

Administrative Review Permit for Detached Accessory Dwelling

Washoe County Code (WCC) Chapter 110, Section 110.306.25, Detached Accessory Dwelling Administrative Review, application is required to establish a detached accessory dwelling unit, with specific requirements for the regulatory zone where the dwelling unit will be located. The Director of the Planning and Building Division, or their designee, shall review the application request for compliance with the Development Code taking into consideration any testimony offered by affected property owners and the applicant. The Director, or their designee, may approve, approve with conditions, modify, modify with conditions, or deny the request. See WCC 110.306.25, for further information.

Development Application Submittal Requirements

Applications are accepted on the 8th of each month. If the 8th falls on a non-business day, applications will be accepted on the next business day.

If you are submitting your application online, you may do so at [OneNV.us](https://www.onenv.us)

1. **Fees:** See Master Fee Schedule. **Most payments can be made directly through the OneNV.us portal.** If you would like to pay by check, please make the check payable to Washoe County and bring your application and payment to the Community Services Department (CSD).
2. **Development Application:** A completed Washoe County Development Application form and all supplemental questions.
3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
5. **Application Materials:** The completed Administrative Review Permit for Detached Accessory Dwelling Application materials.
6. **Site Plan Specifications:**
 - a. Lot size with dimensions drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') showing all streets and ingress/egress to the property.
 - b. Show the location and configuration of all proposed buildings (with distances from the property lines and from each other), all existing buildings that will remain (with distances from the property lines and from each other), all existing buildings that will be removed, and site improvements on a base map with topography expressed in intervals of no more than five (5) feet IF there is a difference in elevation of the two dwellings of five (5) feet or more
 - c. Show the all required yard setbacks, location and configuration of wells and well house, septic systems and leach fields, overhead utilities, water and sewer lines, and all easements.
 - d. Date, north arrow, scale and number of each sheet in relation to the total number of sheets, and the name of person preparing the plans.
7. **Building Elevations:** Elevations of the main dwelling unit and the detached accessory dwelling, existing or proposed for construction, shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. All architectural elevations from all building faces shall be presented. Photographs of existing buildings (all sides) may be submitted in place of elevations of existing building.

8. **Floor Plans:** Floor plans to scale with all rooms and spaces labeled for both the main dwelling unit and the detached accessory dwelling.
9. **Submission Packets:** One (1) packet and a flash drive. Any digital documents need to have a resolution of 300 dpi. If materials are unreadable, you will be asked to provide a higher quality copy. The packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. Labeling on these reproductions should be no smaller than 8 point on the 8.5" x 11" display. Large format sheets should be included in a slide pocket(s). Any specialized reports identified above shall be included as attachments or appendices and be annotated as such.

Notes:

- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
- (ii) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies that clarify the potential impacts and potential conditions of development in order to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
- (iii) **Labels:** If the assigned planner determines the abandonment will affect the access to a mobile home park, the applicant will be required to submit a list of mailing addresses for every tenant residing in the mobile home park.
- (iv) Please be advised that the Washoe County Director of the Planning and Building Division or their designee has the ability to determine if the application is incomplete if it cannot be ascertained what the applicant is requesting, or if there is insufficient information to determine a favorable outcome.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Romero Accessory Dwelling			
Project Description: 729 S.F. Detached Accessory Dwelling at the rear of property			
Project Address: 530 Big Knob Dr. Reno, NV 89433			
Project Area (acres or square feet): 0.340 Acre Parcel, Main Residence = 1620 SF, Detached Accessory Dwelling = 729 SF			
Project Location (with point of reference to major cross streets AND area locator): 530 Big Knob Dr. Reno, NV 89433			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
085-182-14	0,340		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Jose Romero		Name: Lumber, Steel and Precast Engineering, LLC	
Address: 530 Big Knob Dr		Address: 3100 Mill St. Suite 112C	
Reno, NV	Zip: 89433	Reno, NV	Zip: 89502
Phone: 775-338-5928	Fax:	Phone: 775-378-7904	Fax:
Email: joseluisromero1979@yahoo.com		Email: steven.lspe@gmail.com	
Cell: 775-338-5928	Other:	Cell: 775-378-7904	Other:
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

1620 S.F. Main Dwelling

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

729 S.F.

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

Owner to match exterior finish materials as desired

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

10+, no new roadway or driveway required.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

Clear away dry brush and provide adequate drainage swales to remove any excess water build up

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Municipal	Municipal
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	Truckee Meadows Water Authority	Truckee Meadows Water Authority

Romero Accessory Dwelling

Lumber, Steel, and
Precast Engineering LLC
 NV BUS. LIC. # NV2022232466
 NV PROJ. # 240003000 Mill
 STEVEN J. SHELDROP
 P.E. # 29866
 RENO, NV 89502



