 742 1152 | Other: | Cell: | Other: |
| Contact Person: Gary R. Taylor | | Contact Person: | |
| Applicant/Developer: | | Other Persons to be Contacted: | |
| Name: Same. | | Name: | |
| Address: | | Address: | |
| | Zip: | | Zip: |
| Phone: | Fax: | Phone: | Fax: |
| Email: | | Email: | |
| Cell: | Other: | Cell: | Other: |
| Contact Person: | | Contact Person: | |
| For Office Use Only | | | |
| Date Received: | Initial: | Planning Area: | |
| County Commission District: | | Master Plan Designation(s): | |
| CAB(s): | | Regulatory Zoning(s): | |

Variance Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to variances may be found in Article 804, Variances.

1. What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?

Increase allowable height of decks within the front setback from 18" to 6'0".
Section 110.406.30 (g).

You must answer the following questions in detail. Failure to provide complete and accurate information will result in denial of the application.

2. What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements?

The existing hillside parcel has a downslope of 22.5%, measured from the front property line to the proposed front setback of 21'0" (parcel slope exceeds 20% as defined in Section 110.406.30 (b)). The proposed access to the new single family residence is an elevated driveway bridge of 6'0" and an elevated walkway bridge of 6'0" (measured from finish grade to top of each structure). The allowed deck height of 18" within the front setback in Section 110.406.30 (g), is predicated on a downslope of 5%. The slope of this parcel is 22.5%, 4.5 times greater than that described in that section.

3. What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?

The proposed elevated driveway and walkway bridge are sloped away from the edge of payment, are located approximately 10 feet from the edge of pavement, and are not located within the travelled right of way (ROW) of Drake Way. The proposed structures will not block views, impact travelled ROW, nor decrease pedestrian or traffic safety.

4. How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?

The proposed elevated driveway and walkway bridges will allow for safe access to the proposed new single family residence, and provide 2 additional off-street parking places outside the travelled ROW of Drake Way.

5. What enjoyment or use of your property would you be denied that is common to other properties in your neighborhood?

Most of the improved surrounding parcels are either less steep (10-12% slopes), or steep upsloping in aspect, (25%+). The proposed location of the new single family residence minimizes the site disturbance and places the structure within the top 1/4 of the parcel. The development of the subject parcel is challenging due to restrictions with respect to electrical power, natural gas, and required septic and well locations/setbacks.

6. Are there any restrictive covenants, recorded conditions or deed restrictions (CC&Rs) that apply to the area subject to the variance request?

Yes No If yes, please attach a copy.

7. What is your type of water service provided?

Private well.

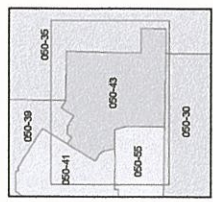
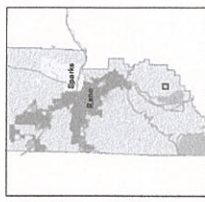
8. What is your type of sewer service provided?

Private septic.

(#974) NEW WASHOE CITY SUB. NO. 5
 PORTION OF N½ SECTION 5, T16N - R20E

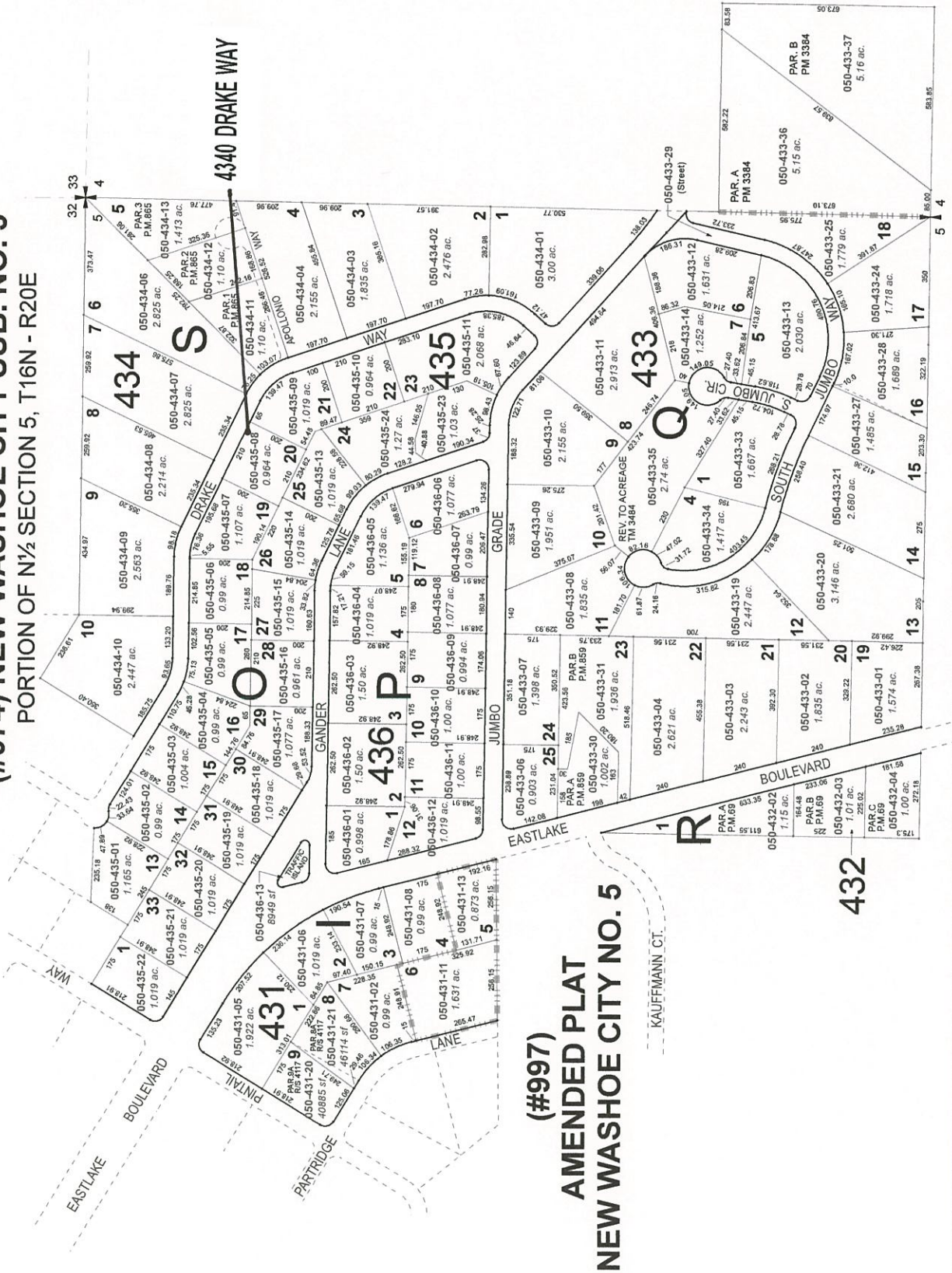
Assessor's Map Number
050-43

STATE OF NEVADA
WASHOE COUNTY
ASSESSOR'S OFFICE
 Michael E. Clark, Assessor
 1001 East Ninth Street
 Reno, Nevada, 89512
 (775) 938-2331



created by: **KSB 09/09/2010**
 last updated: **CFB 10/7/14, SR 12/15/17**
 area previously shown on map(s)
 050-55

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent any warranty, representation, or assumption as to the accuracy or reliability of the data delineated hereon.



(#997) AMENDED PLAT
NEW WASHOE CITY NO. 5

432

KAUFFMANN CT.

Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 05043508
 AIN:

| | |
|--|-------------------|
| Balance Good Through: | 06/11/2018 |
| Current Year Balance: | \$0.00 |
| Prior Year(s) Balance: (see below for details) | \$0.00 |
| Total Due: | \$0.00 |

AUTO
 :894027:
 TAYLOR LIVING TRUST
 PO BOX 1715
 CRYSTAL BAY NV 89402

Description:

Situs: 4340 DRAKE WAY
 WCTY

.....
 This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

| Current Charges | | | | | | | | | |
|---------------------|------|-------------|------|------------|---------|----------|----------|--------|---------|
| PIN | Year | Bill Number | Inst | Due Date | Charges | Interest | Pen/Fees | Paid | Balance |
| 05043508 | 2017 | 2017075835 | 1 | 08/21/2017 | 126.34 | 0.00 | 0.00 | 126.34 | 0.00 |
| 05043508 | 2017 | | 2 | 10/02/2017 | 126.34 | 0.00 | 0.00 | 126.34 | 0.00 |
| 05043508 | 2017 | | 3 | 01/01/2018 | 126.34 | 0.00 | 0.00 | 126.34 | 0.00 |
| 05043508 | 2017 | | 4 | 03/05/2018 | 126.33 | 0.00 | 0.00 | 126.33 | 0.00 |
| Current Year Totals | | | | | 505.35 | 0.00 | 0.00 | 505.35 | 0.00 |

| Prior Years | | | | | | | | | |
|-------------------|------|-------------|---------|----------|----------|------|---------|--|--|
| PIN | Year | Bill Number | Charges | Interest | Pen/Fees | Paid | Balance | | |
| | | | | | | | | | |
| Prior Years Total | | | | | | | | | |

