

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: <u>GARAGE RENOVATION @ 5430 PEARL ST. SUN VALLEY</u>			
Project Description: <u>OBJECTIVE OF THIS PROJECT IS TO CONSTRUCT LIVING QUARTERS IN THE EXISTING GARAGE - FOR THE PURPOSE OF A RENTAL</u>			
Project Address: <u>5430 PEARL DR. SUN VALLEY NV - 89433</u>			
Project Area (acres or square feet): <u>576 SQ FT</u>			
Project Location (with point of reference to major cross streets AND area locator): <u>5430 PEARL DR. SUN VALLEY, NV. 89433</u> <u>(BETWEEN - 4th ST and 5th ST) IN SUN VALLEY NV.</u>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>08672121</u>	<u>0.38 ACRES</u>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <u>XSEGO MARTINEZ / MARIA SALAS</u>		Name: <u>JIMINEZ</u>	
Address: <u>5430 PEARL DR,</u>		Address:	
<u>SUN VALLEY NV</u> Zip: <u>89433</u>		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell: <u>775-221-2777</u>	Other:	Cell:	Other:
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

TO RENOVATE THE GARAGE INTO LIVING QUARTERS, TO BE USED AS A RENTAL

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

THE SITE IS INCLUDED WITH THE BUILDING PLANS.

3. What is the intended phasing schedule for the construction and completion of the project?

ONE YEAR

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

IT IS TO BE BUILT INSIDE OF THE CURRENT EXISTING GARAGE. NO NEW STRUCTURE IS TO BE ADDED

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

TO PROVIDE A RENTAL THAT IS MORE AFFORDABLE THAN THE CURRENT MARKET.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

NONE (IT IS INSIDE THE EXISTING GARAGE)

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

THEY ARE SHOWN ON THE PLANS

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	YES
b. Electrical Service	YES
c. Telephone Service	YES
d. LPG or Natural Gas Service	YES
e. Solid Waste Disposal Service	YES
f. Cable Television Service	YES
g. Water Service	YES

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	YES - SUN VALLEY BLVD
b. Health Care Facility	YES - SUN VALLEY
c. Elementary School	YES - SUN VALLEY
d. Middle School	YES - SUN VALLEY
e. High School	YES - GOLDEN VALLEY
f. Parks	YES - SUN VALLEY
g. Library	YES - GOLDEN VALLEY
h. Citifare Bus Stop	YES - SUN VALLEY

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

NO

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

NO

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

NOT APPLICABLE

11. Are you planning any berms?

Yes	No <input checked="" type="checkbox"/>	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

NOT APPLICABLE - THE GARAGE WAS CONSTRUCTED IN 2005 - THE FOUNDATION HAS ALREADY BEEN BUILT.

13. What are you proposing for visual mitigation of the work?

THERE WILL BE NO CHANGE IN OUTWARD APPEARANCE OF THE GARAGE OTHER THAN DOOR AND WINDOW REPLACEMENTS - SEE PLANS & PHOTOS

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

NO

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

NO

2

16. How are you providing temporary irrigation to the disturbed area?

THERE WILL BE NO NEED FOR TEMPORARY IRRIGATION

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

NO- AS THERE WILL BE NO REVEGETATION

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No <input checked="" type="checkbox"/>	If yes, please attach a copy.
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B ELECTRICAL LOAD CALCS - $P = \text{POWER (WATTS)}$

$E = \text{VOLTS}$

LIGHTS BULBS = 100 WATTS

VACUUM = 1400 WATTS

$P/E = \text{AMPS}$

WATER HEATER = 4500 WATTS

RES. $E^2/P = \text{OHMS}$

STOVE AND RANGE = 8000 WATTS

REFRIGERATOR = 800 WATTS HEATER = 6000 WATTS

BED ROOMS 1 & 2 w/ 2 OVERHEAD BULBS PER BRM

INCLUDES CLOSET = $1600/120 = 13.33 \times 2 = 26.66 \text{ AMPS}$

120 VOLT CIRCUIT $(120)^2/1600 = 9 \text{ OHMS} \times 2 = 18 \text{ OHMS}$

TOTALS FOR BOTH BED ROOMS = 26.66 AMPS 9 OHMS

FRONT ROOM = 2 OVERHEAD LIGHTS + 1 VACUUM $P/E = 1600/120 = 13.33$
 $E^2/P = 120^2/1600 = 9 \text{ OHMS}$

HOT WATER HEATER IN FRONT RM = $P/E = 4500/240 = 18.75 \text{ AMPS}$
 $E^2/P = 240^2/4500 = 12.8 \text{ OHMS}$

ENTRY/OUTSIDE LIGHT = 2 BULBS + 1 VACUUM = 120 VOLT SYSTEM
 $P/E = 1600/120 = 13.33 \text{ AMPS}$
 $E^2/P = 120^2/1600 = 9 \text{ OHMS}$

KITCHEN OVERHEAD LIGHT + REF = 800 + 100 = 900 WATTS
 120 VOLT SYSTEM $P/E = 900/120 = 7.5 \text{ AMPS}$
 $E^2/P = 120^2/900 = 16 \text{ OHMS}$

STOVE (RANGE & OVEN) = $P/E = 8000/240 = 33.3 \text{ AMPS}$
 $E^2/P = 240^2/8000 = 7.2 \text{ OHMS}$
 HEATER = $6000 \text{ WATTS} / 120 = 50 \text{ AMPS}$

TOTALS = 26.66 + 13.33 + 18.75 + 13.33 + 7.5 + 50 = 129.57 AMPS

62.77 OHMS

ESTIMATED HEAT LOSS CALCULATIONS

A

WALLS MULTIPLIER = 3 FOR 24x24 BLDG SQ 576^{sq}

FOOTAGE FOR ALL WALLS = 192^{ft}

WEST WALL = 1 WINDOW 1 DOOR = $-31.98 + 192 = 160.2 \times 3 = 480.6$

EAST WALL = $192 - 32 = 160 \times 3 = 480$

NORTH WALL = $192 - 16 = 176 \times 3 = 528$

SOUTH WALL = $192 - 12 = 180 \times 3 = 540$

TOT = 2028
BTU/h

OPENINGS MULTIPLIER = 36.3

WEST WALL = $31.98 \times 36.3 = 1161$

EAST WALL = $32 \times 36.3 = 1162$

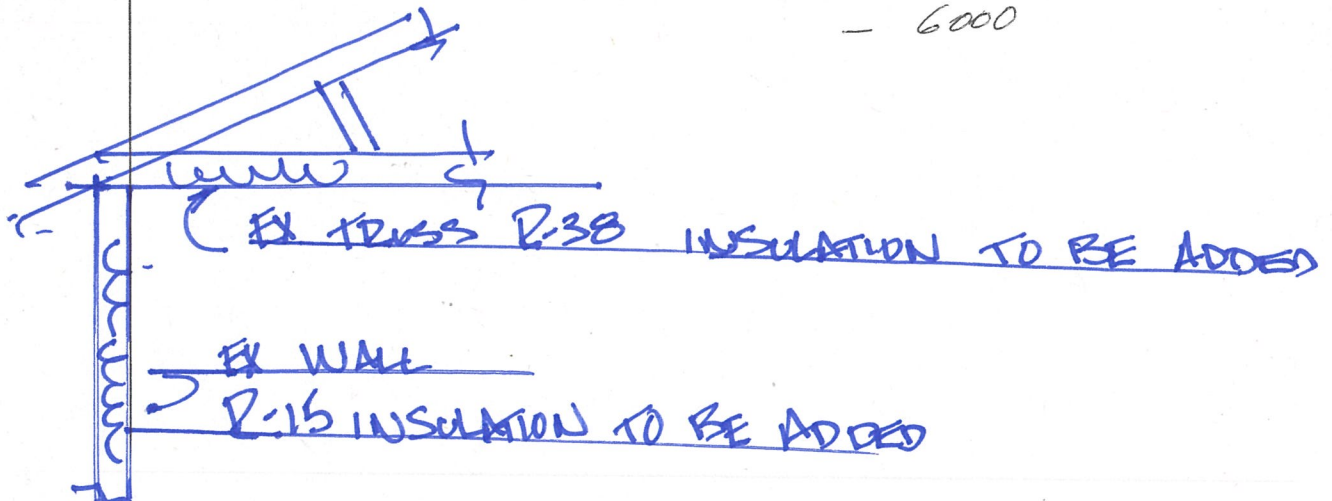
NORTH WALL = $16 \times 36.3 = 581$

SOUTH WALL = $12 \times 36.3 = 436$

TOT = 3340 BTU/h

$(2028 \text{ BTU/h}) + (3340 \text{ BTU/h}) = 5368 \text{ BTU/h}$

- 6000



INFO FOR NEW WINDOWS TO BE ADDED

PLY GLEN OR EQUIV

U-FACTOR = 0.3

SOLAR HEAT FACTOR = 0.3

VISUAL TRANSMITTANCE = 0.54

AIR INFILTRATION =

≤ 0.3

ENTRY DOOR IS

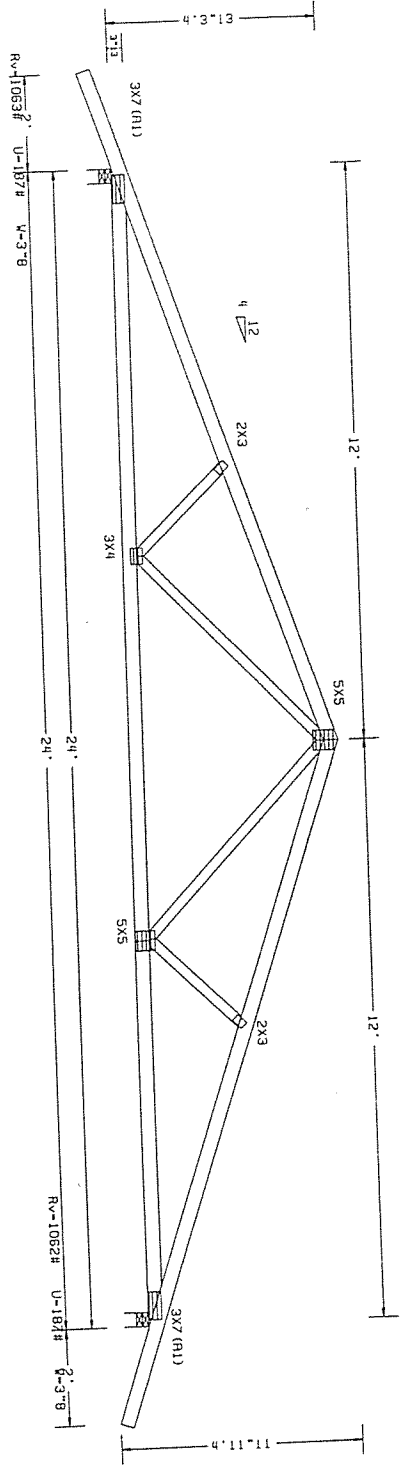
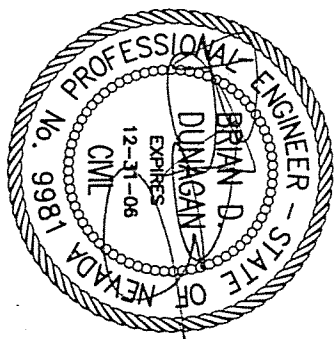
SOLID CORE

Job: (BC3719) / T-1 24' COM

Top chord 2x4 SPC #1/42
 Bot chord 2x4 SPC Stud
 Webs 2x3 SPC Stud
 105 #pt wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CRT 1, EXP C, wind TC DL-7.0 psf,
 wind BC DL-5.2 psf.
 In lieu of structural panels or rigid ceiling use purlins to brace TC @ 24" OC, BC @ 72" OC.

THIS DWG. PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.
 Job Name: 24'x24'
 Address: 5430 FEDERAL DR
 SUN VALLEY, NV
 App #
 Dead loads are stated on projected horizontal area basis.
 Deflection limits L/240 live and L/180 total load.

8/ 5/2005



DESC. = T-1 24' COM
 PLT. TYP. - WAVE
 BURTON
 COMPONENTS

1BC/TP12002(STD) Cq/RT-1.00(1.25)/10(0) QTY = 11 TOTAL = 11
 THIS DESIGN IS APPLICABLE TO SHORTER SPAN TRUSSES
 OF IDENTICAL LOADING AND CONFIGURATION.
 ALL TENSION CHORD MEMBERS ASSUMED TO BE PLYWOOD
 CONTINUOUSLY BRACED BY EITHER 8x8 OR 8x10
 SHEATHING @ 1/2" (MAX) ON CENTER UNLESS NOTED OTHERWISE.
 ALL TENSION CHORD MEMBERS ASSUMED TO BE
 CONTINUOUSLY BRACED BY EITHER 8x8 OR 8x10
 SHEATHING @ 1/2" (MAX) UNLESS NOTED OTHERWISE.

INSTALLATION AND ERECTION OF THIS TRUSS, PERMANENT,
 AND TEMPORARY BRACING SHOULD BE DONE IN ACCORDANCE
 WITH CURRENT IPI BRACING AND ERECTION PUBLICATIONS.
 NO MEMBER OF THIS TRUSS MAY BE CUT OR MODIFIED IN ANY WAY.
 SPECIAL HANDLING CARE SHOULD BE TAKEN DURING SHIPPING
 AND ERECTION OF TRUSSES. SEE H18-91 FOR RECOMMENDATIONS.