12/8/2023
 Steven J. Sheldrop
 Principal Engineer
 NV License #029666

CONSTRUCTION
DOCUMENTS

Romero ADU
 530 Big Knob Dr.
 Reno, NV 89433
 A.P.N.: 085-182-14

REVISIONS

Drawn SJS
 Checked SJS

Date 12/08/2023

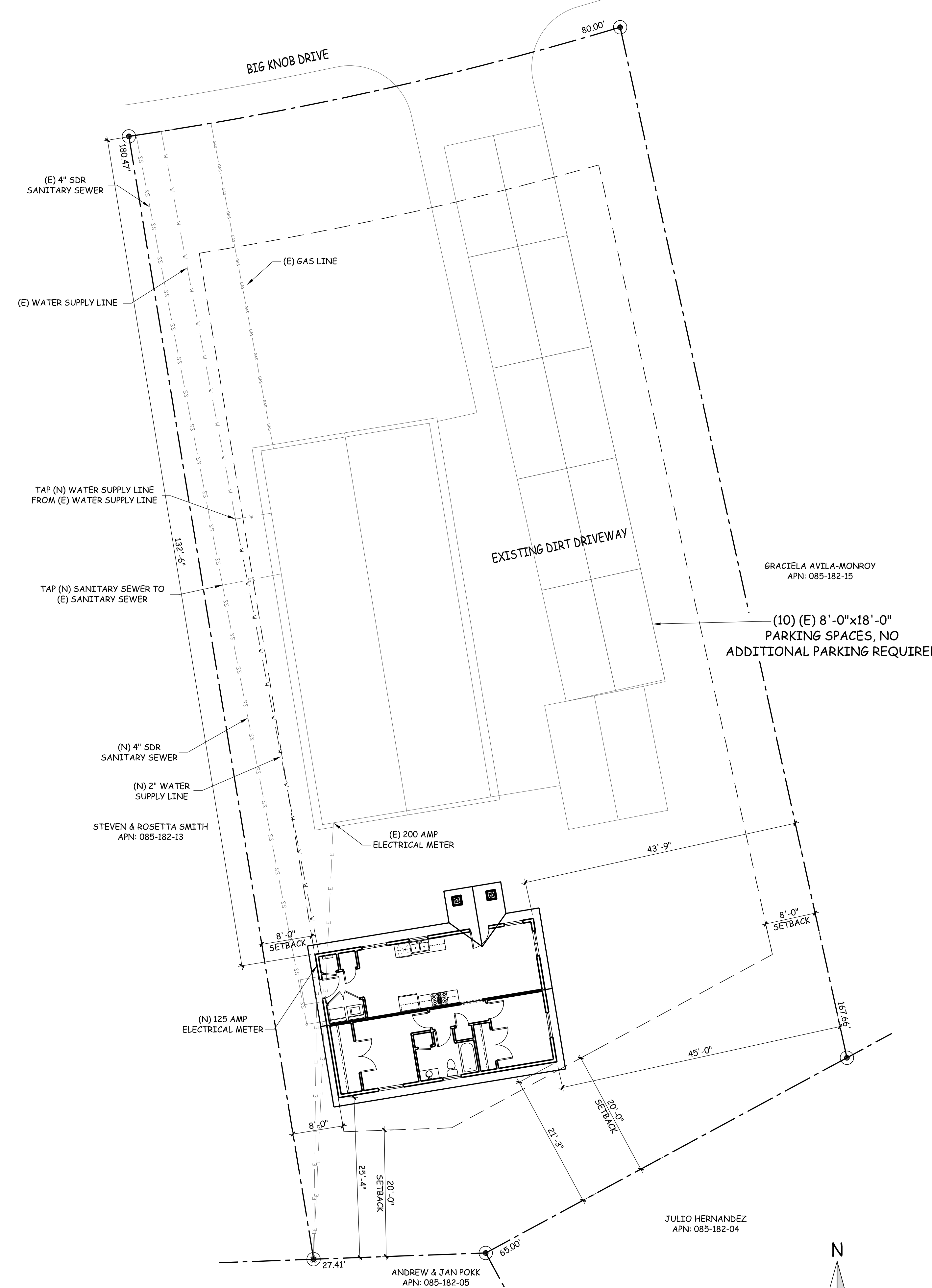
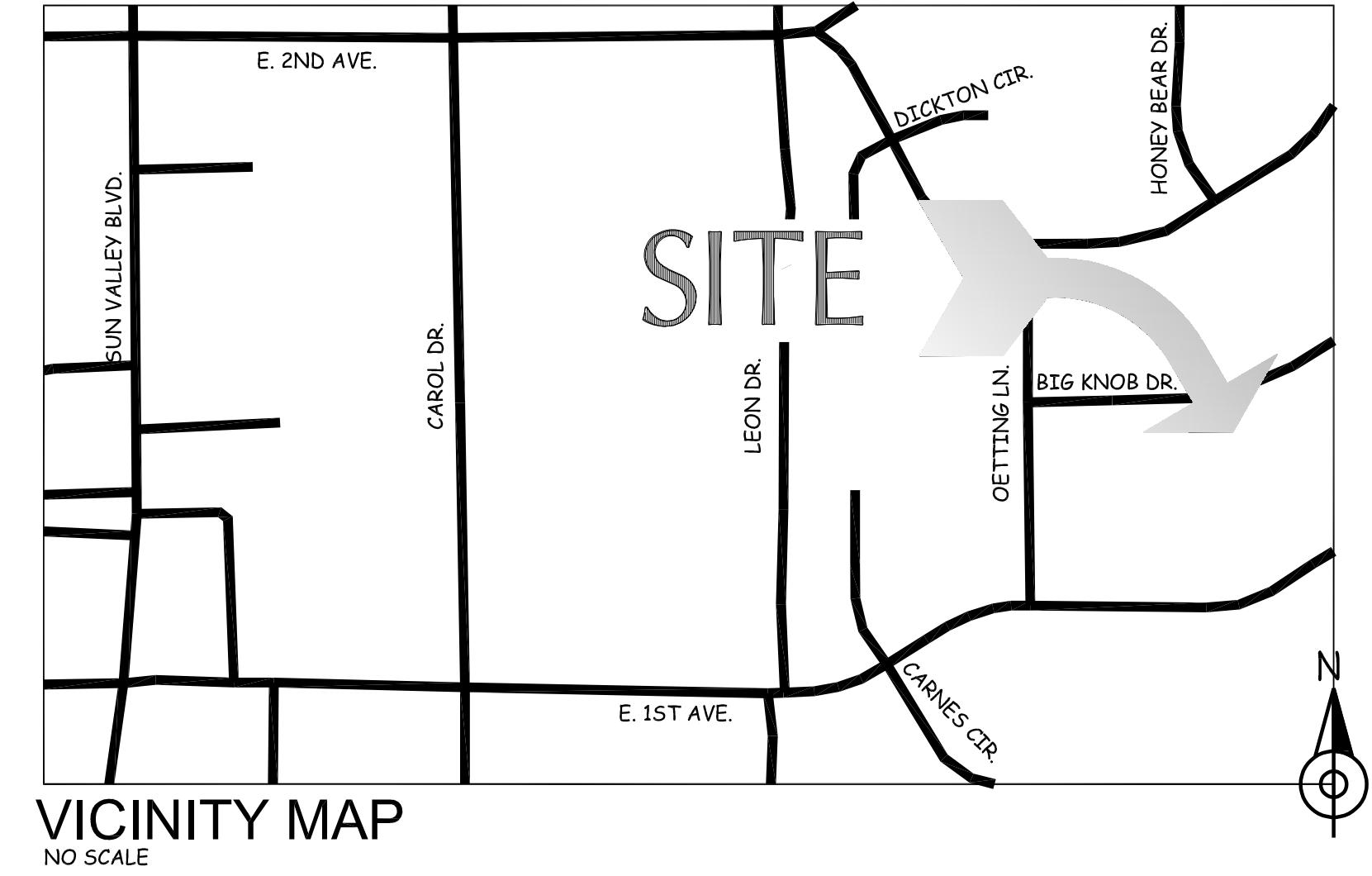
Job Number 23031