Gary Taylor

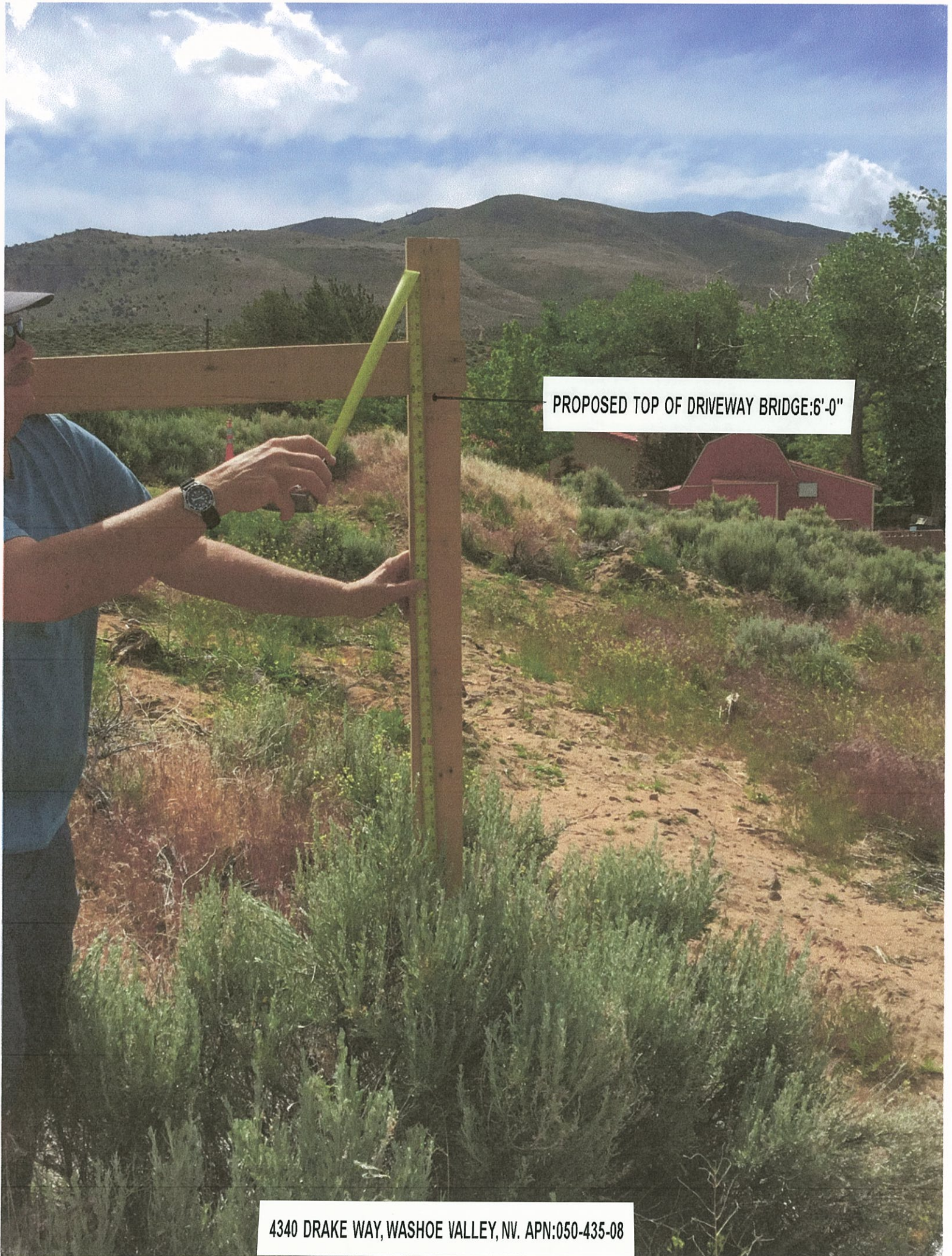
From: Huang, Na Na <NHuang@washoecounty.us>
Sent: Monday, June 11, 2018 8:06 AM
To: garyrtaylor7@gmail.com
Subject: 2017/18 property taxes paid notice
Attachments: Download.ashx.pdf

Please see attached.

Thank you,

Nana Huang
Account Clerk I | Washoe County Treasurer
nhuang@washoecounty.us | O 775-328-2510 | F 775-328-2500 | 1001 E 9th St Bldg. D-140 Reno NV 89512
Pay online: | www.washoecounty.us/treas
Mail: | PO Box 30039 Reno NV 89520





PROPOSED TOP OF DRIVEWAY BRIDGE: 6'-0"

4340 DRAKE WAY, WASHOE VALLEY, NV. APN:050-435-08



APPROX. LOCATION OF PROPOSED DRIVEWAY BRIDGE, PROPOSED HEIGHT: 6'-0"

4340 DRAKE WAY, WASHOE VALLEY, NV. APN:050-435-08

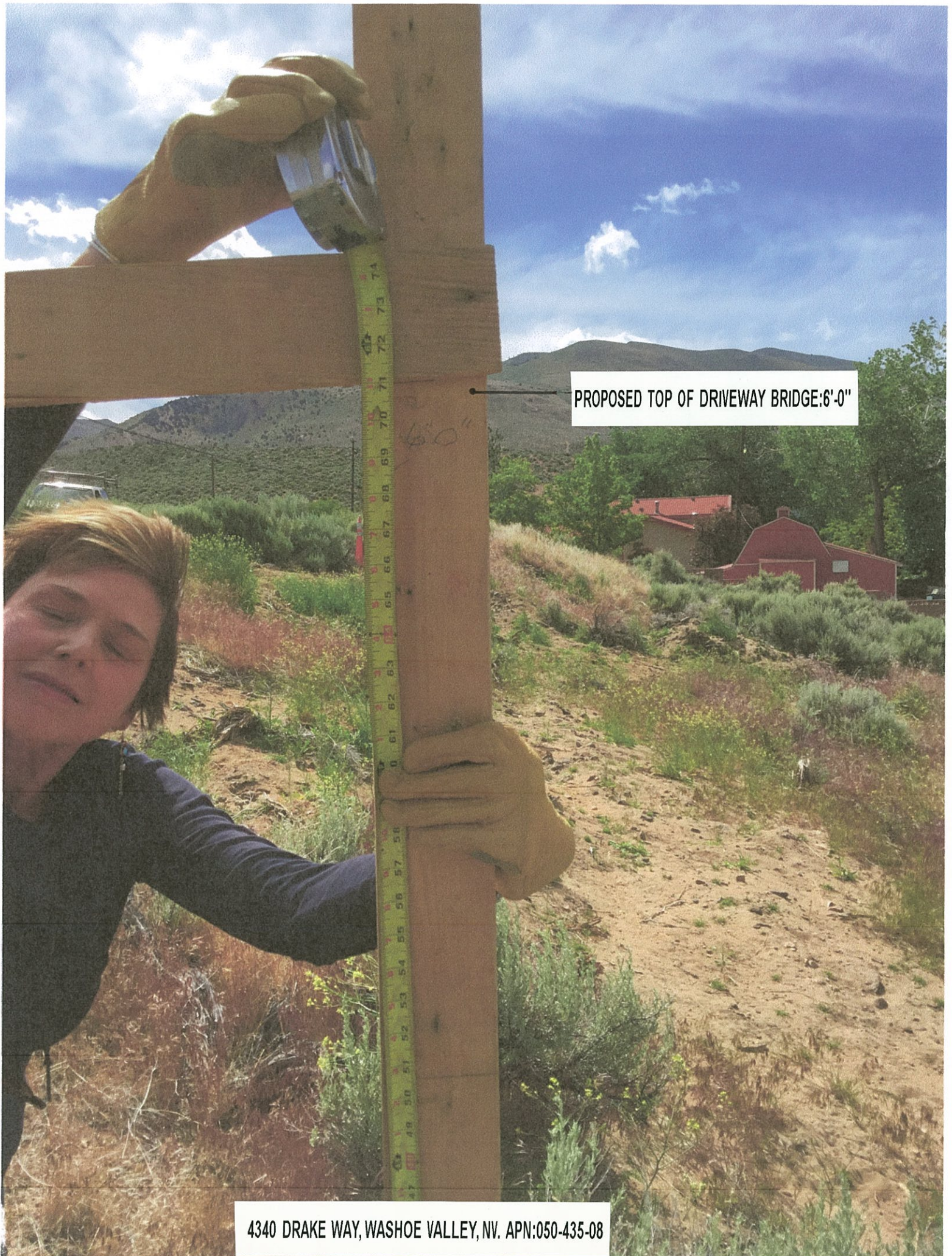


PROPOSED TOP OF DRIVEWAY BRIDGE: 6'-0"

TOP OF STAKE 18" ABOVE NG

EXISTING DOWNSLOPE: 22-1/2° /

4340 DRAKE WAY, WASHOE VALLEY, NV. APN:050-435-08



PROPOSED TOP OF DRIVEWAY BRIDGE: 6'-0"