REV.	DATE	DESCRIPTION	SCALE
7.10.1222.21	104761	SEO =	0.2500
TC LL	21.0psf	REF	
TC DL	10.5psf	DATE	08-01-2
BC DL	7.0psf	DRWG	
BC LL	0.0psf		
TOT IN	38.50psf	O/A LEN.	24

C3719) DRN McGLYNN / T-1GB 24' CE

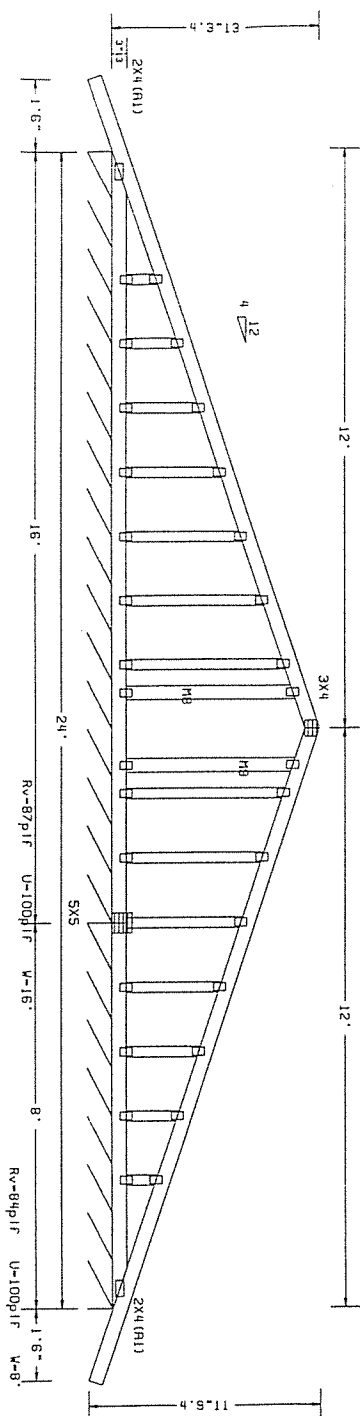
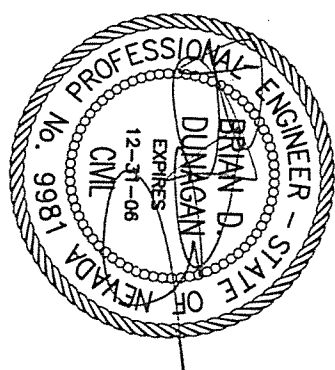
1 2x4 SPF #1/42
 1 2x4 SPF #1/42
 1 2x3 SPF Stud HIB, H9 2x4 HF Stud:
 2x4, 15.00 ft max on hgt, SPEC 7-02, CLOSED bldg, located anywhere in roof, CRT 1, EXP C, wind TC DL-7.0 psf,
 L=5.2 psf.
 as per 2X3 except as noted.
 BULLETIN 103 For more requirements.
 in meets L/240 live and L/180 total load.

Job No: 24124
 Address: 5430 PEARL DR.
 SUN VALLEY, NV.
 RPN #

THIS DWG. PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Dead loads are stated on projected horizontal area basis.
 Gable end supports 24" max rake overhang.
 In lieu of structural panels or rigid ceiling use purlins to brace TC @ 24" OC, BC @ 72" OC.

8/5/2005



TYP. T-WAVE 24' CE

18C/TP12002 (STD) Cq/RT-1.00 (1.25/10 (0)) QTY = 1 TOTAL = 1

REV. 7.10.1222.21 SFO = 104754 SCALE = 0.2500

TRUSS COMPONENTS

NEEKED ROOF SYSTEMS
 P.O. BOX 1859
 NILEY, NEVADA 89408

THIS DESIGN IS APPLICABLE TO SHORTER SPAN TRUSSES OF IDENTICAL LOADING AND CONFIGURATION.
 ALL TENSION CHORD MEMBERS ASSUMED TO BE CONTINUOUSLY BRACED BY EITHER 2" DIA. (MIN) PLYWOOD SHEATHING OR 1/2" DIA. (MIN) OR BRACING MEMBERS SPACED @ 16" O.C. (MAX) UNLESS NOTED OTHERWISE.
 ALL COMPRESSION CHORD MEMBERS ASSUMED TO BE CONTINUOUSLY BRACED BY EITHER 2" DIA. (MIN) PLYWOOD SHEATHING OR 1/2" DIA. (MIN) OR BRACING MEMBERS SPACED @ 16" O.C. (MAX) UNLESS NOTED OTHERWISE.
 BB INDICATES BEARING LOCATION.
 BB INDICATES LATERAL BRACING MEMBER (1X4 MIN)

INSTALLATION AND ERECTION OF THIS TRUSS, PERMANENT, AND TEMPORARY BRACING SHOULD BE DONE IN ACCORDANCE WITH CURRENT IPI BRACING AND ERECTION PUBLICATIONS. NO MEMBER OF THIS TRUSS MAY BE CUT OR MODIFIED IN ANY WAY. SPECIAL HANDLING CARE SHOULD BE TAKEN DURING SHIPPING AND ERECTION OF TRUSSES. SEE H18-91 FOR RECOMMENDATIONS. PLATES SPECIFIED ON GABLE FILL TO BE REPLACED BY STRIPS.

TC LL	21.0psf	REF
TC DL	10.5psf	DATE 08-01-2005
BC DL	7.0psf	DRWG
BC LL	0.0psf	
TOT. LD.	38.5psf	O/A LEN. 24
DUR. FAC.	1.15	

ENCLOSED IS AN APPLICATION FOR A SPECIAL USE PERMIT FOR THE CONSTRUCTION OF A TWO BEDROOM RENTAL TO BE BUILT INSIDE AN EXISTING 24' x 24' GARAGE (576 SQ FT). THE PROPERTY ADDRESS IS 5430 PEARL DR, SUN VALLEY, NEVADA PARCEL # 89433 - PROPERTY OWNERS -> JOSE G. MARINEZ AND MARIA Y SALAS JIMINEZ.

INCLUDED IS A SET OF PLANS - SHOW PLOT PLAN, ELEVATIONS (PHOTOS OF THE EXISTING GARAGE - PHOTOS OF STOVES, TOILETS, SHOWERS, HOT WATER HEATER) FLOOR PLAN - ELECTRICAL PLAN - FRAMING AND FOUNDATION DETAILS, ENGINEERING FOR EXISTING TRUSSES - WINDOWS AND DOORS TO BE SUPPLIED BY HOME DEPOT AND OR LEUCUS -

ALSO INCLUDED - HEAT LOSS CALC AND ELECTRICAL LOAD -

ALSO INCLUDED NOTARIZATION PAGE

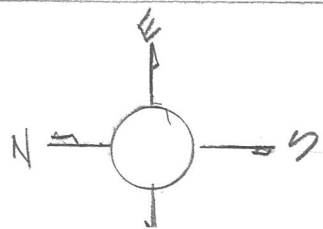
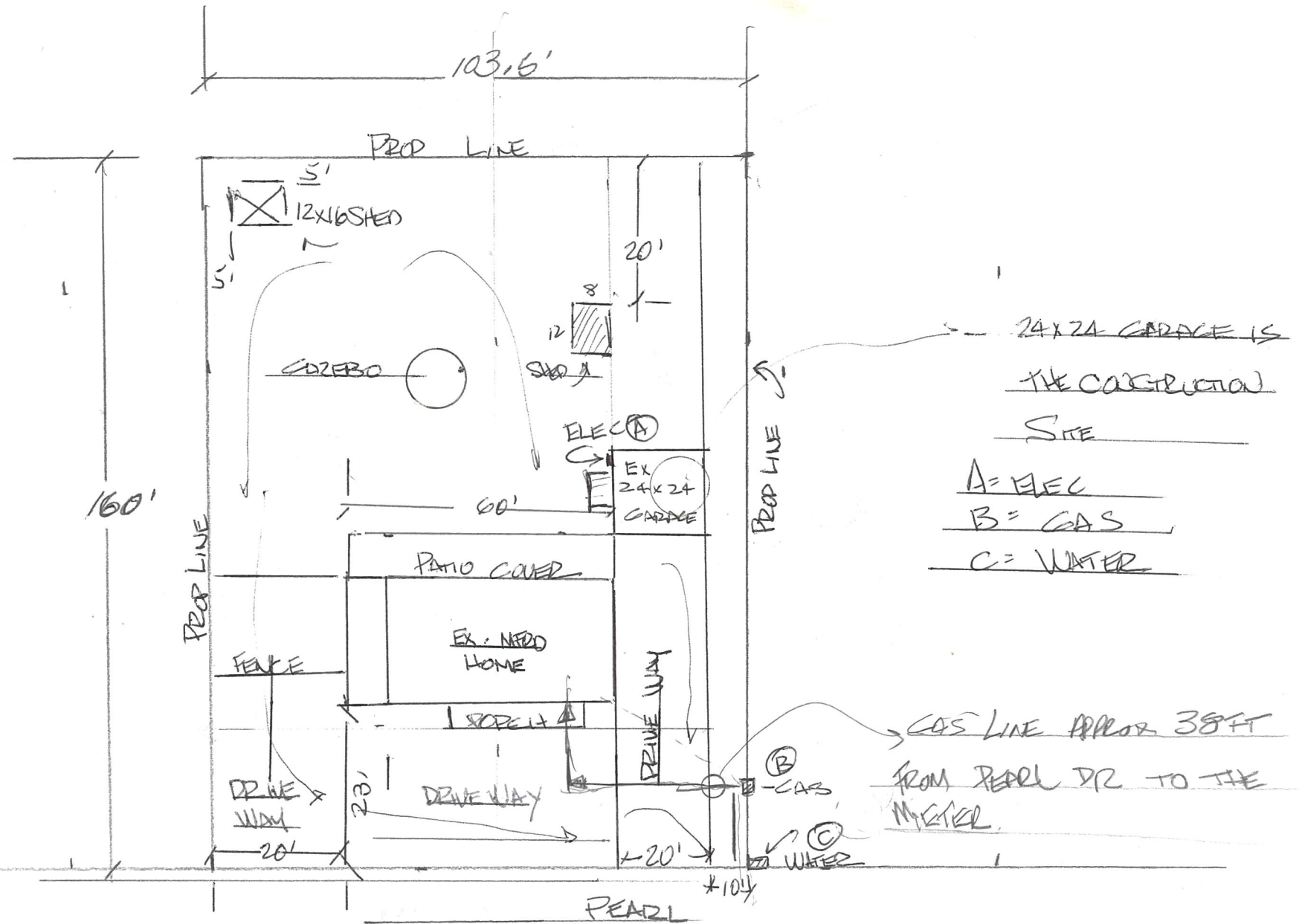
THIS PROJECT TO FALL UNDER THE CATEGORY OF OWNER/BUILDER.

TITLE PAGE

1 OF 21	LOT PLAN	A = ESTIMATED HEAT LOSS
2 OF 21	EXISTING FOUNDATION	B = ELECTRICAL LOAD CALCS
3 OF 21	EXISTING FLOOR PLAN	C = INT. TRUSS CALCS
4 OF 21	EXISTING WEST ELEVATION	D = CABLE END TRUSS CALCS
5 OF 21	EXISTING EAST ELEVATION	
6 OF 21	EXISTING NORTH ELEVATION	
7 OF 21	EXISTING SOUTH ELEVATION	
8 OF 21	NEW WEST ELEVATION	
9 OF 21	NEW EAST ELEVATION	
10 OF 21	NEW NORTH ELEVATION	
11 OF 21	NEW SOUTH ELEVATION	
12 OF 21	EXISTING TRUSS LAYOUT (PAPER PLAN)	
13 OF 21	NEW FLOOR PLAN	
14 OF 21	FRAMING DETAILS FOR WALLS a & b	
15 OF 21	ELEVATION OF INTERIOR WALLS a & b	
16 OF 21	FRAMING DETAILS FOR WEST WALL	
17 OF 21	TYPICAL WALL FRAME DETAIL	
18 OF 21	CALCULATIONS FOR SIZING OUT HEADERS WALLS a & b	
19 OF 21	CALCULATIONS FOR HEADERS ON EXTERIOR WALLS	
20 OF 21	PLUMBING PLAN	
21 OF 21	ELECTRICAL PLAN	
	HEATING SYSTEM	
	PLUMBING FIXTURES TO BE USED	
	PHOTOS OF EXISTING GARAGE	

FOR 5430 PEARL DR. SUN VALLEY NV.
89433

ALL CONSTRUCTION FRAME, INSULATION, PLUMBING, ELECTRICAL GAS
IN ACCORDANCE WITH 2018 RESIDENTIAL CODES
OWNERS - JOSE G. MARTINEZ - MARIA Y SALAS JIMENEZ