Drawing Title

Cover Sheet

Sheet Number

A-0



GENERAL SITE NOTES

- ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATIONAL BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITIONS).
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING GRADES, UTILITIES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER OF ANY DISCREPANCIES.
- SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
- MAINTAIN EXISTING DRAINAGE WITH 5% (2% MIN.) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF 10' AND DRAINAGE SWALE 2'-6" MIN. IN FROM PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY. MINIMUM SLOPE OF DRAINAGE SWALE SHALL BE 1%.

DRAWING INDEX

- A-0 COVER SHEET/SITE PLAN
- A-1 PROPOSED FLOOR PLAN
- A-2 ROOF PLAN
- A-3 ELEVATIONS
- A-4 SECTION & DETAILS/ELECTRICAL PLAN
- S-1 FOUNDATION & FLOOR FRAMING PLAN
- S-2 SHEARWALL PLAN
- S-3 ROOF FRAMING PLAN
- SD-1 STRUCTURAL NOTES & SCHEDULES
- SD-2 STRUCTURAL DETAILS
- SD-3 STRUCTURAL DETAILS
- SD-4 STRUCTURAL DETAILS

DIRECTORY

OWNER
 JOSE ROMERO
 530 BIG KNOB DR.
 RENO, NV 89433

ENGINEER
 STEVEN SHELDROP PE
 LSP ENGINEERING
 3100 MILL ST, STE 112C
 RENO, NV 89502
 P: (775) 378-7904
 WWW.LSPENGINEERING.COM

SCOPE OF WORK

+/- 729 S.F. ACCESSORY DWELLING AT THE REAR PORTION OF THE 0.216 ACRE LOT

PROJECT GENERAL INFORMATION

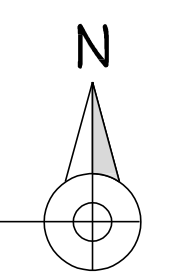
LOT AREA: 0.340 ACRES
ADDRESS: 530 BIG KNOB DR.
 RENO, NV 89433
A.P.N.: 085-182-14
BUILDING OWNER: JOSE ROMERO
 530 BIG KNOB DR.
 RENO, NV 89433
ZONING: MDS
W.U.I.: N/A
FLOOD ZONE: X
BUILDING HEIGHT: 16'-1 1/2"
BUILDING STORIES: 1
(N) LIVING S.F.: +/- 729 S.F.

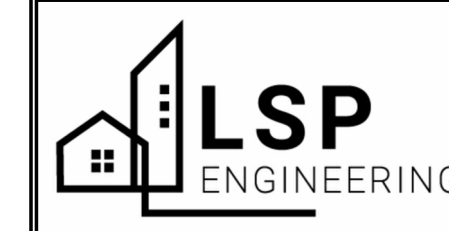
BUILDING DESIGN CODES

- 2018 INTERNATIONAL BUILDING CODE - "IBC"
- 2018 INTERNATIONAL RESIDENTIAL CODE - "IRC"
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE - "IECC"
- 2018 NORTHERN NEVADA CODE AMENDMENTS BY THE NNCICC

ALL OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT

SITE PLAN
 SCALE 1" = 10'-0"





Steven J. Sheldrup
Principal Engineer
NV License #029666

CONSTRUCTION DOCUMENTS

Romero ADU
530 Big Knob Dr.
Reno, NV 89433
A.P.N.: 085-182-14

REVISIONS

Drawn SJS
Checked SJS

Date 12/08/2023

Job Number 23031

Drawing Title
Proposed Floor Plan

Sheet Number
A-1

KEYNOTES:

- 1 SINK WITH GARBAGE DISPOSAL
- 2 DISHWASHER
- 3 REFRIGERATOR
- 4 COOKTOP WITH OVEN & 100 CFM KITCHEN HOOD ABV.
- 5 COUNTERTOP AT + 36" A.F.F. WITH CABINETS BELOW
- 6 LINE OF CABINETS ABOVE
- 7 PANTRY CABINETS, STYLE, COLOR AND HARDWARE PER OWNER.
- 8 SHELF AND POLE
- 9 LAVATORY SINK
- 10 1.28 G.P.F. TOILET
- 11 TILE SHOWER WITH TEMPERED GLASS ENCLOSURE
- 12 "DENSISHIELD" TILE BACKER OR EQUAL, ALL WALLS. TILE SHALL BE FASTENED WITH CORROSION RESISTANT FASTENERS
- 13 POST - SEE STRUCTURAL
- 14 CONCRETE SLAB SLOPE TO DRAIN
- 15 WASHER & DRYER - VENT DRYER TO OUTSIDE AIR
- 16 ELECTRIC WATER HEATER, .82 EFFICIENCY OR BETTER W/ RE-CIRCULATION PUMP, SEISMIC STRAPS AND NON-RIGID CONNECTIONS
- 17 WINDOWS - 20 MIN. FIRE RATED, TEMPERED OR APPROVED ALTERNATE
- 18 EXTERIOR DOORS - WOOD, APPROVED NON-COMBUSTIBLE, IGNITION RESISTANT, 20 MIN. FIRE RATED OR APPROVED ALTERNATE