4340 DRAKE WAY, WASHOE VALLEY, NV. APN:050-435-08

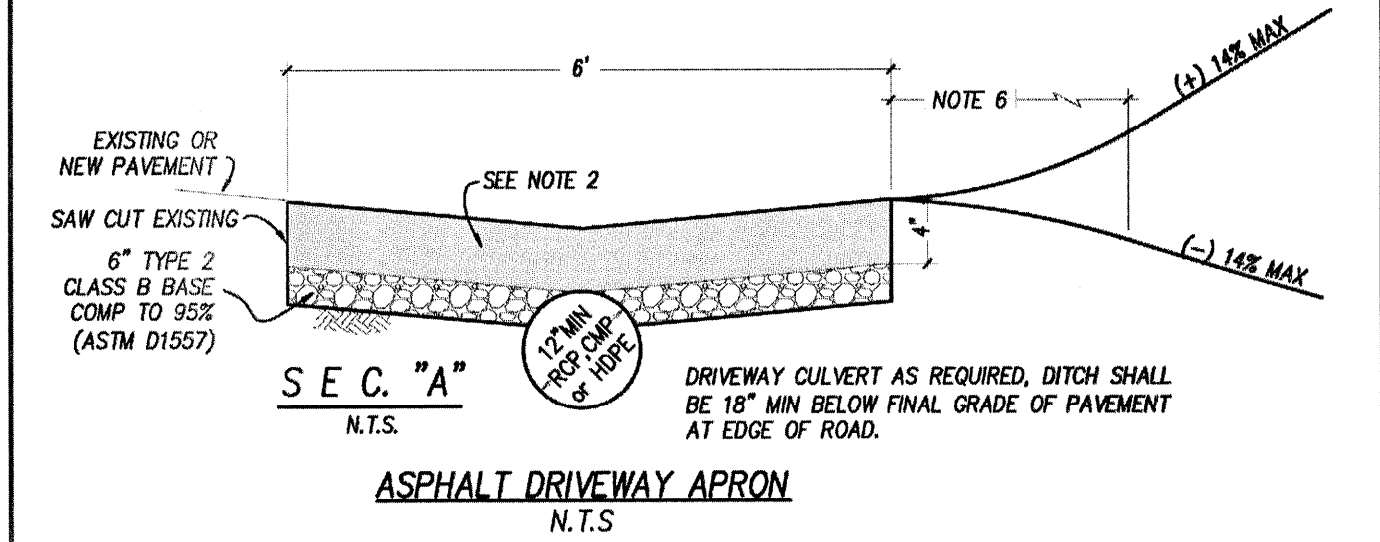
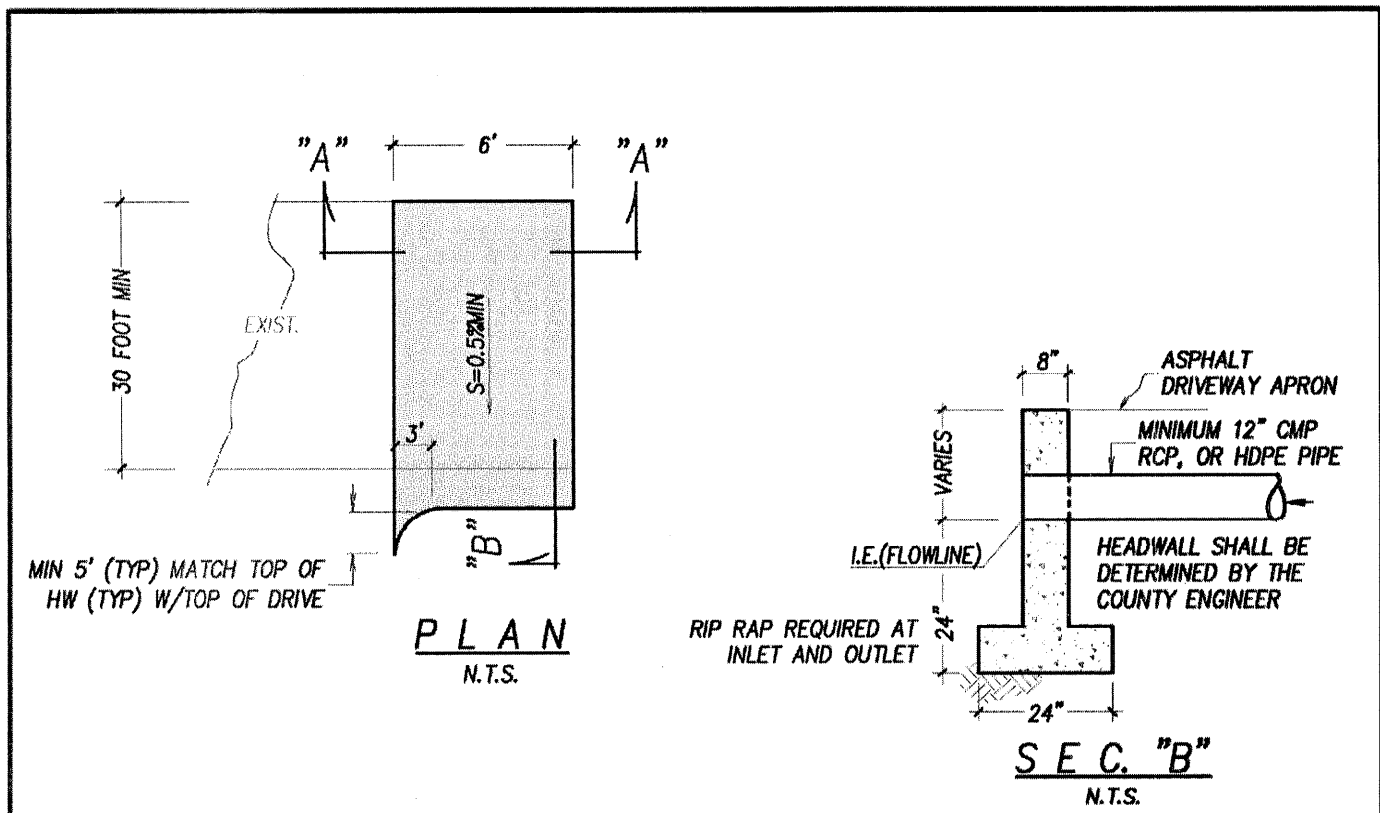


PROPOSED TOP OF WALKWAY BRIDGE: 6'-0"

TOP OF STAKE 18" ABOVE NG

EXISTING DOWNSLOPE: $22\text{-}1/2^\circ$

4340 DRAKE WAY, WASHOE VALLEY, NV. APN:050-435-08



SEE PAGE 2 OF 2 FOR NOTES

| NO. | REVISED | DATE | STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION | SECTION: |
|-----|------------|-----------|--|----------|
| 1 | Ref to 5.4 | 3/9/06 vp | | WASHOE |
| 2 | Note 10 | 12/11 sw | | |
| 3 | Notes | 12/17 BD | | |

CULVERT PIPE AND ASPHALT DRIVEWAY APRON
PAGE 1 OF 2
FOR USE WHERE NO CURB & GUTTER OR ASPHALT BERM EXISTS

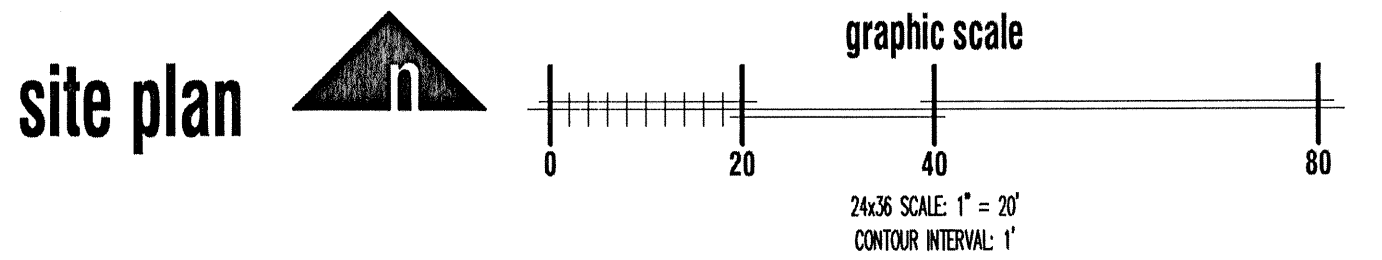
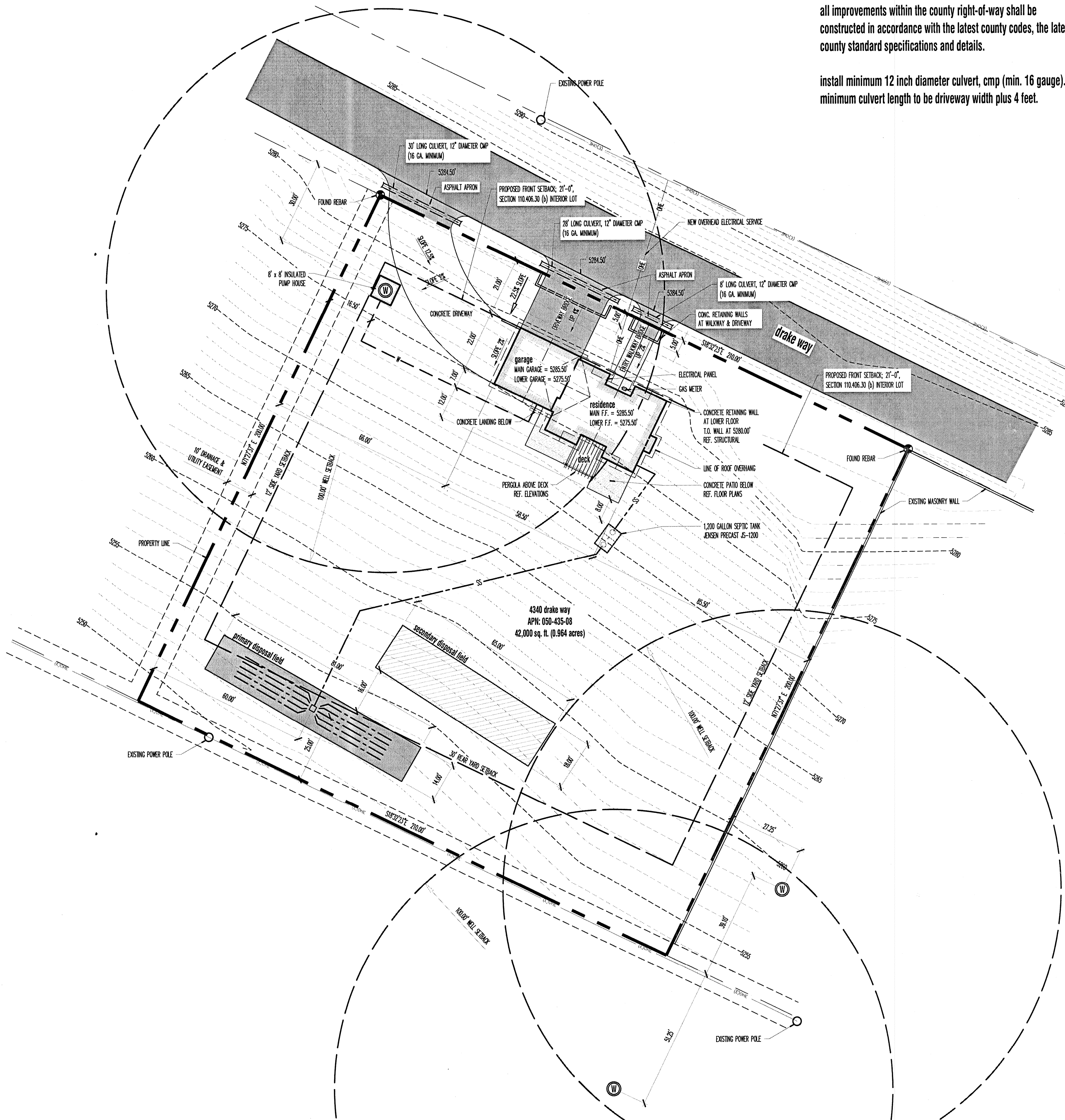
SECTION: WASHOE
DRAWING NO: W-5.3
DATE: 01/08 PAGE:

- NOTES**
- A STREET CUT PERMIT AND/OR A REVOCABLE ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT PRIOR TO ANY WORK.
 - HOT MIX ASPHALT SHALL BE TYPE 3, PG84-28 (OR COUNTY APPROVED EQUIVALENT), 3% VOIDS, 50 BLOWS PER SIDE MIX WITH LIME AND NO MORE THAN 15% RECYCLED ASPHALT PAVEMENT COMPACTED TO A MINIMUM OF 93% RIDE RELATIVE COMPACTION.
 - THE MAXIMUM SLOPE ON DRIVEWAYS SHALL NOT EXCEED 14%.
 - SUBGRADE SHALL BE OVER-EXCAVATED IN AREAS DETERMINED UNSTABLE, UNSUITABLE OR TO HAVE EXPANSIVE SOILS TO CONFORM WITH THE SOILS REPORT OR WASHOE COUNTY REQUIREMENTS.
 - ALL WORK SHALL MEET THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - WHEN GRADE DIFFERENTIAL BETWEEN DRIVEWAY APRON AND CONCRETE/ASPHALT EXCEEDS 6", PROVIDE MINIMUM 6 FOOT VERTICAL CURVE TRANSITION BETWEEN BACK EDGE OF APRON AND DRIVEWAY.
 - 6 INCH CLASS 150 RIP RAP TO BE PLACED AT PIPE INLETS AND OUTLETS. INSTALLATION OF FLARED END SECTIONS AND HEADWALLS SHALL BE DETERMINED BY THE COUNTY ENGINEER.
 - MINIMUM SIZE CULVERT PIPE IS 12 INCHES IN DIAMETER. A LARGER CULVERT MAY BE REQUIRED. ENGINEERED DESIGN CALCULATIONS SHALL BE SUBMITTED FOR CULVERT PIPE SIZES GREATER THAN 24 INCHES UNLESS THE CULVERT SIZE IS MATCHING UPSTREAM AND DOWNSTREAM CULVERT SIZES.
 - CULVERT PIPE IS TO BE ROUND OR ELLIPTICAL AND EITHER REINFORCED CONCRETE PIPE (RCP), GALVANIZED CORRUGATED METAL PIPE (CMP), OR HIGH DENSITY POLYETHYLENE (HDPE) MINIMUM CLASS 5 MEETING REQUIREMENTS OF AASHTO M294.
 - SOIL MUST BE TYPE 2 CLASS B AGGREGATE BASE OR TYPE 1 RECYCLED AGGREGATE BASE.
 - CULVERT SHALL BE SLOPED TO MATCH EXISTING DITCH GRADE OR 1% MINIMUM.
 - PIPE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE TOE OF FILL WITH MINIMUM OF 2 FEET OF RIP RAP HORIZONTALLY PAST END OF PIPE.
 - NO PORTION OF THE DRIVEWAY SHALL BE PERMITTED WITHIN 2 FEET OF A PROPERTY LINE.
 - A MINIMUM OF 50 FEET MUST SEPARATE DRIVEWAY APPROACHES, CENTERLINE TO CENTERLINE, FOR CIRCULAR DRIVEWAYS ON ONE PROPERTY AS APPROVED BY THE COUNTY ENGINEER.
 - DRIVEWAY GEOMETRICS SHALL FOLLOW THE WASHOE COUNTY STANDARD DETAIL W-16.4.
 - MATCH WITH A NEAT LINE ALONG THE EXISTING EDGE OF PAVEMENT. SAW-CUT A MINIMAL DISTANCE FROM THE EDGE AS NEEDED TO OBTAIN A SMOOTH MATCH LINE WITH A FULL DEPTH VERTICAL EDGE.

| NO. | REVISED | DATE | STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION | SECTION: |
|-----|-------------|---------|--|----------|
| 1 | Notes & DWG | 2/17 BD | | WASHOE |

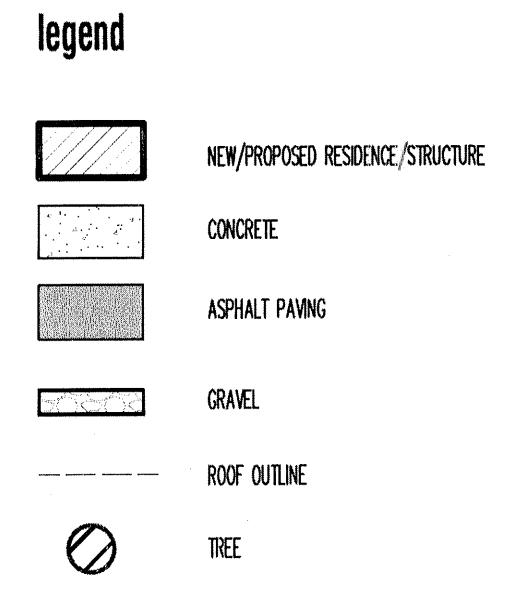
CULVERT PIPE AND ASPHALT DRIVEWAY APRON NOTES
PAGE 1 OF 2
FOR USE WHERE NO CURB & GUTTER OR ASPHALT BERM EXISTS

SECTION: WASHOE
DRAWING NO: W-5.3
DATE: 01/08 PAGE:



all improvements within the county right-of-way shall be constructed in accordance with the latest county codes, the latest county standard specifications and details.

install minimum 12 inch diameter culvert, cmp (min. 16 gauge), minimum culvert length to be driveway width plus 4 feet.



- general notes**
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
 - REFERENCE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 - PRIOR TO ANY TYPE OF WORK, AN EROSION PROTECTION SEDIMENT BARRIER (USE FILTER FABRIC FENCING) SHALL BE PLACED DOWN SLOPE OF CONSTRUCTION SITE ALONG CONTOUR PROFILES, SHOW FENCING, CHICKEN WIRE, OR METAL FENCE POSTS, WITH AT LEAST TWO STRANDS OF 16 GAUGE OR HEAVIER WIRE, A MINIMUM OF 3 FEET HIGH, SHALL BE LOCATED AT DROP LINE OF TREES, SMALL SHRUBS OR OTHER TYPES OF VEGETATION WITHIN 30 FEET ± OF THE CONSTRUCTION SITE. SIMILAR FENCING SHALL BE USED TO DEFINE THE CONSTRUCTION AREA AND TO PROTECT VEGETATION OUTSIDE ITS LIMITS FROM DISTURBANCE. DRIVEWAYS AND PARKING AREAS SHALL BE SAVED FIRST WHEREVER POSSIBLE. PLACE BUILDING MATERIALS IN THESE AREAS OR INSIDE FOUNDATION, PARK ON STREET OR DRIVEWAY, NOT UNDER TREES OR NEAR SHRUBS. CUTS AND/OR FILLS INSIDE THE DROP LINE OF TREES SHALL BE AVOIDED. WHEN POSSIBLE, UTILITY TRENCHES SHALL RUN UNDER DRIVEWAYS OR PARKING DECKS. OTHER COMMON TRENCHES SHALL BE USED WHENEVER POSSIBLE. INFILTRATION TRENCHES, LOCATED AND SIZED AS NOTED ON PLOT PLAN, SHALL BE PLACED UNDER BUILDING EARTH GRIP LINES.
 - RE-VEGETATE ALL DISTURBED AREAS WITH NATIVE TREES, SHRUBS, AND/OR GRASSES.
 - FERTILIZE AND MULCH ALL RE-VEGETATED AND LANDSCAPED AREAS AND MAINTAIN IRRIGATION AS NEEDED.
 - DOWNSPOTS (GUTTER TERMINATION POINTS) SHALL BE DETERMINED IN THE FIELD.
 - SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION. SLOPE FINISH GRADE AWAY FROM FOUNDATION WALLS WITH A FALL OF 6 INCHES WITHIN THE FIRST 10 FEET.

- zoning and setback notes**
- PROPERTY IS ZONED LUS (LIGHT DENSITY SUBURBAN), MINIMUM LOT AREA: OF 35,000 SF WITH SETBACKS OF 30 FT FRONT & REAR, 12 FT SIDES.
 - INTERIOR LOTS, SECTION 110.406.30(a), FRONT YARD SETBACK REQUIREMENT SHALL BE 15 FT WHERE THE SLOPE OF THE FRONT HALF OF THE LOT IS GREATER THAN 2 FOOT RISE/FALL ABOVE OR BELOW THE ESTABLISHED STREET GRADE FOR EVERY 10 FEET HORIZONTAL DISTANCE.
 - PER SECTION 110.406.30: ON ANY INTERIOR LOT IN ANY RESIDENTIAL LAND USE CATEGORY OR, IN GENERAL RURAL OR IN GENERAL RURAL AGRICULTURAL LAND USE CATEGORIES, THE FRONT YARD SETBACK REQUIREMENTS SHALL BE 15 FEET WHERE THE SLOPE OF THE FRONT HALF OF THE LOT IS GREATER THAN A 2 FOOT RISE/FALL ABOVE OR BELOW THE ESTABLISHED STREET GRADE FOR EVERY 10 FEET OF HORIZONTAL DISTANCE.

topography information
SITE TOPOGRAPHY AND CONTOUR INFORMATION OBTAINED FROM SURVEY BY WELSH-HAZEN ASSOCIATES, DATED JULY 2007.

site plan information
SITE PLAN INFORMATION OBTAINED FROM SURVEY BY WELSH-HAZEN ASSOCIATES; DATED JULY 2007.