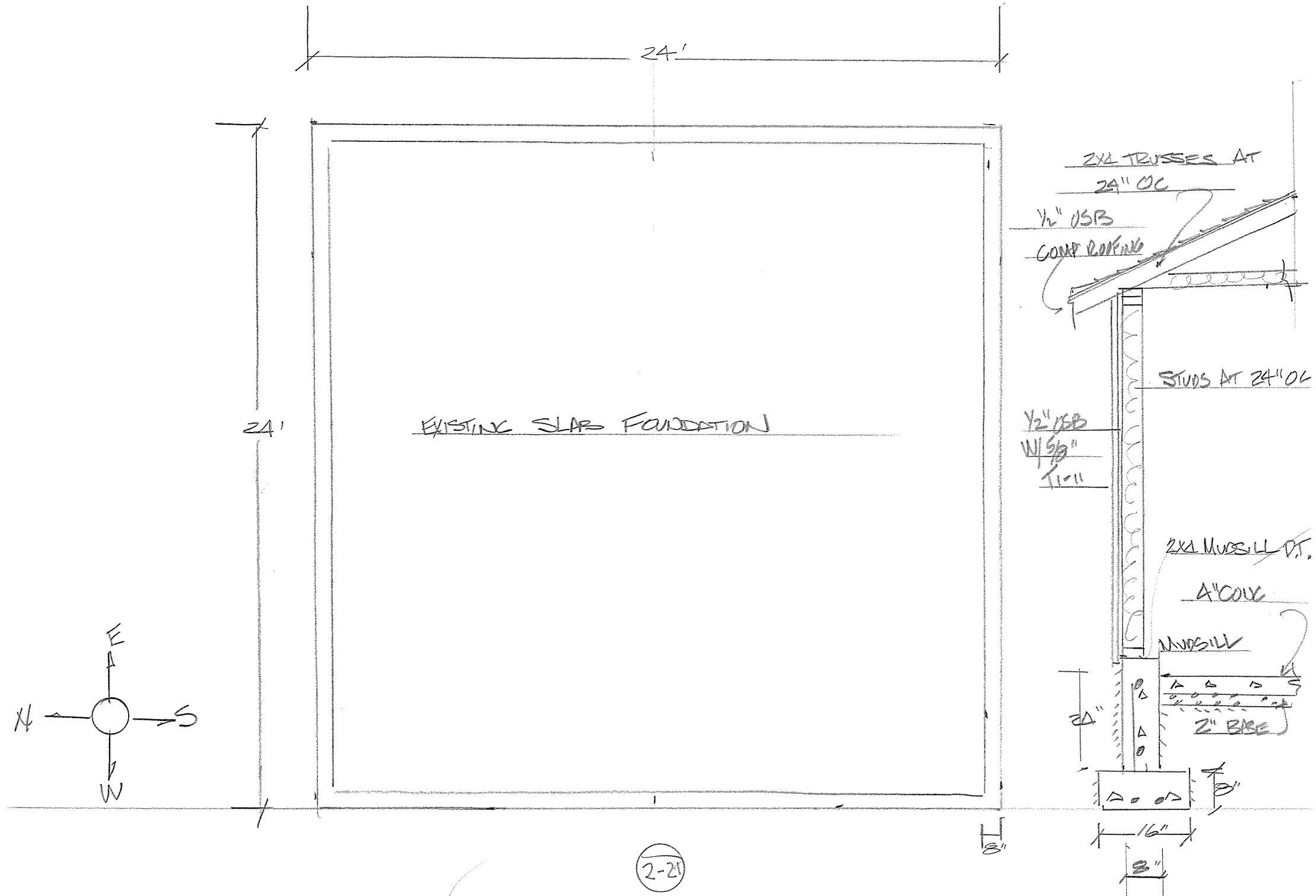
LOT PLAN

FOR 5430 PEARL DR SUN VALLEY - DR.

1/32" = 1'

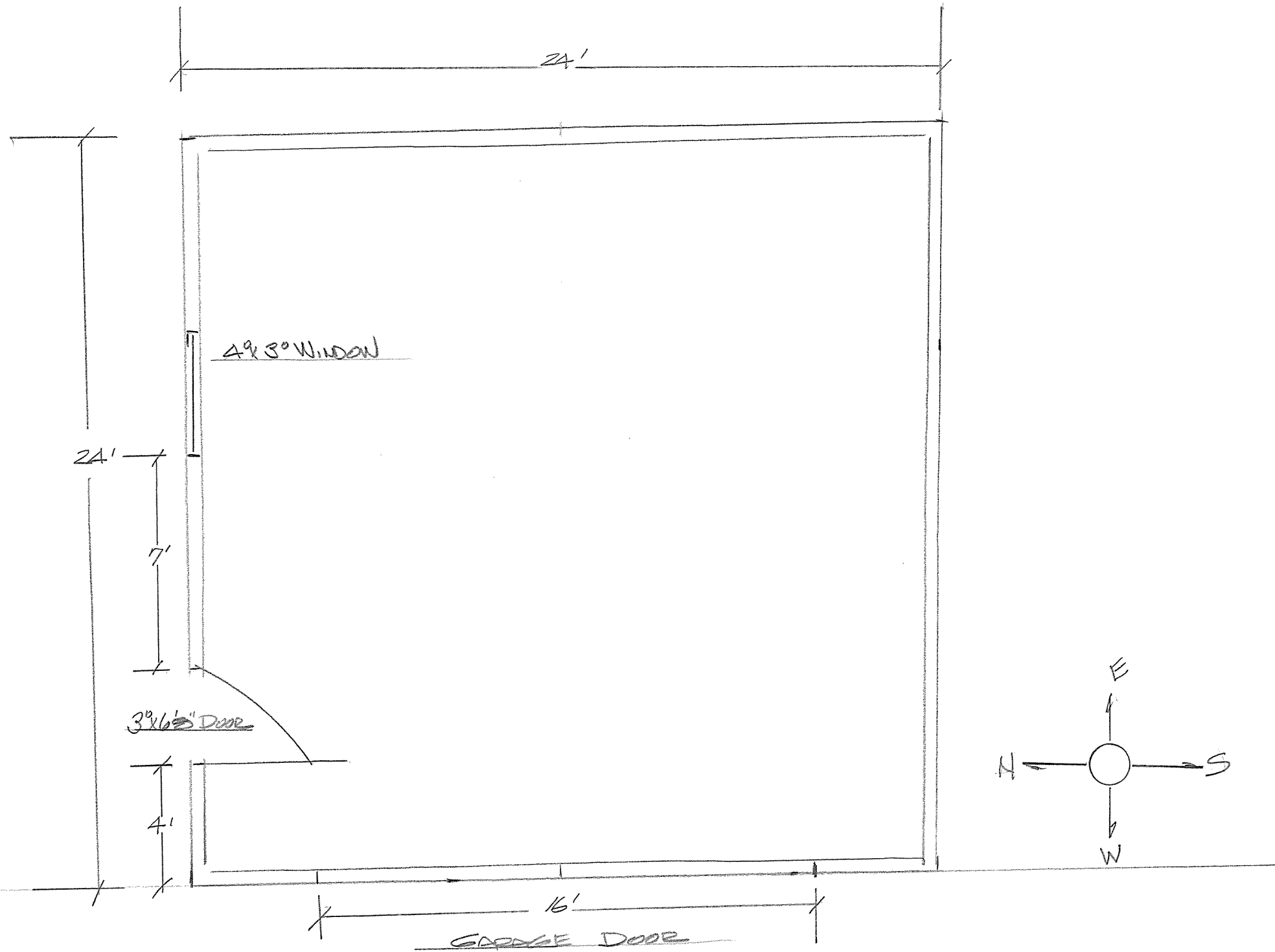
(1-21)

PARCEL # 08572121

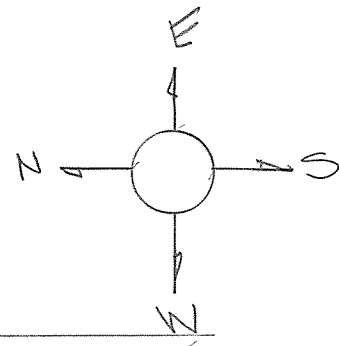
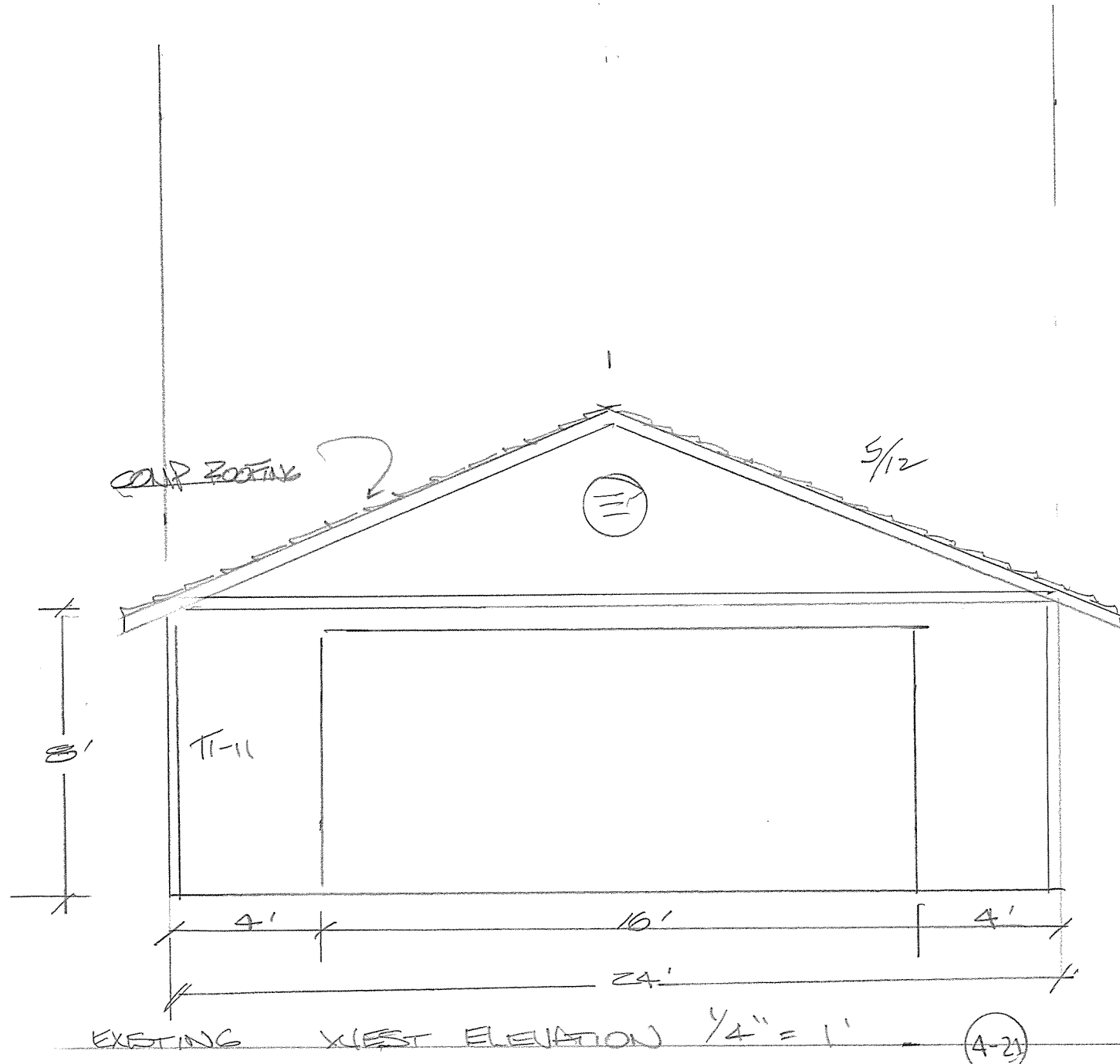
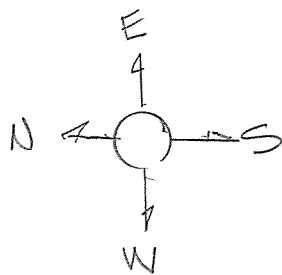