FLOOR PLAN NOTES

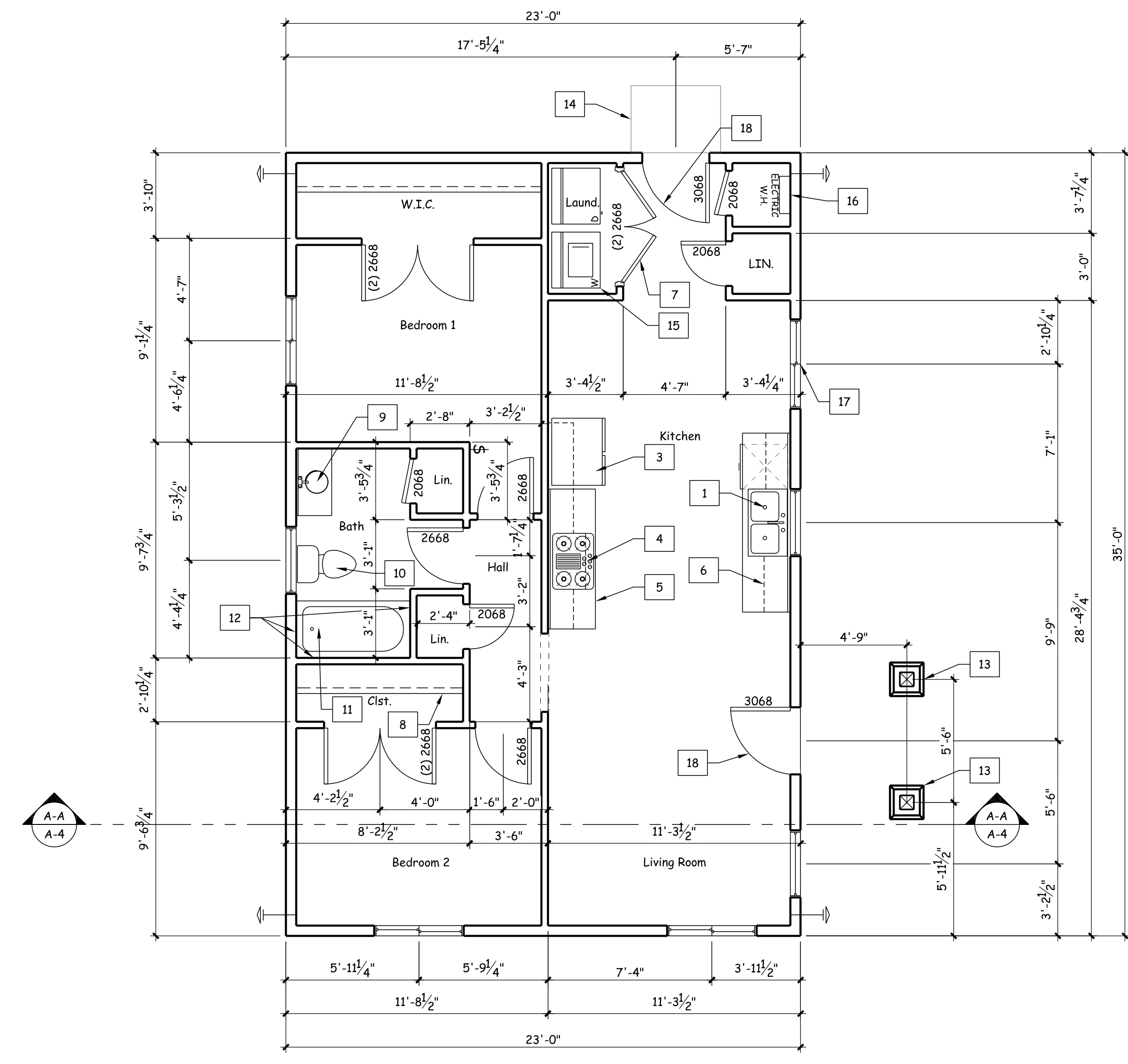
1. TYPICAL EXTERIOR WALL: SIDING O/ BLDG, PAPER O/ OSB SHEATHING O/ 2X4 DF#2 @ 16" O.C. TO MATCH (E) WALLS
2. INTERIOR WALLS: 2x4 STUDS @ 16" O.C. U.N.O.
3. ALL INTERIOR TRIM, WALL FINISHES, FLOORING FINISHES AND CABINETS FINISHES TO BE COORDINATED W/ AND APPROVED BY OWNER PRIOR TO ORDERING/INSTALL.
5. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R308.4.
6. ALL DOOR HARDWARE TO MATCH (E) OR OWNER APPROVED ALTERNATE.

FLOOR PLAN LEGEND

- (E) WALL
- (E) BEARING WALL
- (N) 2x6 EXTERIOR WALL: EXTERIOR CLADDING PER ELEVATIONS. INTERIOR CLADDING TO BE 1/2" GYP. BD.
- (N) 2x4 INTERIOR WALLS: 1/2" GYP. BD. E.S.
- (N) WINDOW - SIZE AND TYPE PER PLAN, INSTALL WINDOW FLASHING PER DETAIL 1 ON SHEET A-6
- (N) DOOR - SIZE AND TYPE PER PLAN