owner:
TAYLOR LIVING TRUST
PO BOX 1715
CRYSTAL BAY, NV 89402

| DATE | DESCRIPTION |
|----------|---------------------------|
| 3/1/2008 | CLIENT REVISIONS |
| 6/6/2008 | WASHOE COUNTY PLAN REVIEW |

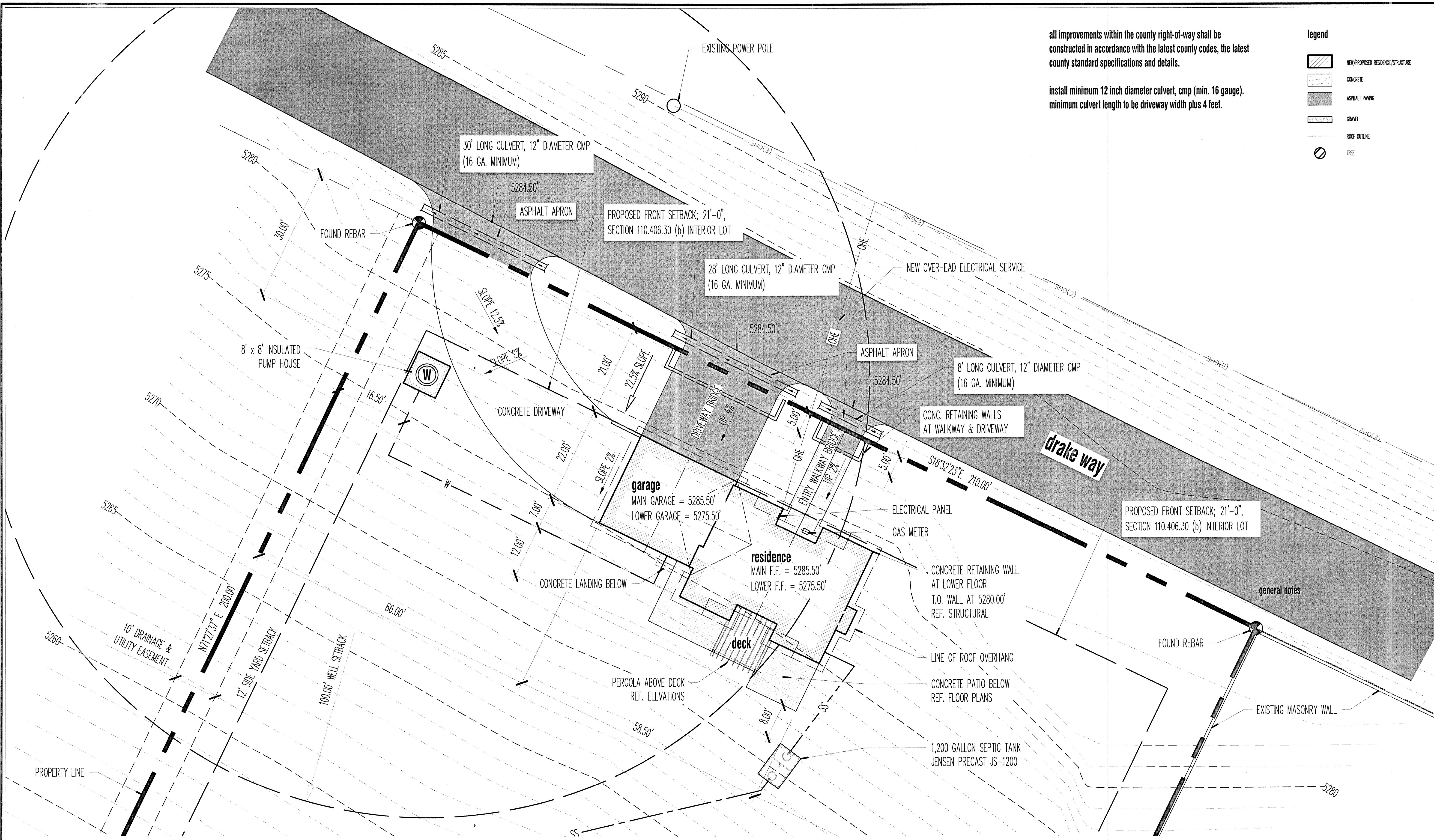
SCALE: AS NOTED
DATE: 2/19/2008
DRAWN BY: SCT
CHECKED BY: CRT

GARY R. TAYLOR
Building Design & Construction
Land Use Planning
PO Box 1715 Crystal Bay, NV 89402
865-775-8332
OFFICE: 775-832-5074 Fax: 775-832-5072
CELL: 775-742-1192
CA license 00291659 NV license 613579

taylor residence
4340 drake way
washoe valley, NV 89704
washoe county APN: 050-435-08

SHEET TITLE
site plan

SHEET NO.
A1.0



all improvements within the county right-of-way shall be constructed in accordance with the latest county codes, the latest county standard specifications and details.

install minimum 12 inch diameter culvert, cmp (min. 16 gauge). minimum culvert length to be driveway width plus 4 feet.

legend

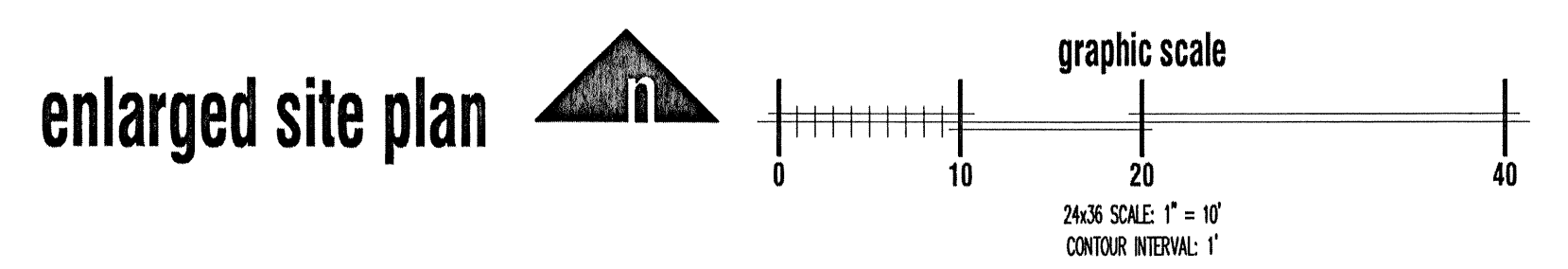
| | |
|--|----------------------------------|
| | NEW/PROPOSED RESIDENCE/STRUCTURE |
| | CONCRETE |
| | ASPHALT PAVING |
| | GRAVEL |
| | ROOF OUTLINE |
| | TREE |

| DATE | DESCRIPTION |
|----------|---------------------------|
| 3/7/2008 | CLIENT REVISIONS |
| 6/9/2008 | MUSKIE COUNTY PLAN REVIEW |

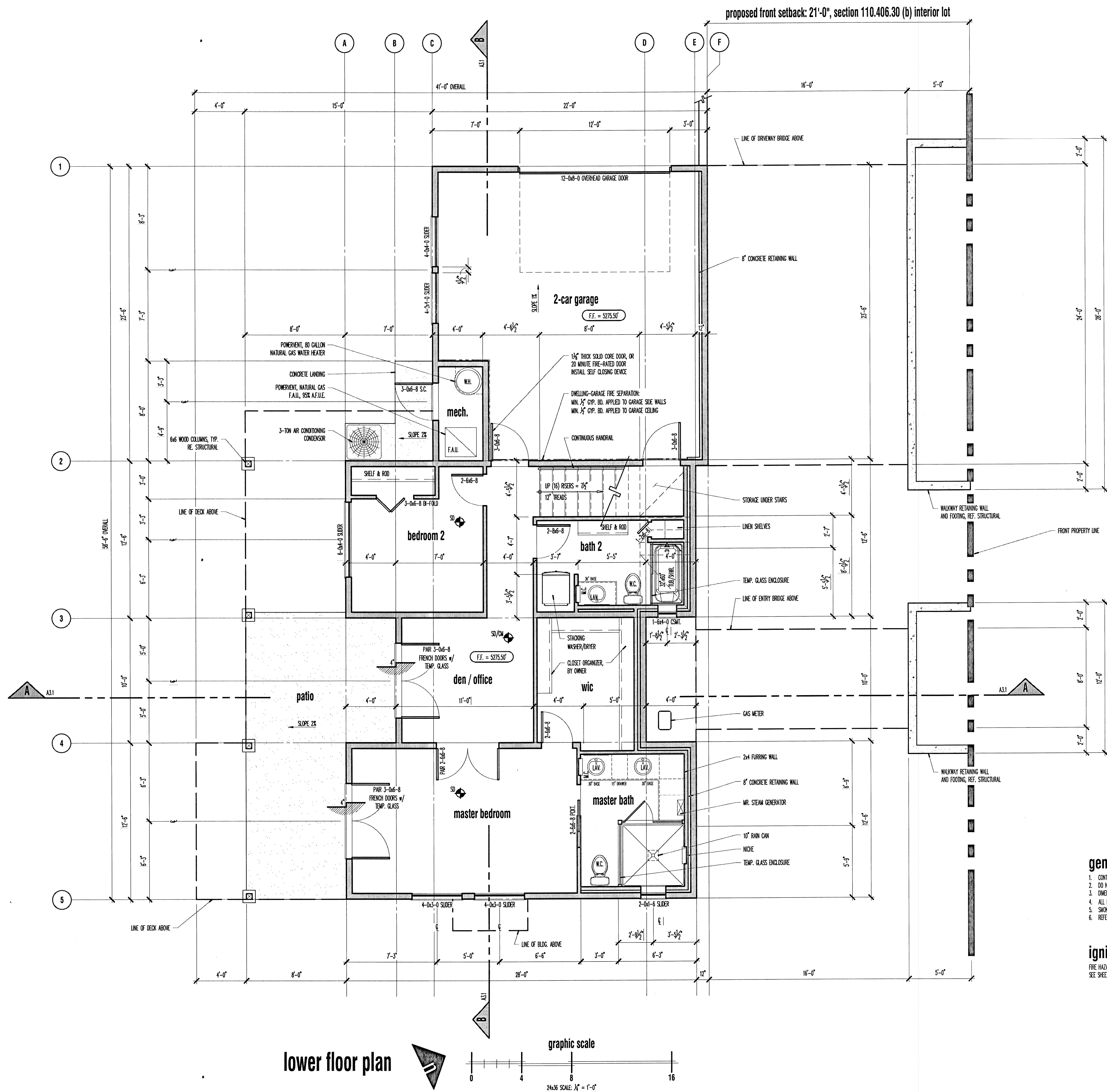
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|-------------|-----------|
| SCALE: | AS NOTED |
| DATE: | 2/19/2008 |
| DRAWN BY: | SGT |
| CHECKED BY: | GRT |