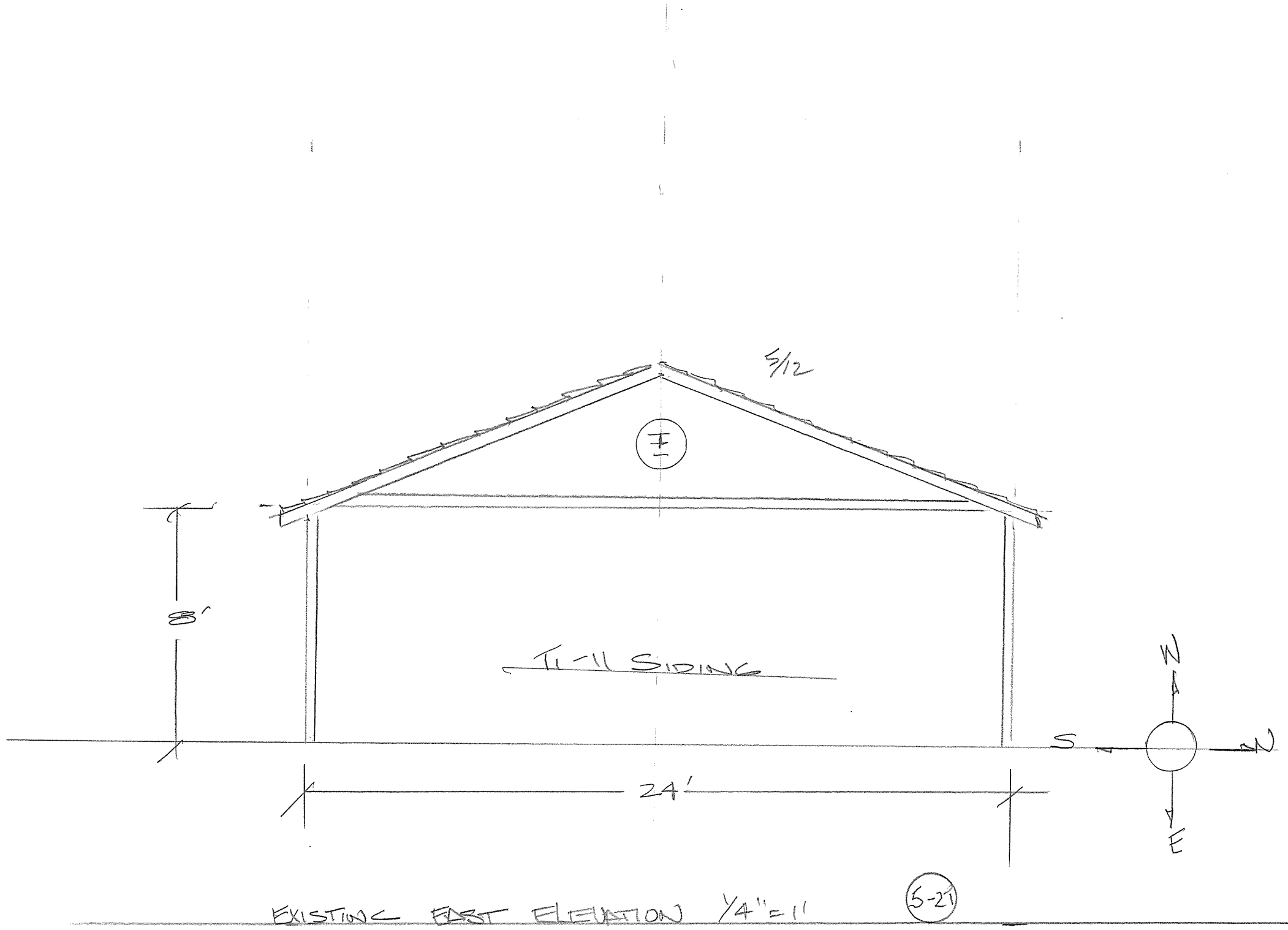
EXISTING FOUNDATION - 1/4" = 1"

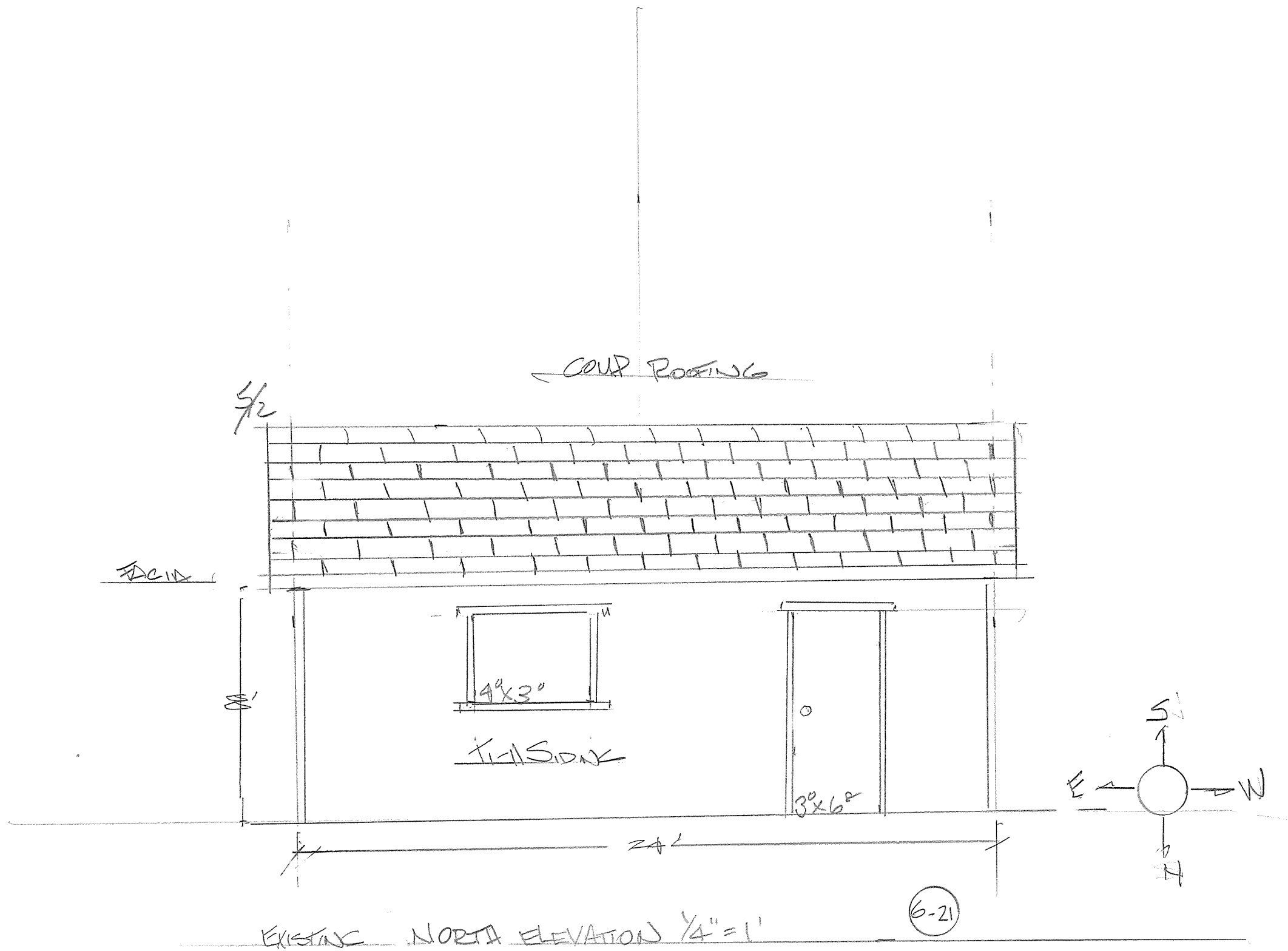
DETAIL SHOWING TYPICAL FRAME



EXISTING FLOOR PLAN 1/4" = 1'

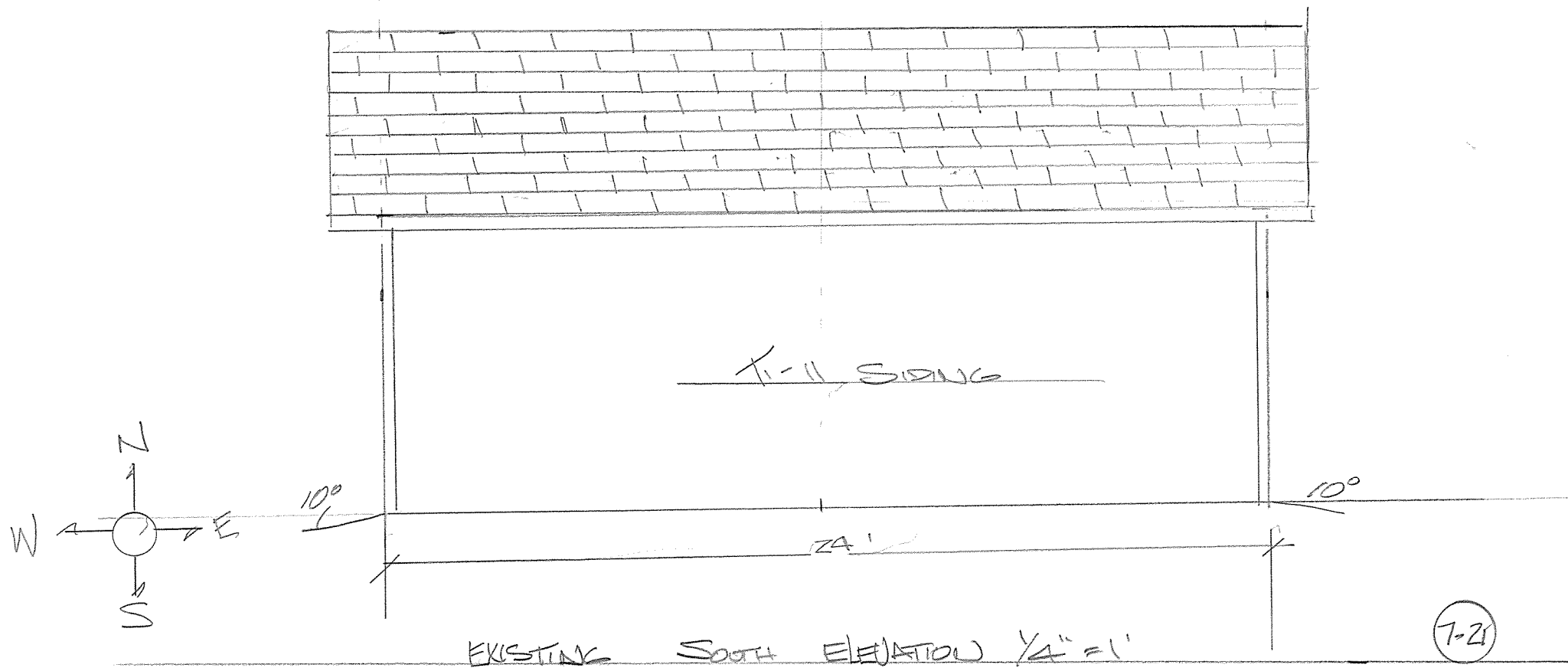




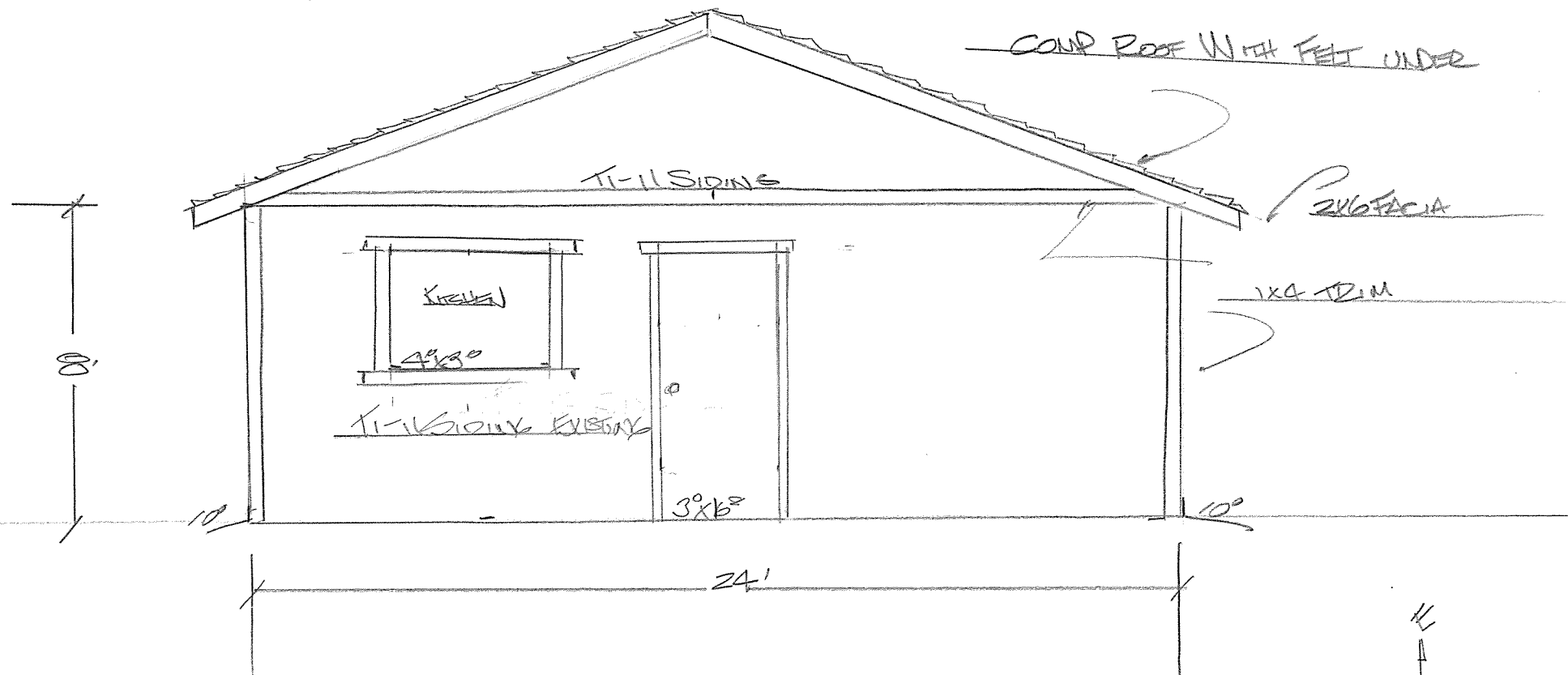


EXISTING NORTH ELEVATION 1/4" = 1'

(6-21)