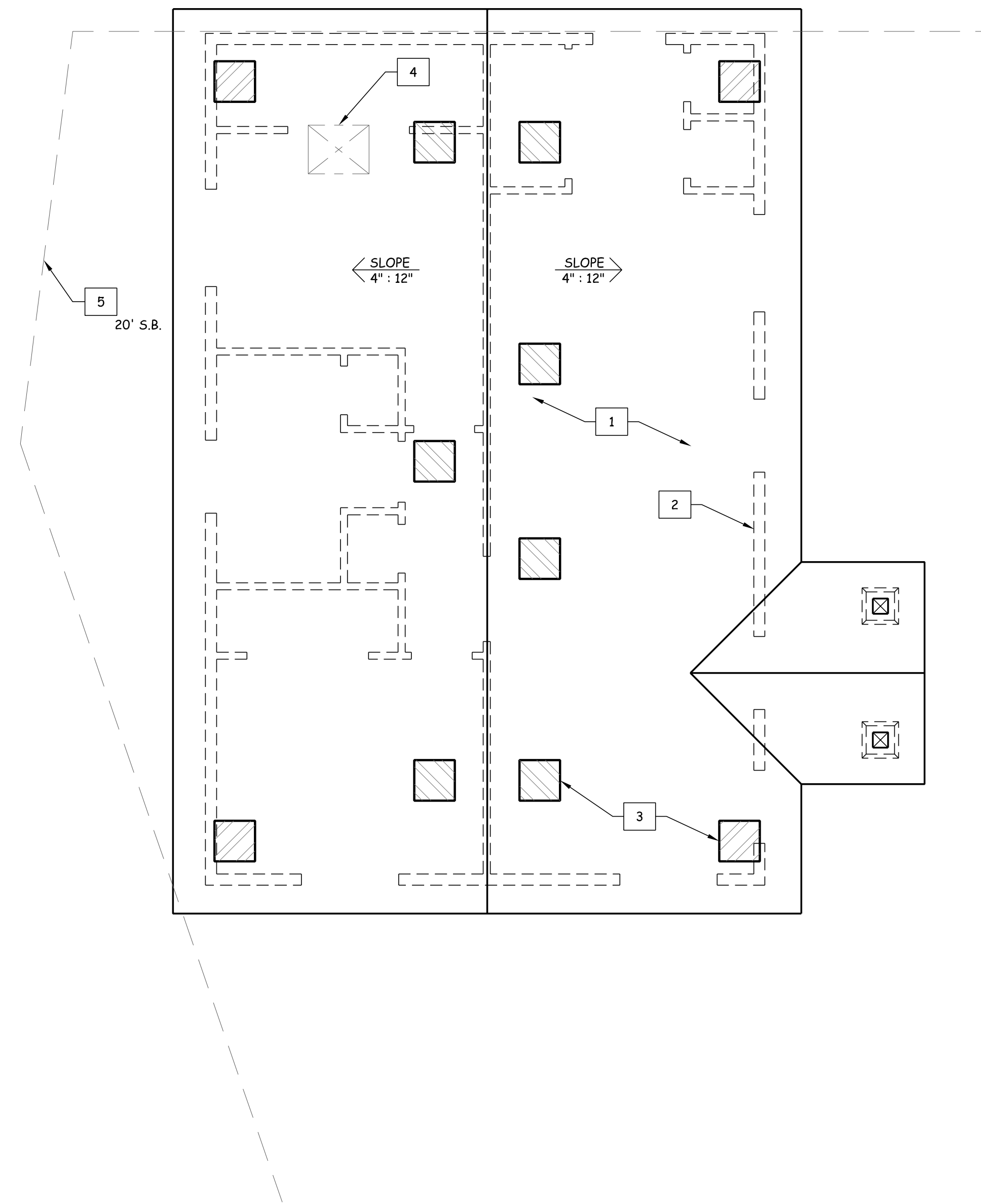
CRAWL SPACE VENTILATION

1/1500 S.F. REQ'D	0.487 S.F. NFVA
730 S.F./1500 =	
TOTAL VENT AREA REQ'D	= .487 S.F.
PROVIDE (4) 4x14 CRAWLSPACE VENT (4 x .167)	= .69 S.F.
TOTAL VENT AREA PROVIDED	= .69 S.F.
4 x 14 CRAWLSPACE VENT @ 24 SQ.IN. (.167 S.F.) NFVA	



PROPOSED FLOOR PLAN
SCALE 1/4" = 1'-0"

LIVABLE SPACE = 800 S.F.



ADDITION ROOF PLAN
SCALE 1/4" = 1'-0"

KEYNOTES:

- 1 (N) ASPHALT SHINGLES O/ (2) LAYERS OF 15# FELT PAPER UNDERLAYMENT. SHINGLES STYLE AND COLOR PER OWNER.
- 2 WALLS BELOW
- 3 HIGH AND LOW ROOF VENTS - "MASTER FLOW" OR APPROVED ALTERNATE.
- 4 MIN. 22"X30" ATTIC ACCESS
- 5 PROJECTED SETBACK LINE (TO BE CONFIRMED BY SURVEYOR PRIOR TO CONSTRUCTION)

ROOF PLAN NOTES

- 1. TYPICAL ROOF COVERING:
30 YEAR ASPHALT SHINGLES O/ 30# FELT PAPER.
- 2. TYPICAL FLASHING @ ROOF PERIMETER:
METAL DRIP EDGE FLASHING, COLOR TO BE BROWN OR BLACK.
- 3. SOFFIT MATERIAL TO MATCH EXISTING.
- 5. ALL OVERHANGS (RAKE AND EAVE) TO MATCH EXISTING.