GARY R. TAYLOR
 Building Design & Construction
 Land Use Planning
 PO Box 1726, Chynal Bay, NV 89402
 888-858-8888
 Office 775-852-5078 Fax 775-852-5072
 NV License 00291659 CA License 6135779

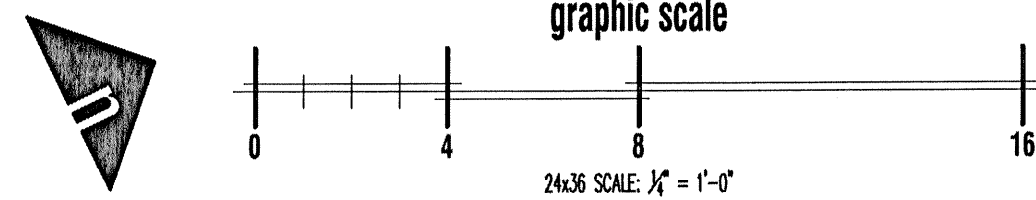
taylor residence
 4340 drake way
 washoe valley, nv 89704
 washoe county APN: 050-435-08



| | |
|-------------|--------------------|
| SHEET TITLE | enlarged site plan |
| SHEET NO. | A1.0 |



lower floor plan



general notes

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE.
3. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.
5. SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED WITH BATTERY BACKUP.
6. REFERENCE STRUCTURAL DRAWINGS FOR LOCATIONS OF COLUMNS, BEAMS, SHEARWALLS, ETC.

ignition resistant construction

FIRE HAZARD SEVERITY: HIGH CLASS 2 (R2) PER 2012 IMBC, TABLE 503.1
SEE SHEET A3.1 FOR REQUIREMENTS

| REV | DESCRIPTION | DATE |
|-----|-----------------------------|-----------|
| 1 | CLIENT REVISIONS | 5/17/2018 |
| 2 | MUSKOGEE COUNTY PLAN REVIEW | 6/9/2018 |

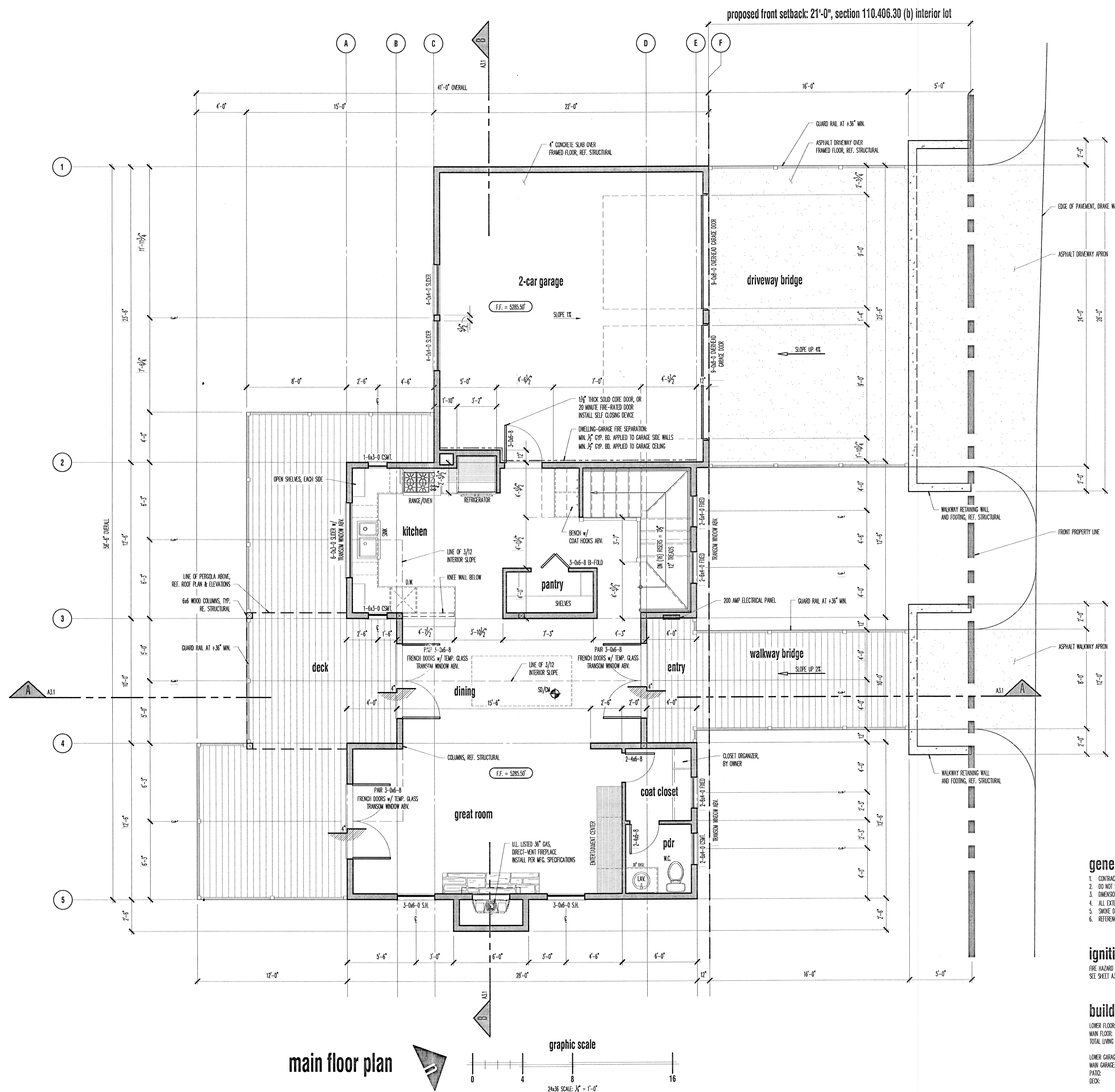
SCALE: AS NOTED
DATE: 2/19/2018
DRAWN BY: SST
CHECKED BY: CRT

GARY R. TAYLOR
Building Design & Construction
Land Use Planning
1700 Central Expressway, Suite 100
PO Box 1700, Cary, NC 27513
Office 775.832.5074 Fax 775.832.5072
www.garyrtaylor.com
NV license 0029169 CA license 613579

taylor residence
4340 drake way
washoe valley, NV 89704
washoe county APN: 050-435-08

SHEET TITLE
lower floor plan

SHEET NO.
A1.1



general notes

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
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3. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR WALLS SHALL BE 2x6 @ 16" O.C. UNLESS NOTED OTHERWISE.
5. SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED WITH BATTERY BACKUP.
6. REFERENCE STRUCTURAL DRAWINGS FOR LOCATIONS OF COLUMNS, BEAMS, SHEARWALLS, ETC.

ignition resistant construction

FIRE HAZARD SEVERITY: HIGH, CLASS 2 (R2) PER 2012 IMBC, TABLE 503.1
SEE SHEET A3.1 FOR REQUIREMENTS

building area summary

| | | |
|--------------------|-------|-----------------|
| LOWER FLOOR: | 900 | sq. ft. (GROSS) |
| MAIN FLOOR: | 905 | |
| TOTAL LIVING AREA: | 1,005 | |
| LOWER GARAGE: | 487 | |
| MAIN GARAGE: | 512 | |
| PATIO: | 224 | |
| DECK: | 430 | |

| | |
|-------------|--------------------------|
| DATE | 3/11/2008 |
| DESCRIPTION | CLIENT REVISIONS |
| REV. | 1 |
| | 2 |
| | WASCO COUNTY PLAN REVIEW |
| | 6/8/2008 |

| | |
|-------------|-----------|
| SCALE: | AS NOTED |
| DATE: | 2/19/2008 |
| DRAWN BY: | SGI |
| CHECKED BY: | GRF |

GARY R. TAYLOR
 Building Design & Construction
 Land Use Planning
 PO Box 1725, Crystal Bay, NV 89402
 Phone: 775.832.8074 Fax: 775.832.8072
 Office: 775.832.8074 Fax: 775.832.8072
 NV license: 0029169 CA license: 613279

taylor residence
 4340 Drake way
 Washoe valley, NV 89704
 Washoe county APN: 050-435-08