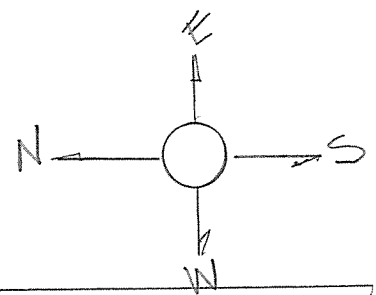


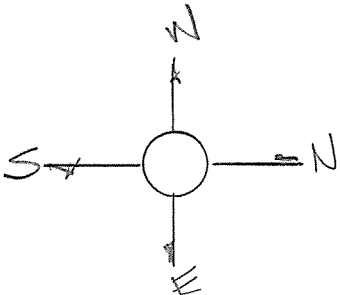
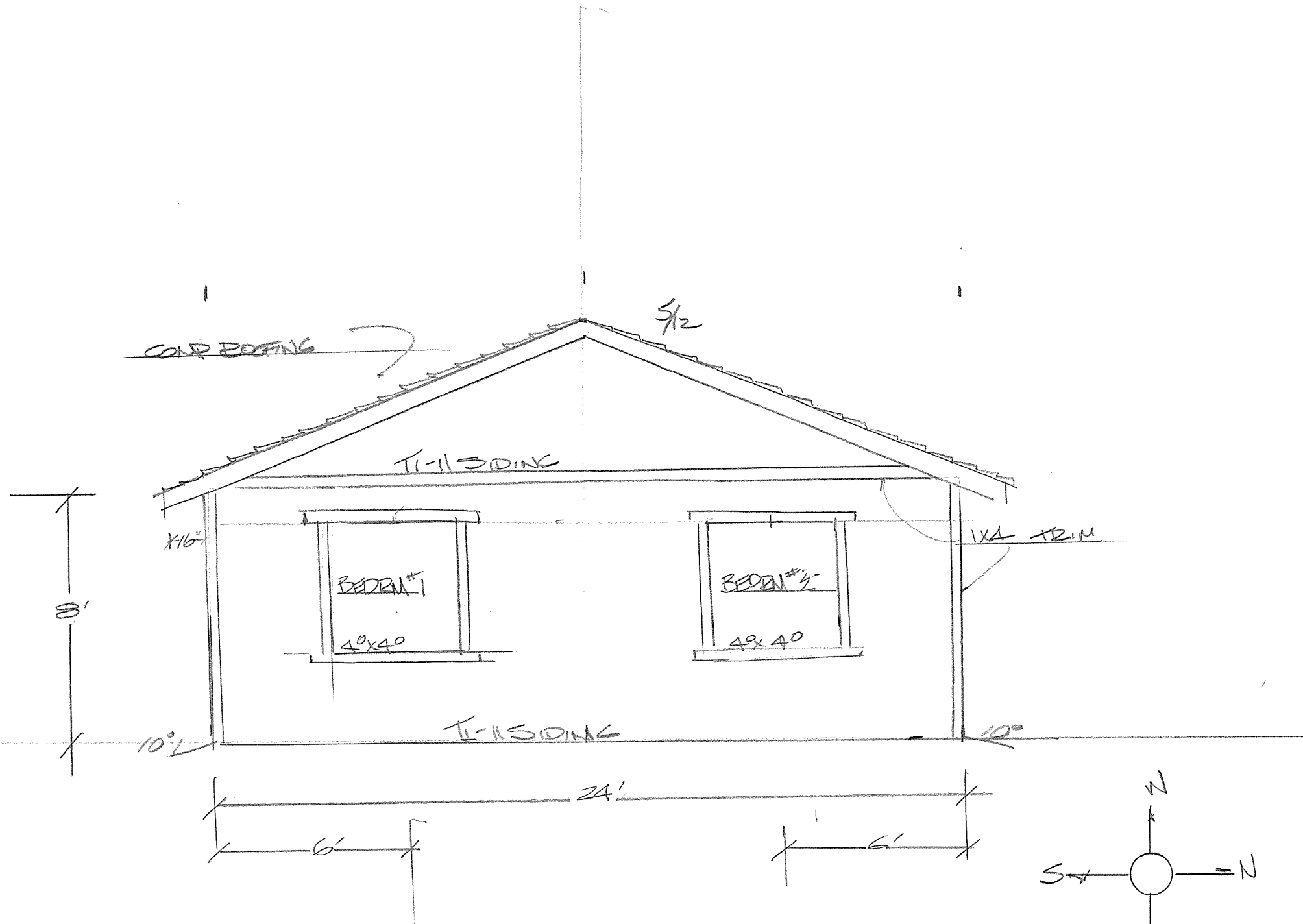
5/2



NEW WEST ELEVATION 1/4" = 1'

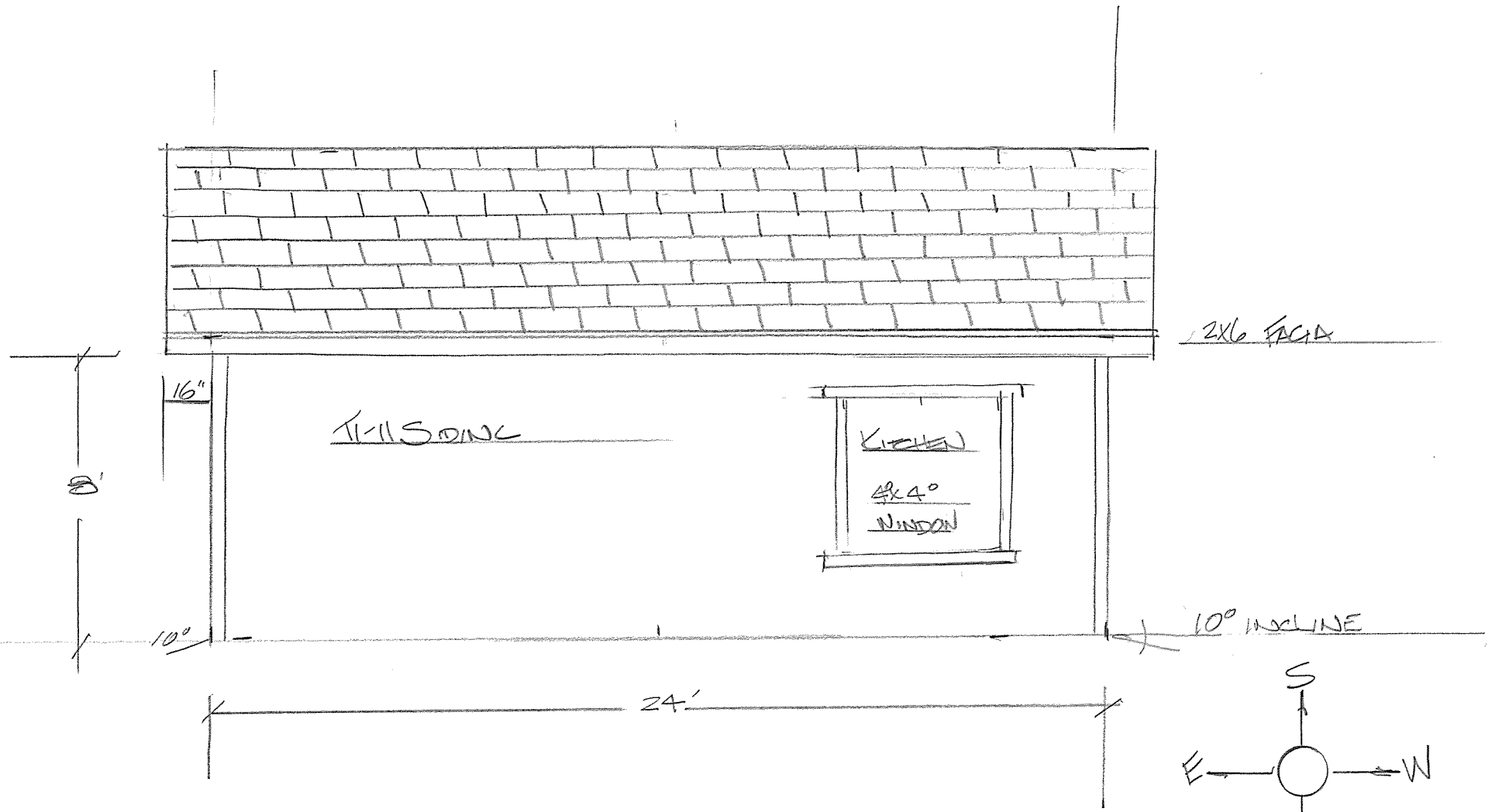
8-21





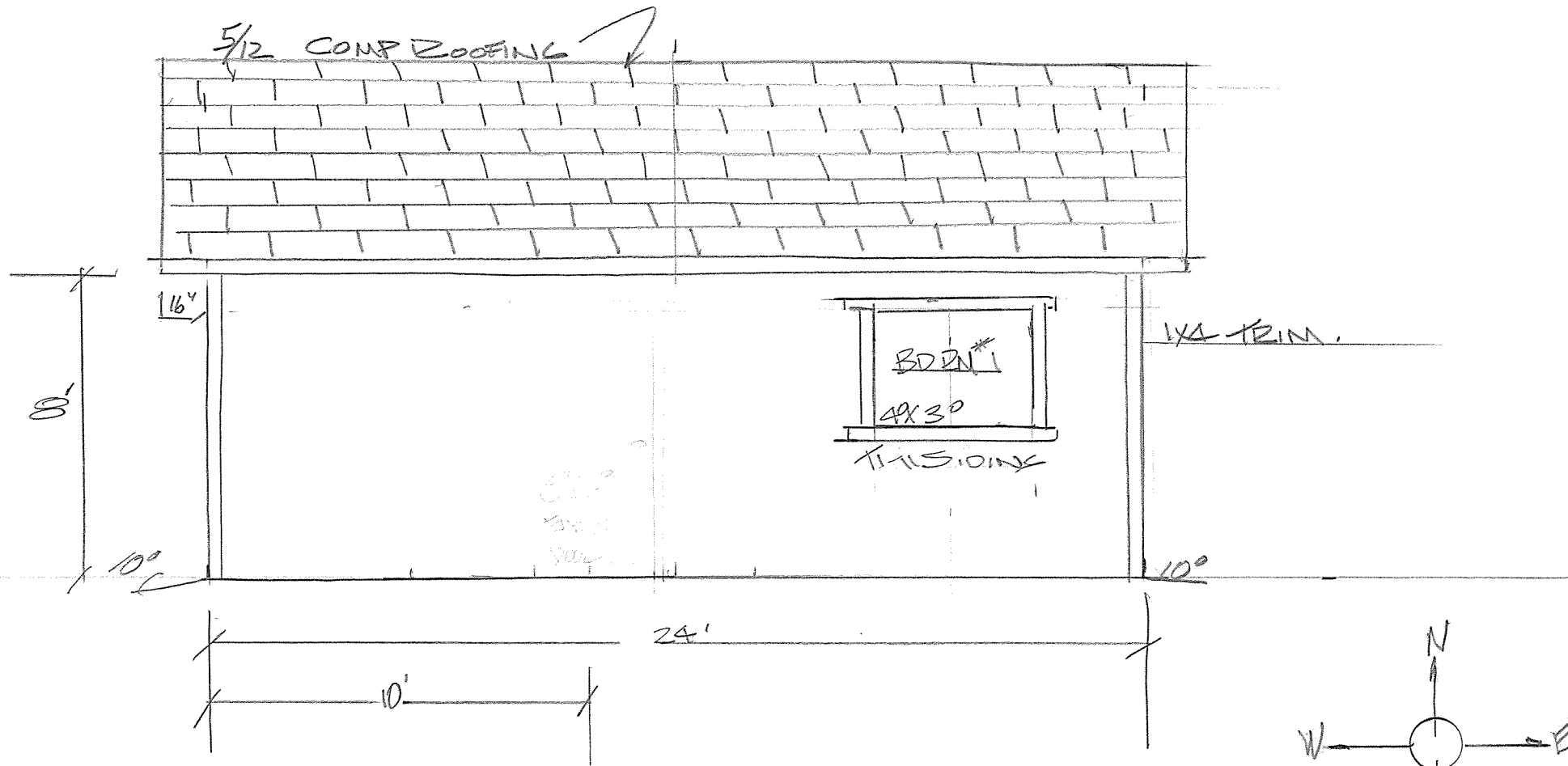
NEW EAST ELEVATION 1/4" = 1'

9-21

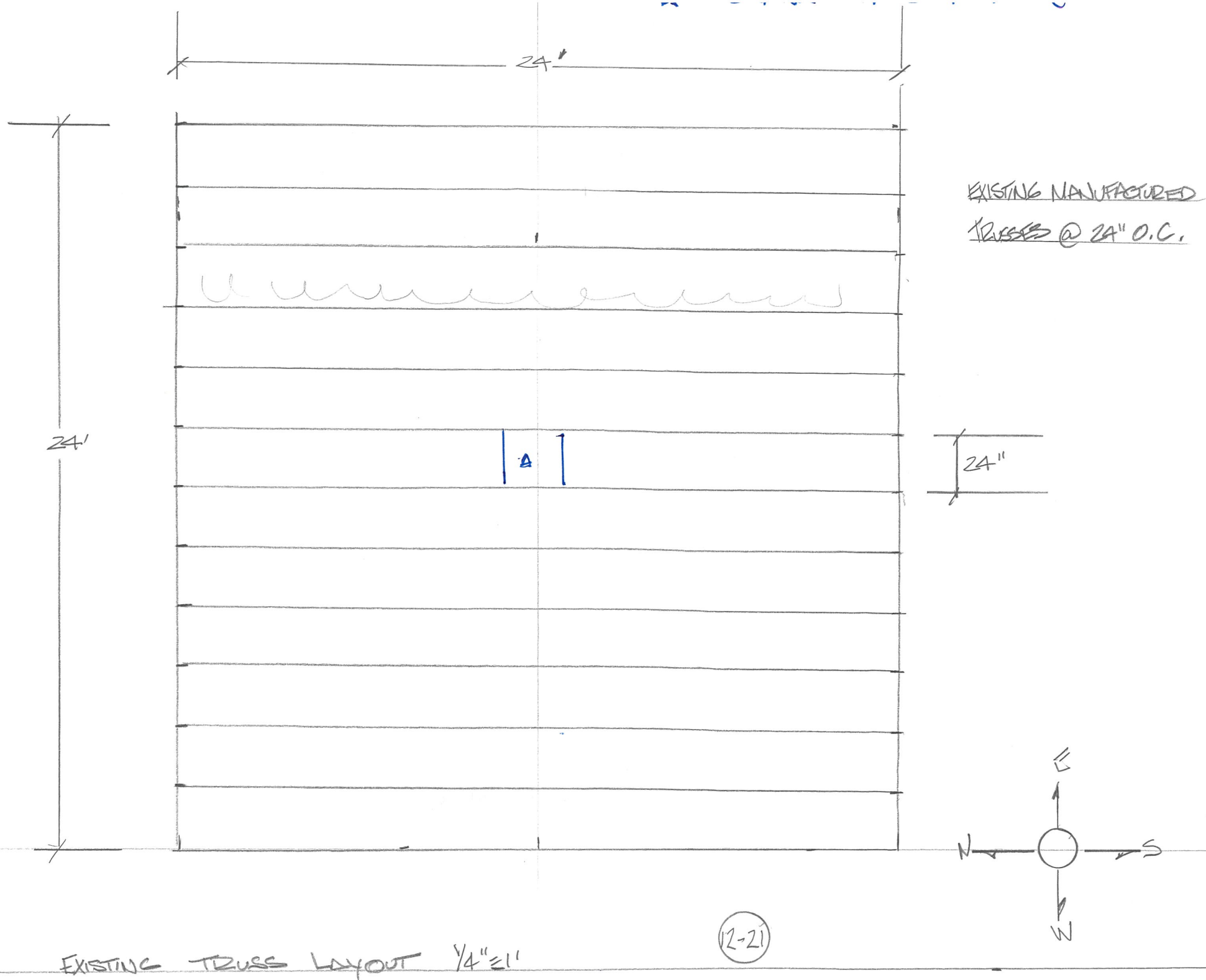


NEW NORTH ELEVATION 1/4" = 1"

10-21



NEW SOUTH ELEVATION 1/4" = 1'



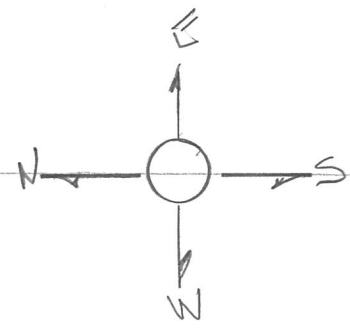
EXISTING MANUFACTURED
TRUSSES @ 24" O.C.

24'

24'

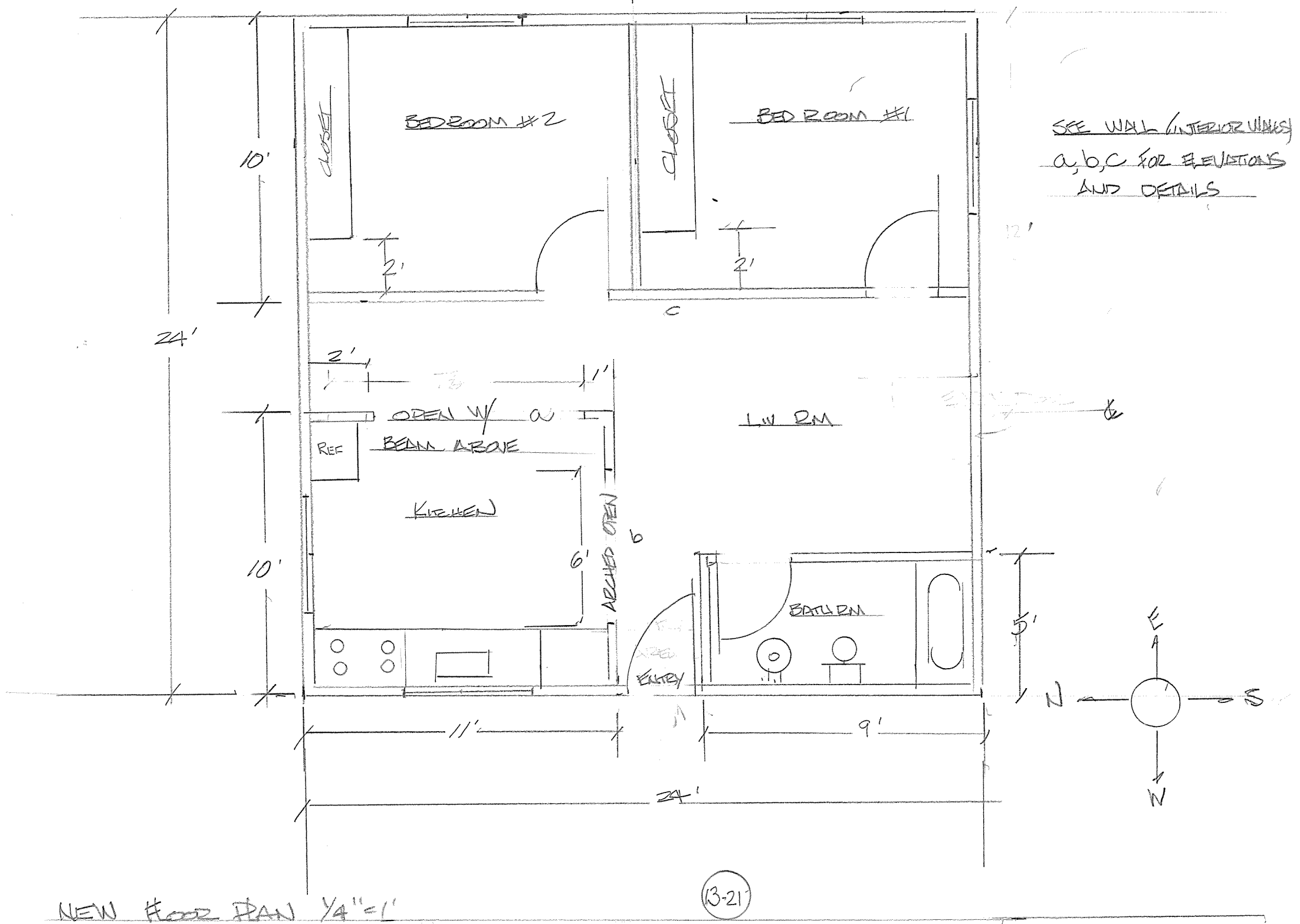
24"

A A



(2-2)

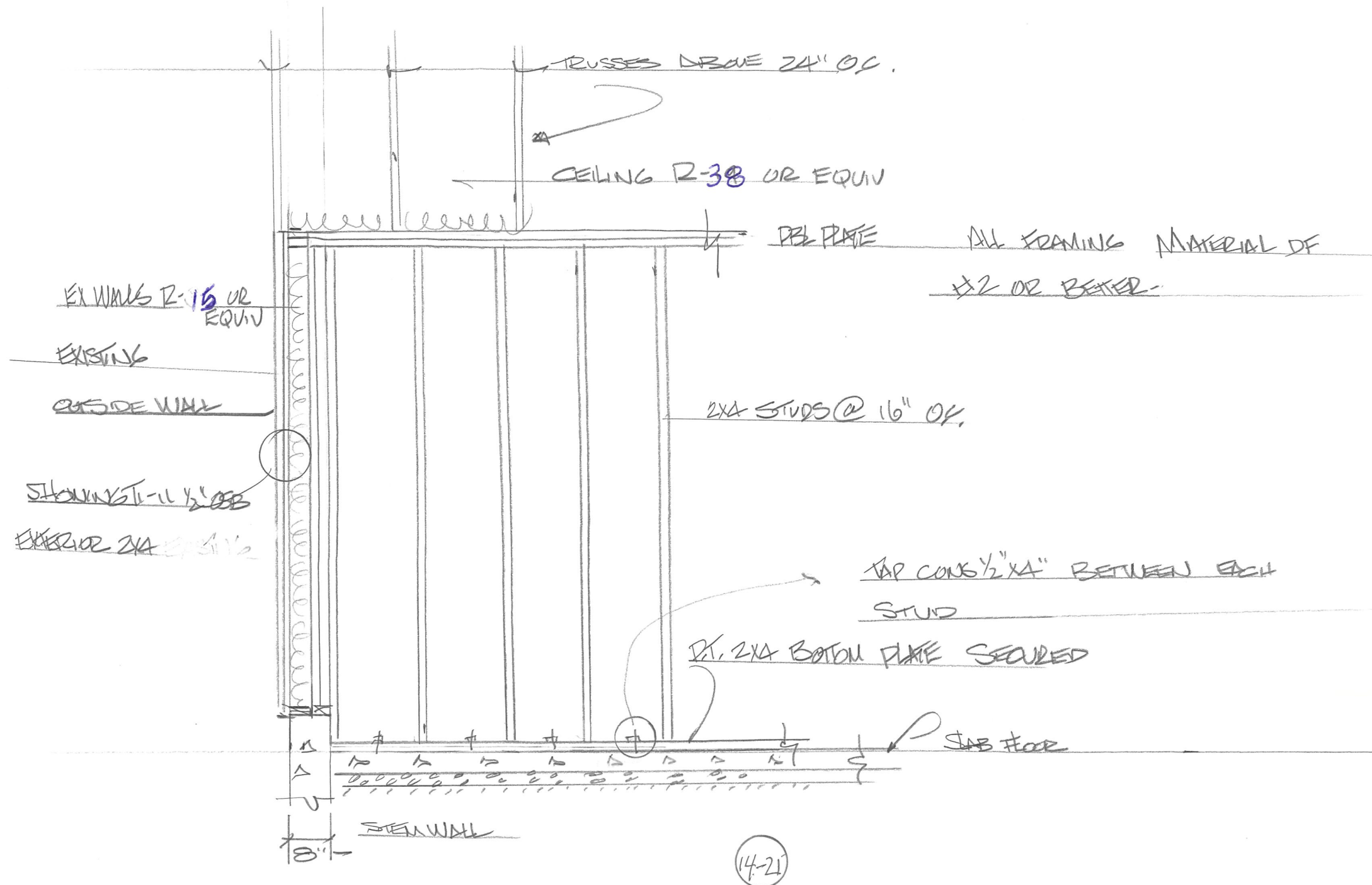
EXISTING TRUSS LAYOUT 1/4" = 1'