SHEET TITLE
main floor plan

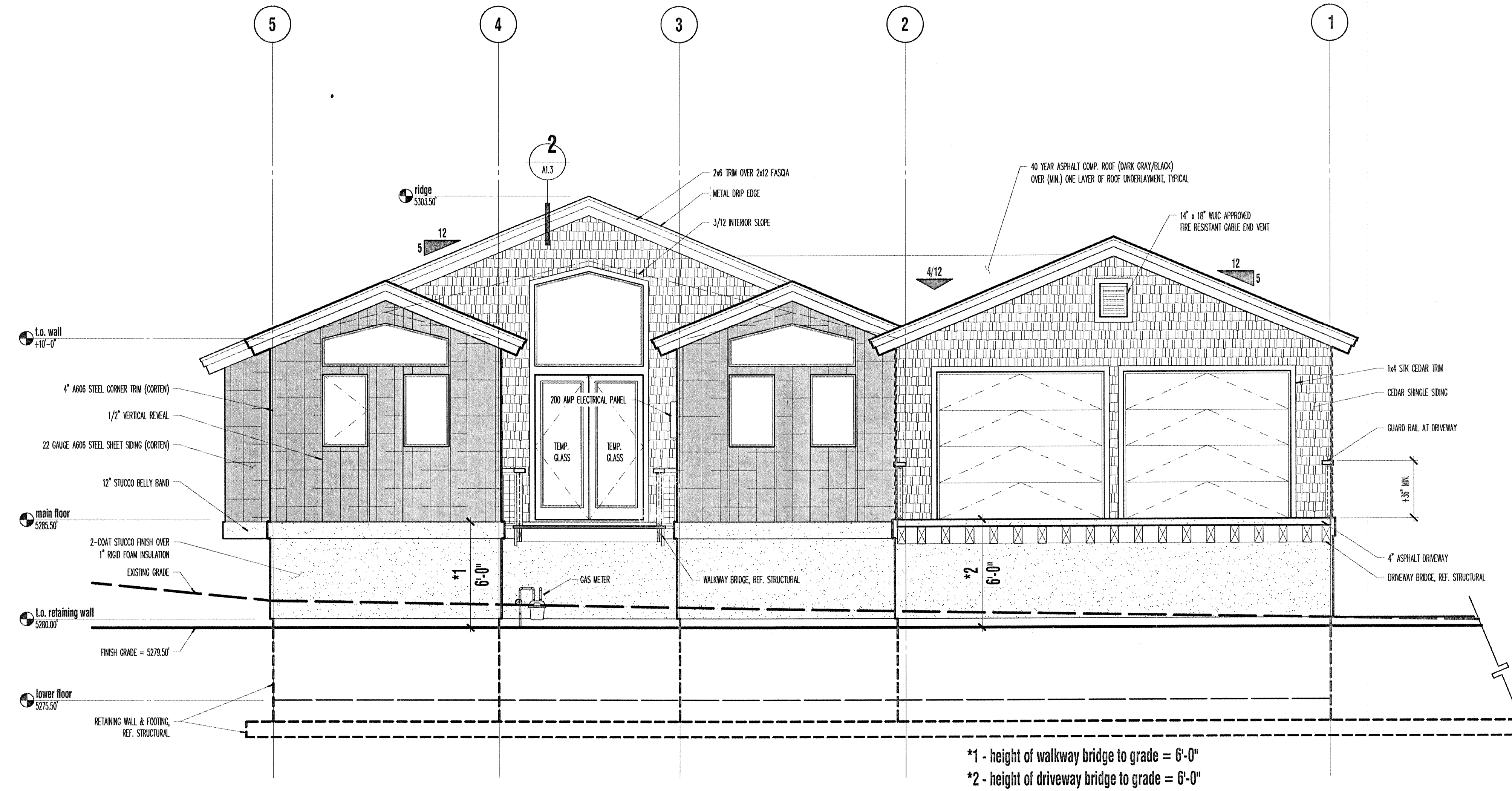
SHEET NO.
A1.2

general notes

1. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT.
3. ALL INFORMATION SHALL BE CONSIDERED EXISTING, UNLESS NOTED OTHERWISE.
4. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.

ignition resistant construction

FIRE HAZARD SEVERITY: HIGH, CLASS 2 (R2) PER 2012 IMC, TABLE 501.1
SEE SHEET A31 FOR REQUIREMENTS



| DATE | DESCRIPTION |
|---|-------------------------------|
| 3/11/2008 <td>CLIENT REVISIONS</td> | CLIENT REVISIONS |
| 6/8/2008 <td>WASCOE COUNTY PLANNING REVIEW</td> | WASCOE COUNTY PLANNING REVIEW |
| 1 | |
| 2 | |

| | |
|-------------|-----------|
| SCALE: | AS NOTED |
| DATE: | 2/19/2008 |
| DRAWN BY: | SGT |
| CHECKED BY: | GRT |

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taylor residence
 4340 Grate Way
 Westoe Valley, NV 89704
 Washoe County APN: 050-435-08

SHEET TITLE
exterior elevations

SHEET NO.
A2.1

general notes

1. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENT.
3. ALL INFORMATION SHALL BE CONSIDERED EXISTING, UNLESS NOTED OTHERWISE.
4. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.

ignition resistant construction

FIRE HAZARD SEVERITY: HIGH, CLASS 2 (R2) PER 2012 IMC, TABLE 503.1
SEE SHEET A3.1 FOR REQUIREMENTS

| REV. | DESCRIPTION | DATE |
|------|---------------------------|-----------|
| 1 | CLIENT REVISIONS | 3/17/2018 |
| 2 | WASHOE COUNTY PLAN REVIEW | 6/8/2018 |

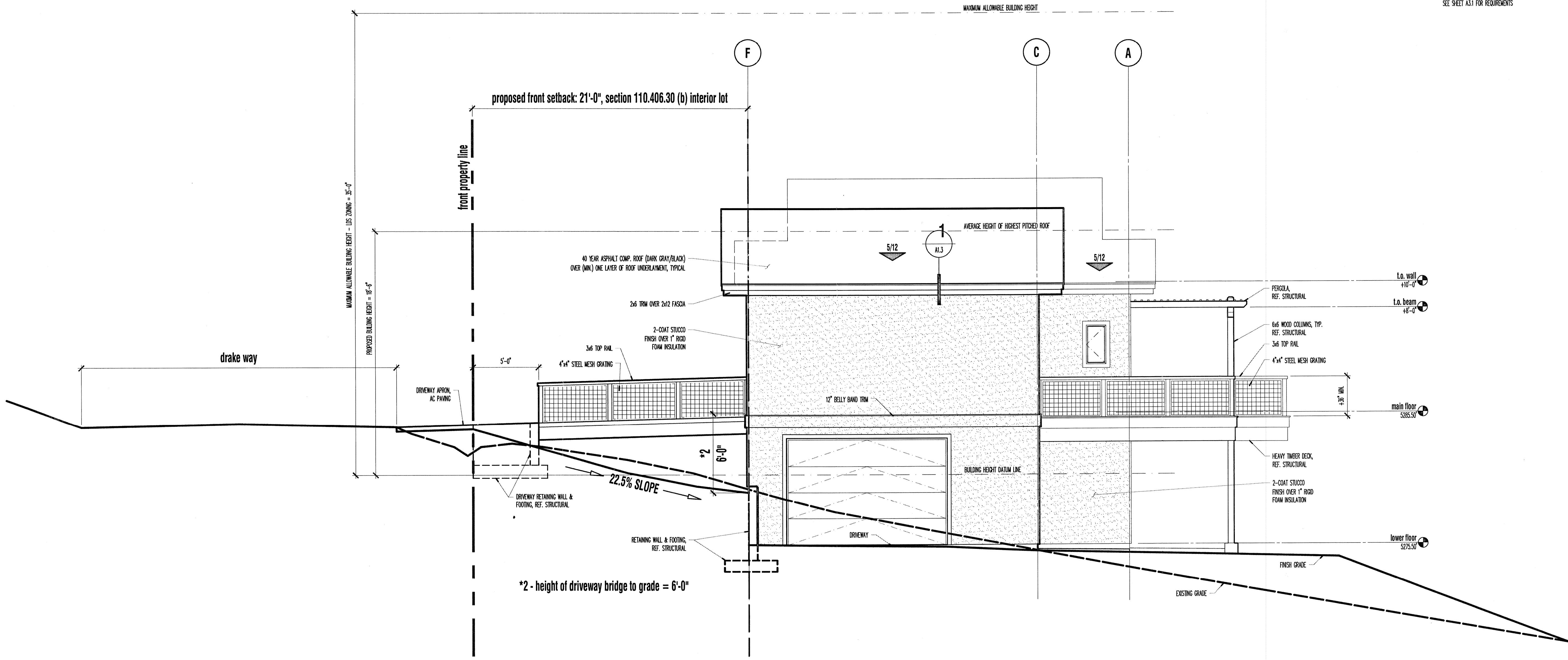
| | |
|-------------|----------|
| SCALE: | AS NOTED |
| DATE: | 2/9/2018 |
| DRAWN BY: | SGT |
| CHECKED BY: | GRT |

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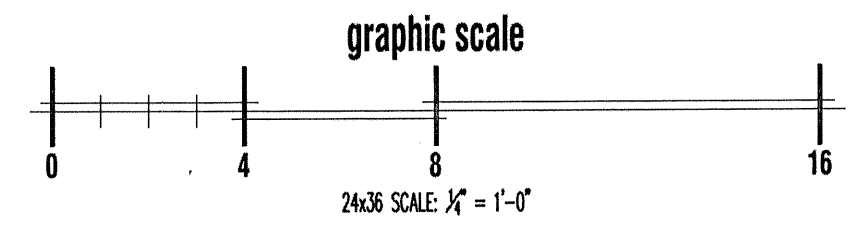
taylor residence
 4340 drake way
 washoe valley, NV 89704
 washoe county APN: 060-435-08

SHEET TITLE
exterior elevations

SHEET NO.
A2.2



west elevation



general notes

1. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE.
3. ALL INFORMATION SHALL BE CONSIDERED EXISTING, UNLESS NOTED OTHERWISE.
4. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.

ignition resistant construction

FIRE HAZARD SEVERITY: HIGH, CLASS 2 (R2) PER 2012 IMBC, TABLE 503.1
SEE SHEET A3.1 FOR REQUIREMENTS

| REV. | DESCRIPTION | DATE |
|------|--------------------------|----------|
| 1 | CLIENT REVISIONS | 3/7/2018 |
| 2 | WASHE COUNTY PLAN REVIEW | 6/9/2018 |