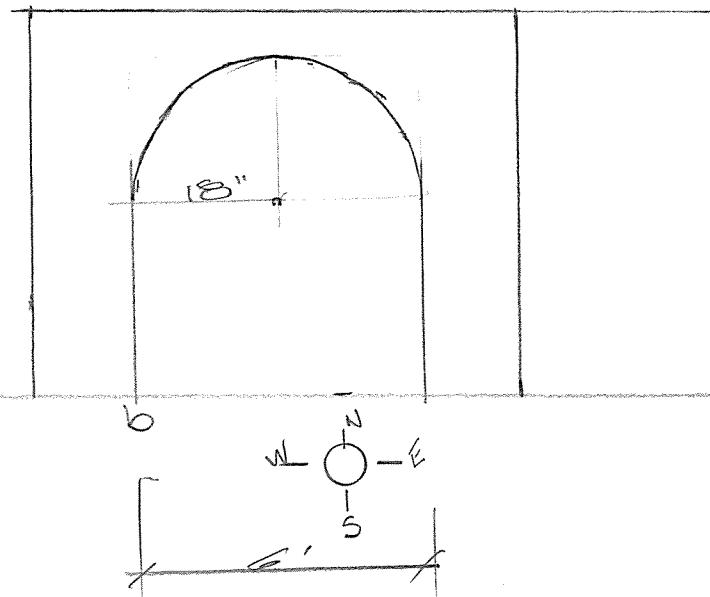
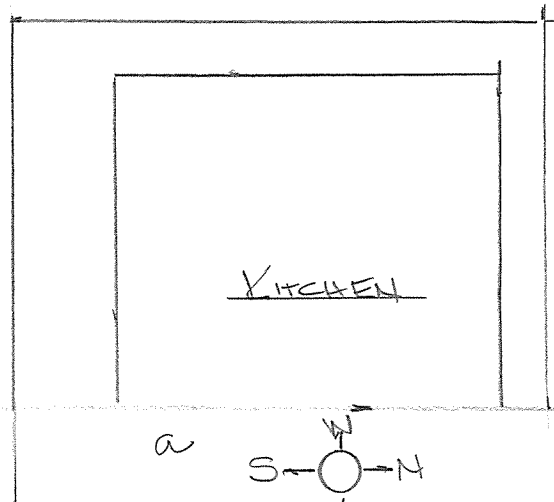
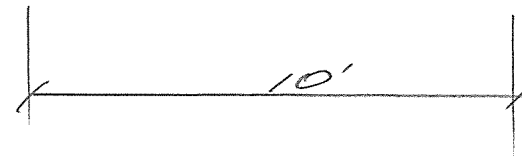
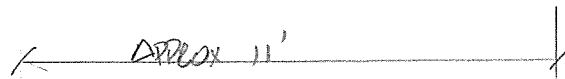
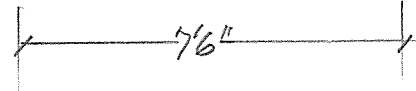
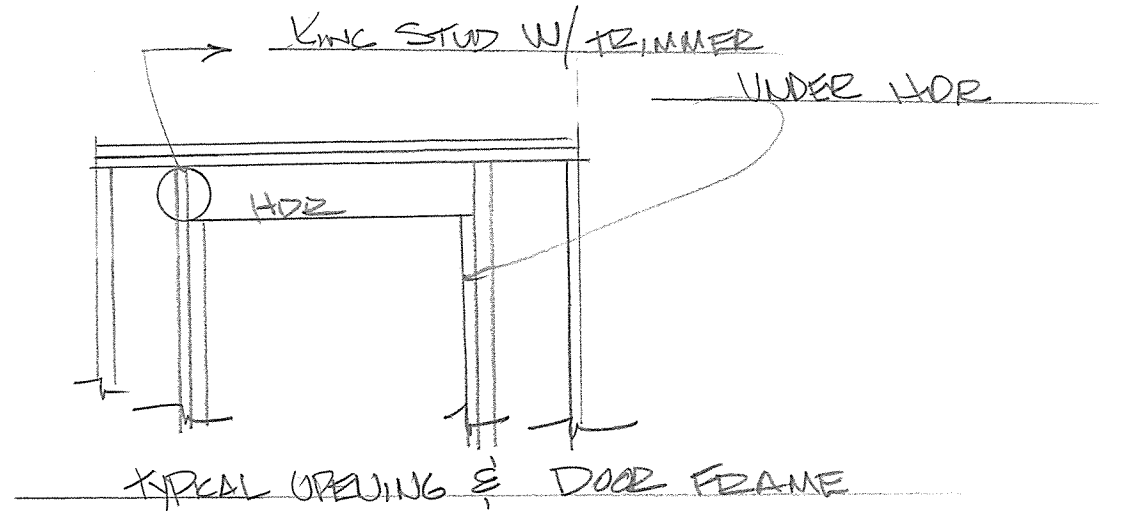
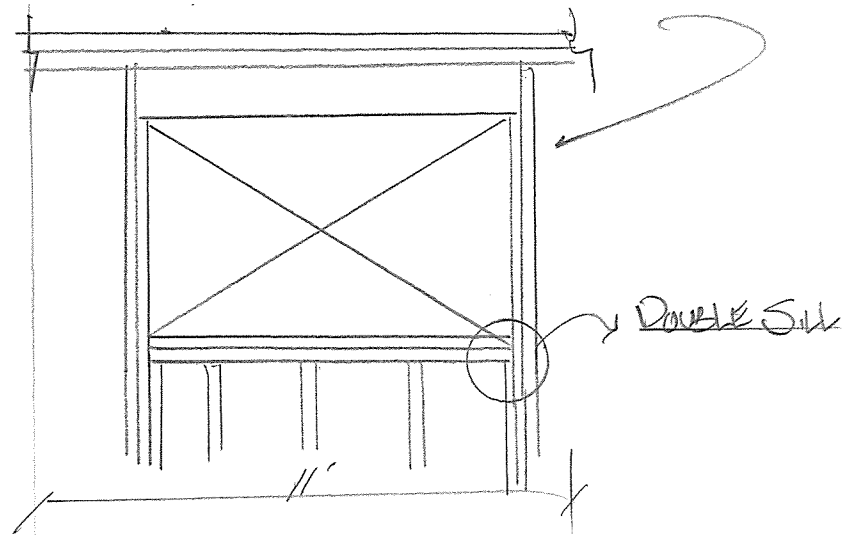
SEE WALL INTERIOR VIEWS
 a, b, c FOR ELEVATIONS
 AND DETAILS

NEW FLOOR PLAN 1/4" = 1'

(B-21)

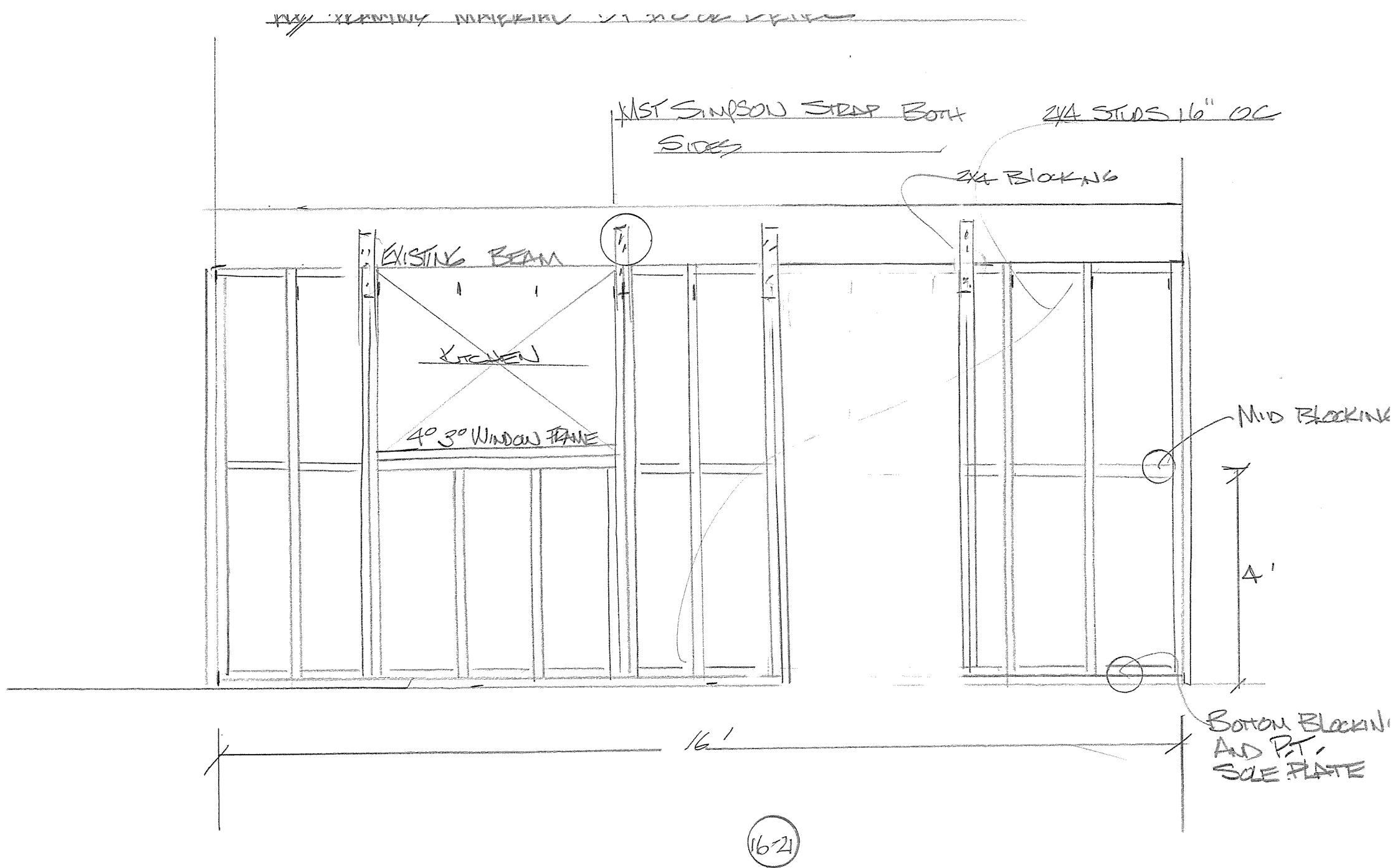


FRAMING DETAILS 1/2" = 1' a & b CONNECTING BEDROOM, BATHRM, & KITCHEN WALLS

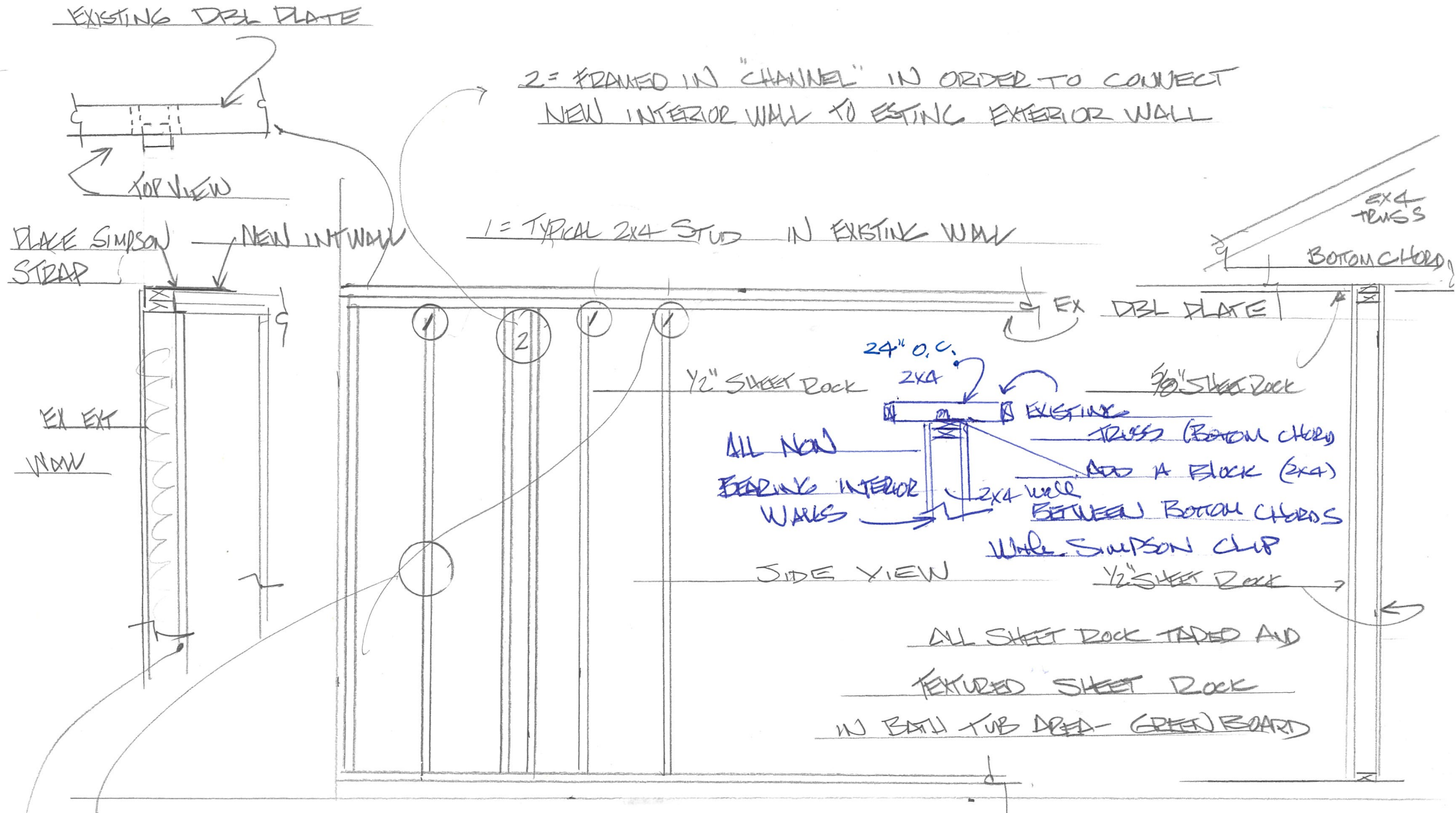


(15-24)

ELEVATION OF WALLS a & b - 1/4" = 1'



FRAMING DETAIL SHOWING FITTED IN GARAGE DOOR OPENING 1/2" = 1'
WEST WALL



→ EXISTING EXTERIOR WALLS SHALL BE COVERED WITH TYVEK AND TYVEK COVERED WITH 1/2" SHEET ROCK

(7-21)

TYPICAL WALL FRAME DETAIL 1/2" = 1' SHOWING CONNECTION TO EXT. WALLS

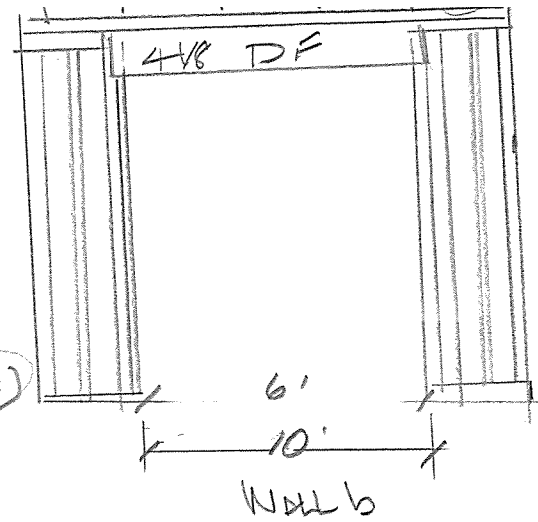
12A

$$\Delta = \frac{(5)(12)^3 \times (372.5)}{(384)(1,600,000)(123)} = 0.01''$$

PSI: $FV < 95$ GOOD

$$\Delta = \frac{(5)(12)^3 \times (372.5)}{(384)(1,600,000)(123)} = 0.01''$$

PSI: $FV < 95$ GOOD



WINDOW IS A LUMBERING WINDOW
IT ALSO BEARS THE 30 PSF ATTIC LOAD
OUTSIDE WALLS ALSO CARRY IN END
CONSIDER IT CARRYING 1/2 OF MONETARY
LOAD =

$$W = 30 \times 6 = 180$$

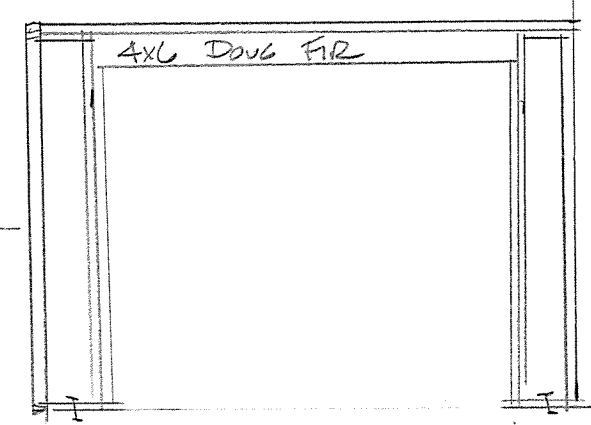
$$N = 2235 \div 6 = 372.5$$

$$M = (372.5) \times (36) \div 8 \times 12 = 17,685 \text{ LB}'$$

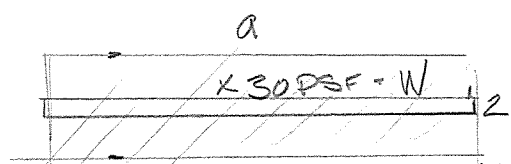
$$S \text{ FOR } 4 \times 6 = \frac{17,685}{32.8125} = 539 \text{ PSI}$$

$F_b < 95$ GOOD

TRUSSES ARE @ 2' O.C
CONSIDER ATTIC LOAD @ 30 PSF



EXT WALL
← NORTH



W = 540 CILL < 600 V = 300

$$600 \div 9 = W = 67 \text{ PLF } M = W \times L^2 \div 8 \times 12 = 8100 \text{ LB}'$$

$$M = (3.5)(5.5)^2 \div 6 = 5 = 17.64$$

$$M/S = 8100 / 17.64 = 459 < 850 \text{ PSI}$$

$F_b < 95$ GOOD

$$\Delta = \frac{(5)(67)(108)^3}{(384)(1,600,000)(48.52)} = 0.014''$$

$$I = (3.5)(5.5)^3 \div 12 = 48.52$$

$$\frac{422,003,520}{29,814,400,000} = 0.014''$$

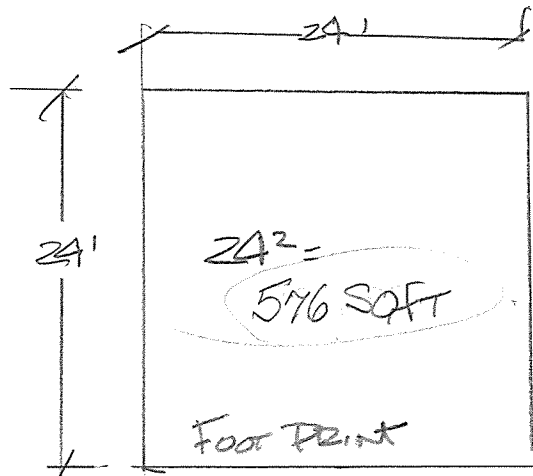
$108 \div 360 = 0.3$ Allowable
 $0.014 < 0.3$
GOOD

WALL a IS NON BEARING
EXCEPT FOR ATTIC LOAD

SIZING OUT HEADERS FOR WALLS a & b

(18-2)

ALL CALCULATIONS USING AMERICAN WOOD COUNCIL BEAM FORMULAS



TOTAL DL & ROOF LOAD = (576) x (46) = 26,496 #

TRANSFERRED TO EX WALLS = 26,496 ÷ (24 x 4) = PLF = 276 PLF

LOWEST HEADER = 4' $\frac{11111}{W} = 4 \times 276 = 1104 = W + 60 =$

$1104 \div 4 = w = 291$ $M = (291)(16) \times 12 = 6084 \text{ LBS}$

~~TRY 4x6 HDR = S = (3.5)(5.5) = 17.64~~ $\frac{6084}{17.64} = 345 < 850$ PSI FLOOR

4x6 DF GOOD FOR EXT WALL HEADERS

$FV = \frac{3V}{24} = V = \frac{(1164) \times 3}{2} = \frac{1746}{(7)(55)} = 38.5 = 45 < 95$ PSI FLOOR GOOD

$\Delta = \frac{(5)(291)(48'')^3}{(384)(1,600,000)} \frac{I}{48.52} \frac{(3.5)(5.5)^3}{12} = \frac{160,911,360}{29,810,1688,000} = 0.005''$

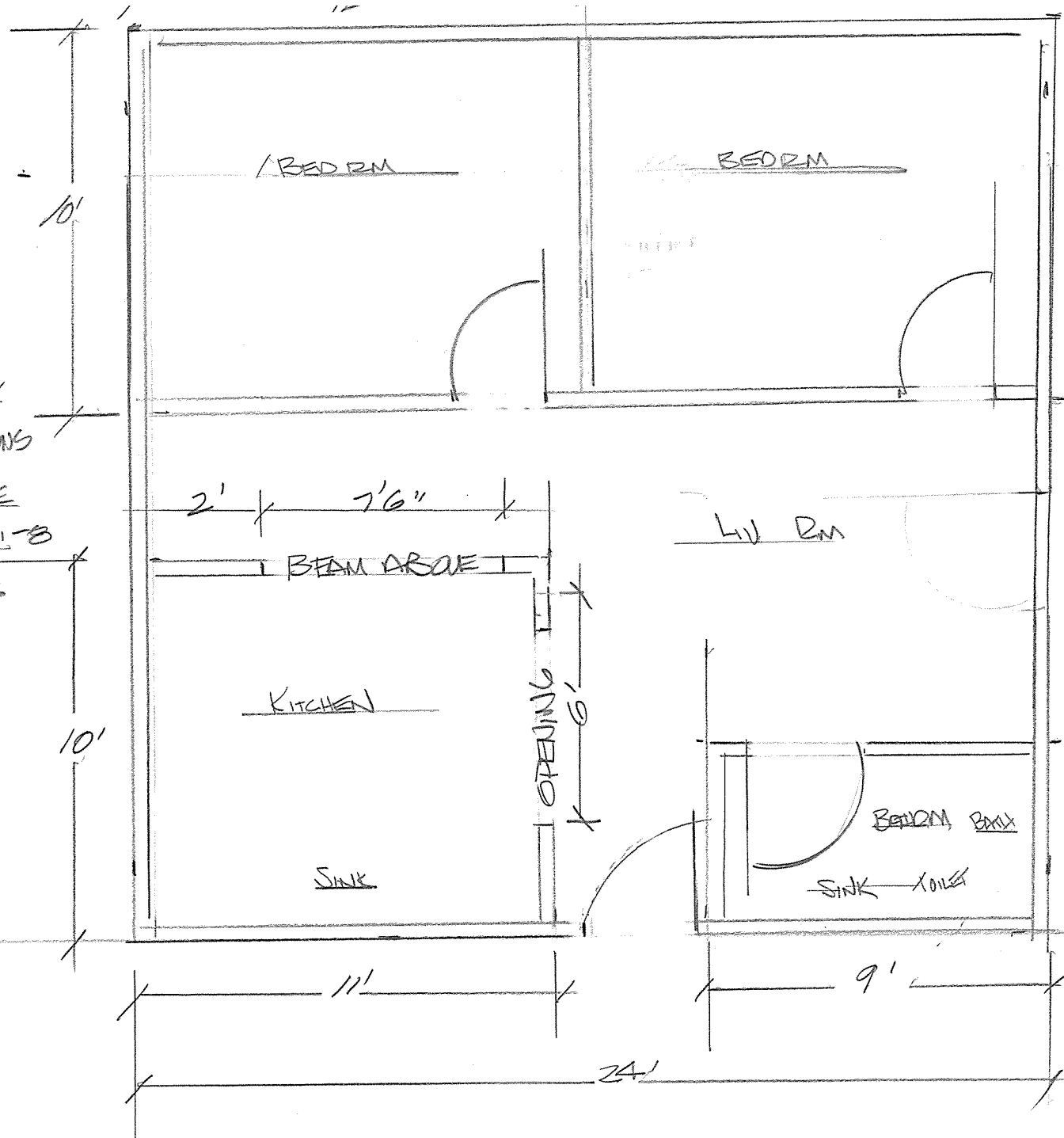
$\frac{48}{360} = 0.133 > 0.005''$
 > GOOD

CONCLUSION USE 4x6 HEADERS ON ALL EXT OPENINGS.

19-21

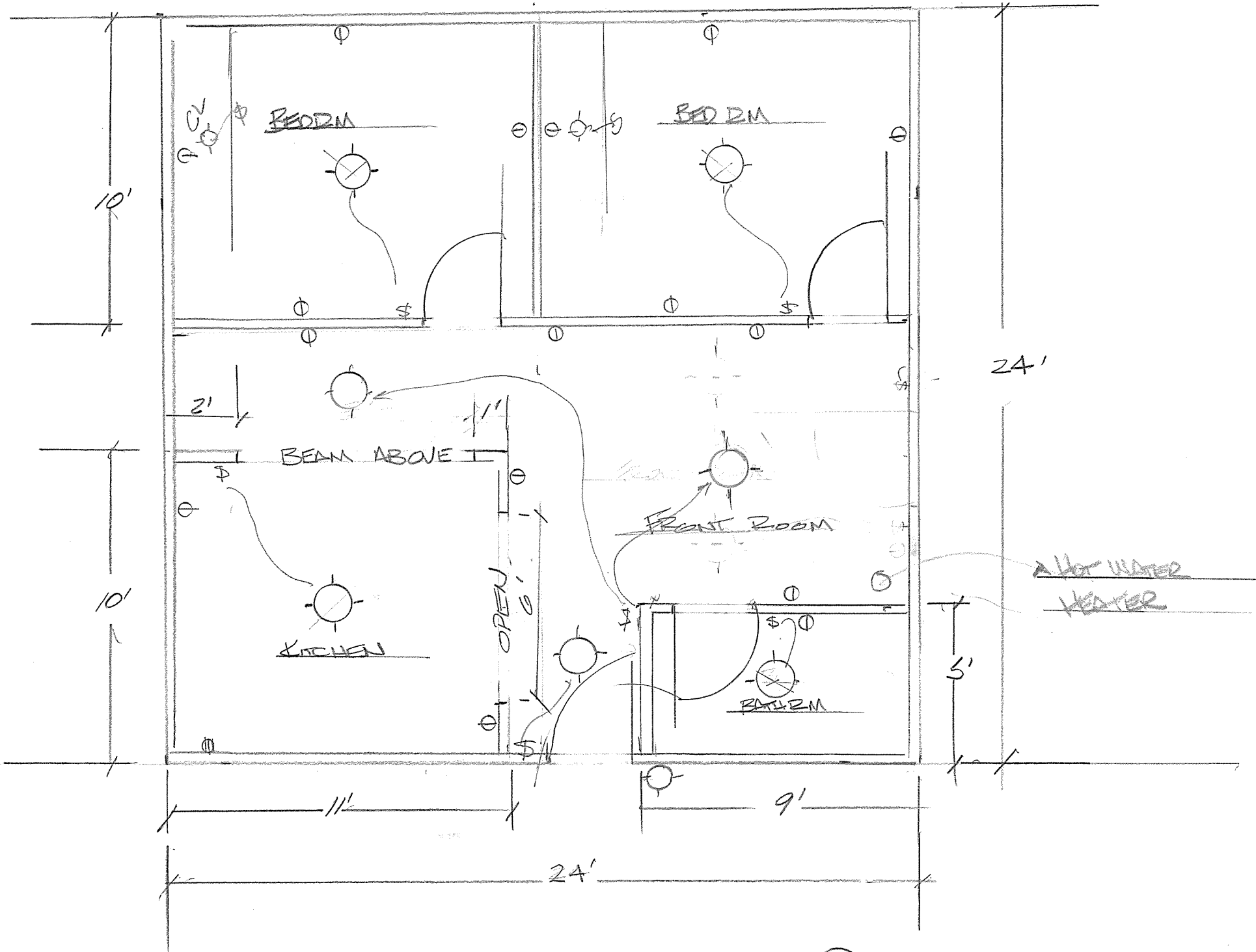
SIZING OUT HEADERS ON EXTERIOR WALLS.

IN BOTTOM DRAW
FIXTURE INSTALLATIONS
IN ACCORDANCE
WITH P2705.1.1-B
SEE ATTACHED PG



20-21

PLUMBING PLAN 1/4" = 1'



ELECTRICAL PLAN $\frac{1}{4}'' = 1'$

21-21