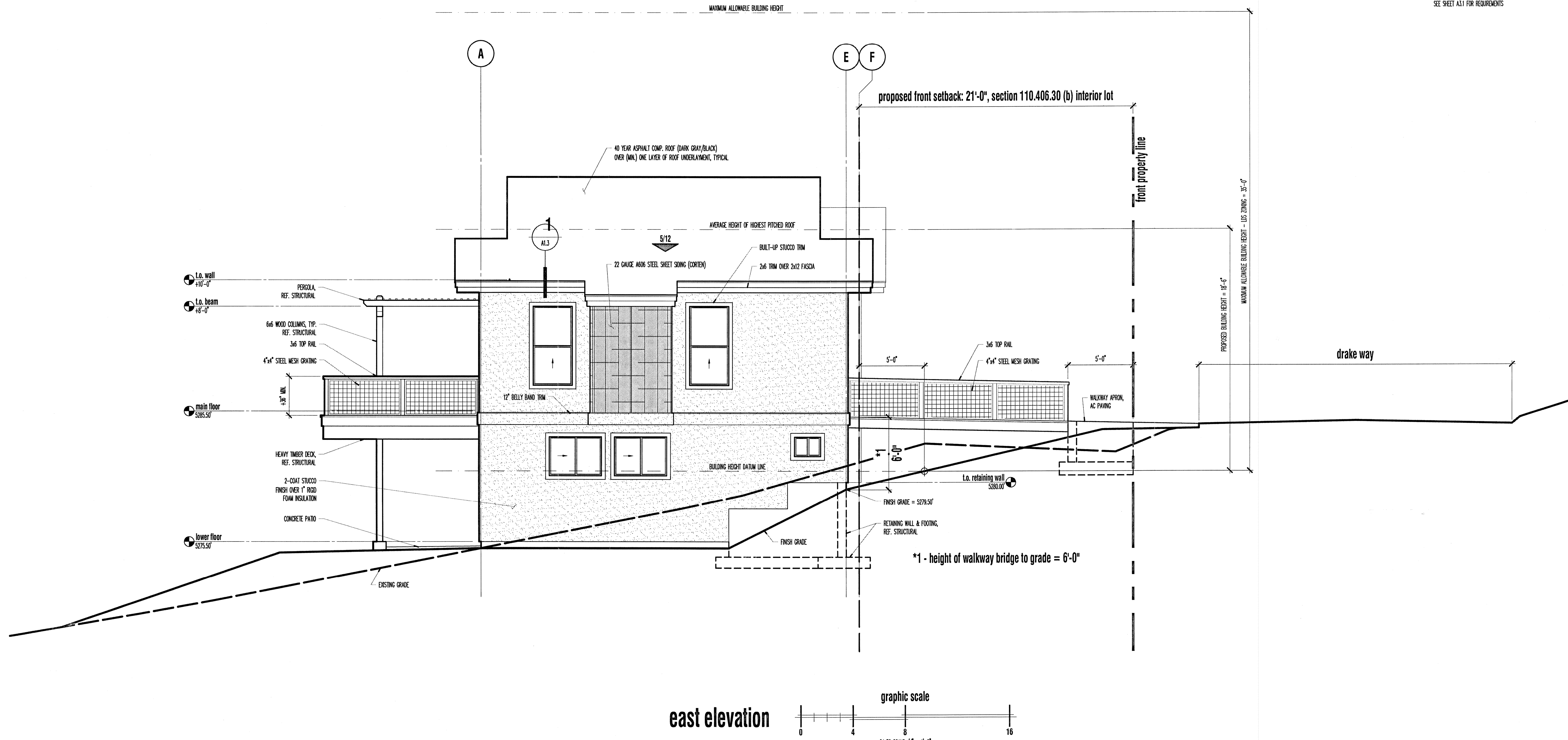
| | |
|-------------|----------|
| SCALE: | AS NOTED |
| DATE: | 2/9/2018 |
| DRAWN BY: | SGT |
| CHECKED BY: | GRT |

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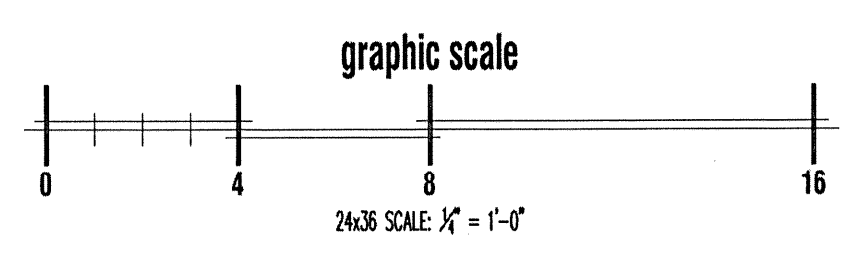
taylor residence
 4340 drake way
 washoe valley, nv 89704
 washoe county APN: 050-435-08

SHEET TITLE
exterior elevations

SHEET NO.
A2.3



east elevation

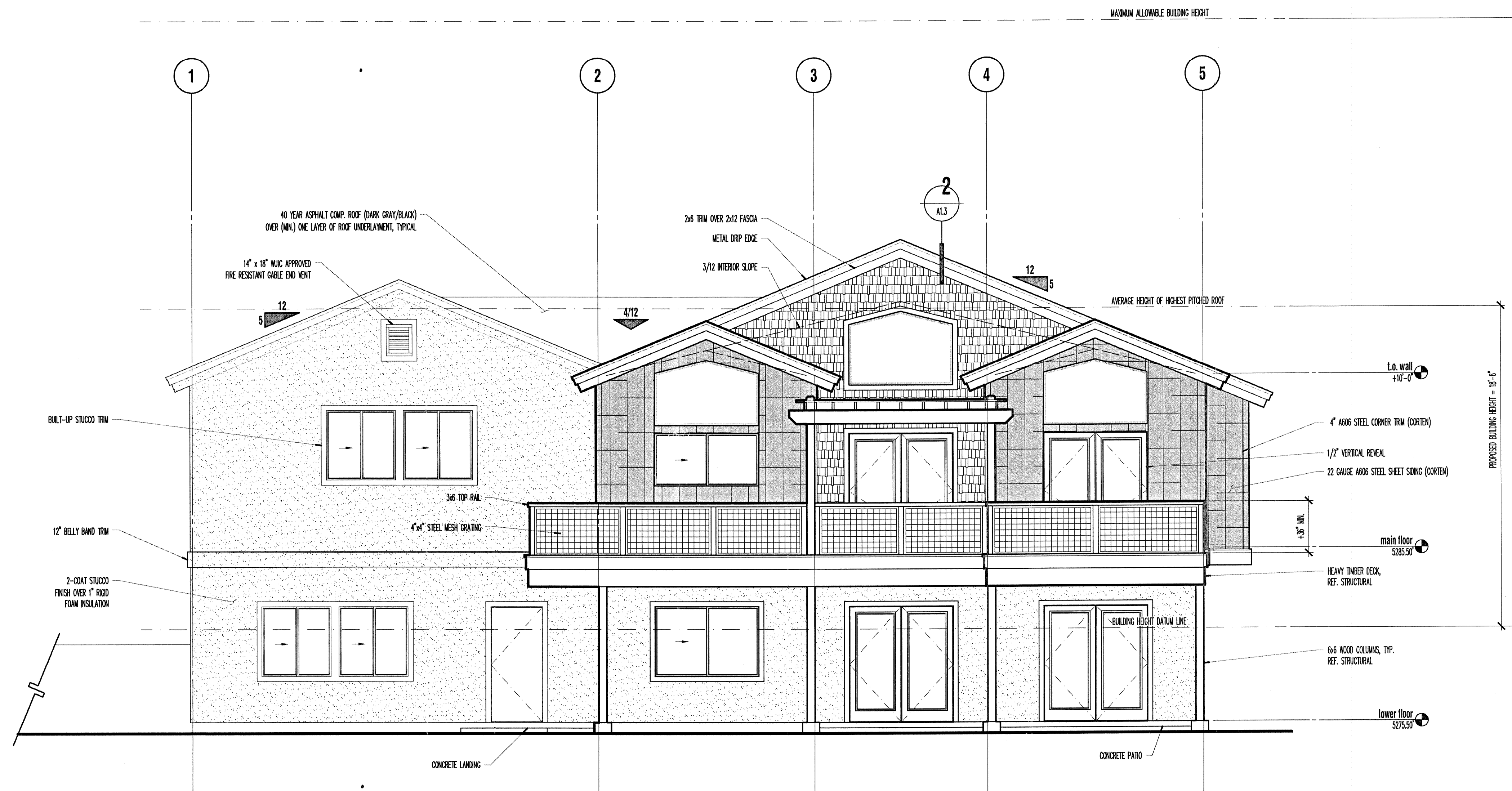


general notes

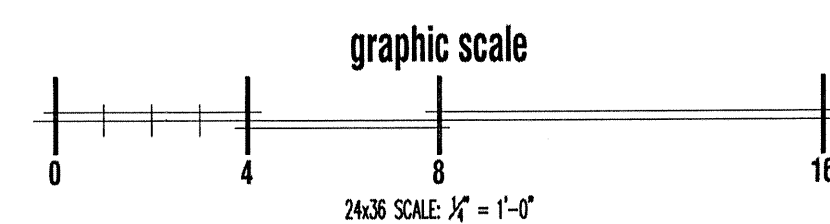
1. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
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4. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE.

ignition resistant construction

FIRE HAZARD SEVERITY: HIGH CLASS 2 (R2) PER 2012 IMBC, TABLE 503.1
SEE SHEET A3.1 FOR REQUIREMENTS



south elevation



| REV. | DESCRIPTION | DATE |
|------|---------------------------|-----------|
| 1 | CLIENT REVISIONS | 3/17/2008 |
| 2 | WASCOE COUNTY PLAN REVIEW | 6/9/2008 |

| | |
|-------------|-----------|
| SCALE: | AS NOTED |
| DATE: | 2/19/2008 |
| DRAWN BY: | SGT |
| CHECKED BY: | GRT |

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taylor residence
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SHEET TITLE
exterior elevations

SHEET NO.
A2.4