ATTIC VENTILATION

ATTIC VENTS
 LOW VENTS (7) **MASTER FLOW SUPER LOW PROFILE = 1.82 S.F.
 HIGH VENTS (4) **MASTER FLOW SUPER LOW PROFILE = 1.04 S.F.
 TOTAL VENT AREA PROVIDED = 2.86 S.F.
 REQUIRED = 790 S.F. / 300 = 2.64 S.F.
 PROVIDED = 2.86 S.F.

**MASTER FLOW - SUPER LOW PROFILE SLANT BACK (NFVA = .26 S.F. EA VENT)

- MASTER FLOW - HIGH VENTS
- MASTER FLOW - LOW VENTS

Lumber, Steel, and
Precast Engineering LLC
 NV BUS. LIC. # NV20222324565
 NV PROJ. # 46003100 Mill
 Ste. 800
 P.O. Box 775-978-7004
 Reno, NV 89502



12/8/2023
 Steven J. Sheldrup
 Principal Engineer
 NV License #029666

CONSTRUCTION DOCUMENTS

Romero ADU
 530 Big Knob Dr.
 Reno, NV 89433
 A.P.N.: 085-182-14

REVISIONS

Drawn SJS
 Checked

Date 12/08/2023

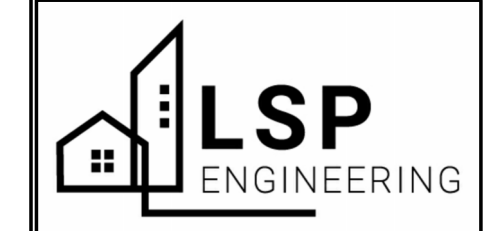
Job Number 23031

Drawing Title

Proposed
Roof Plan

Sheet Number

A-2



12/8/2023
 Steven J. Sheldrup
 Principal Engineer
 NV License #029666

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REVISIONS

Drawn SJS
 Checked SJS

Date 12/08/2023

Job Number 23031

Drawing Title

Proposed Elevations

Sheet Number

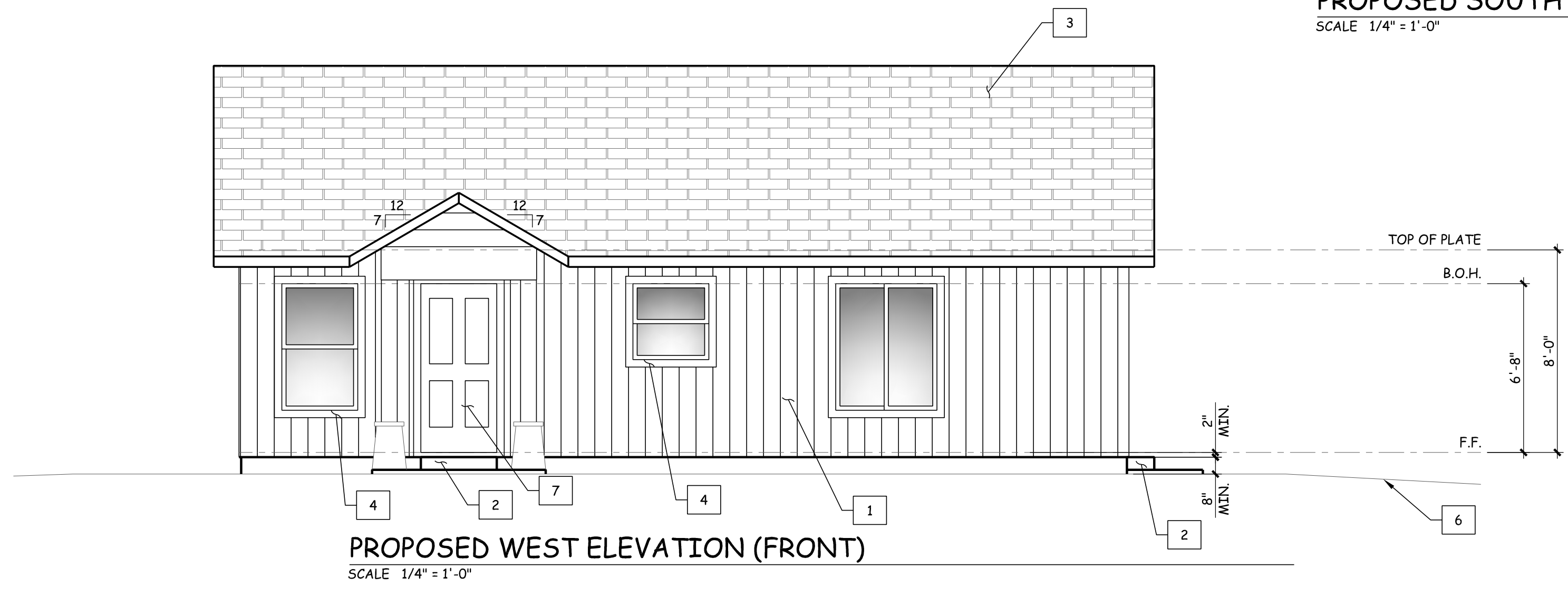
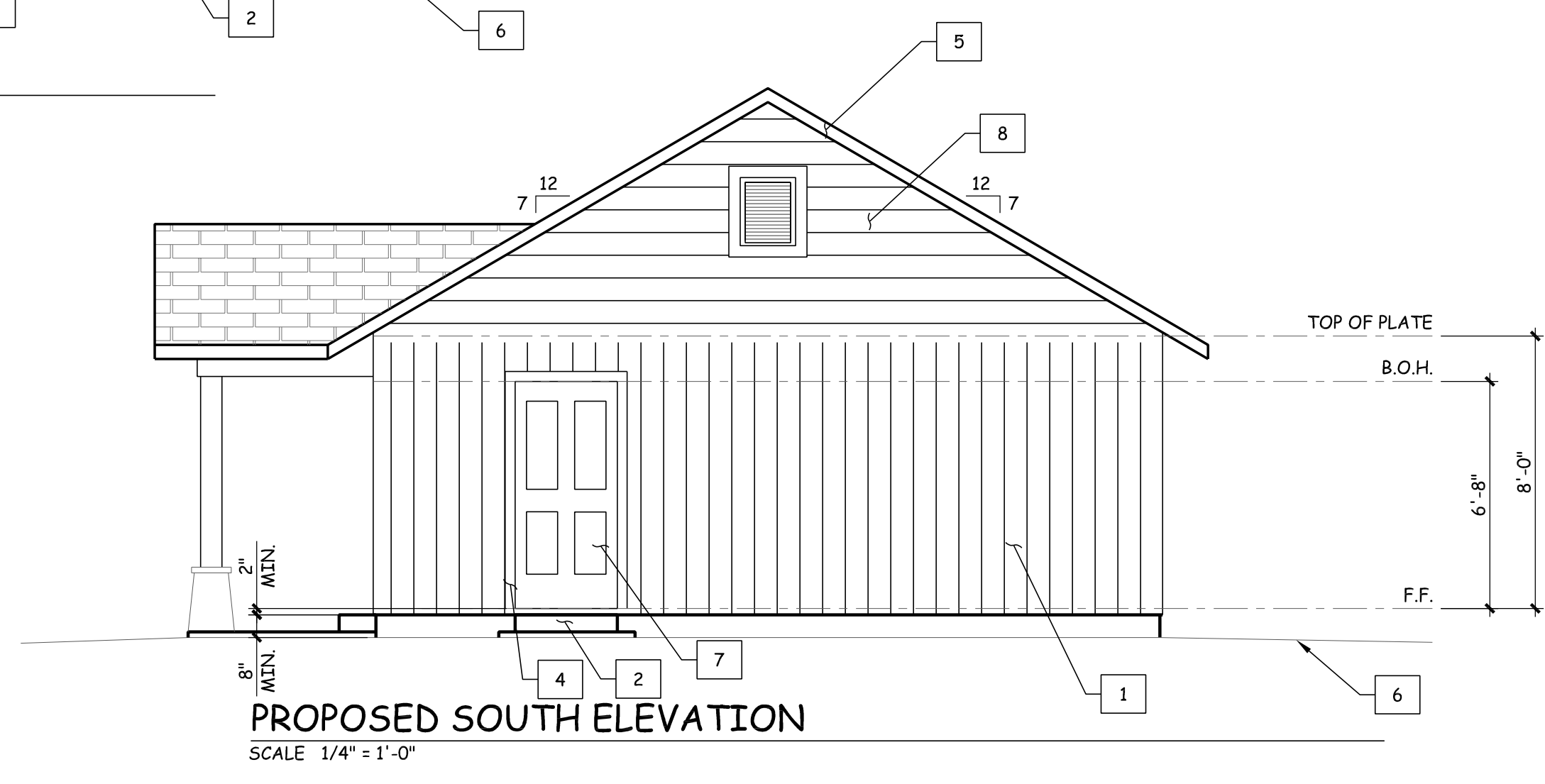
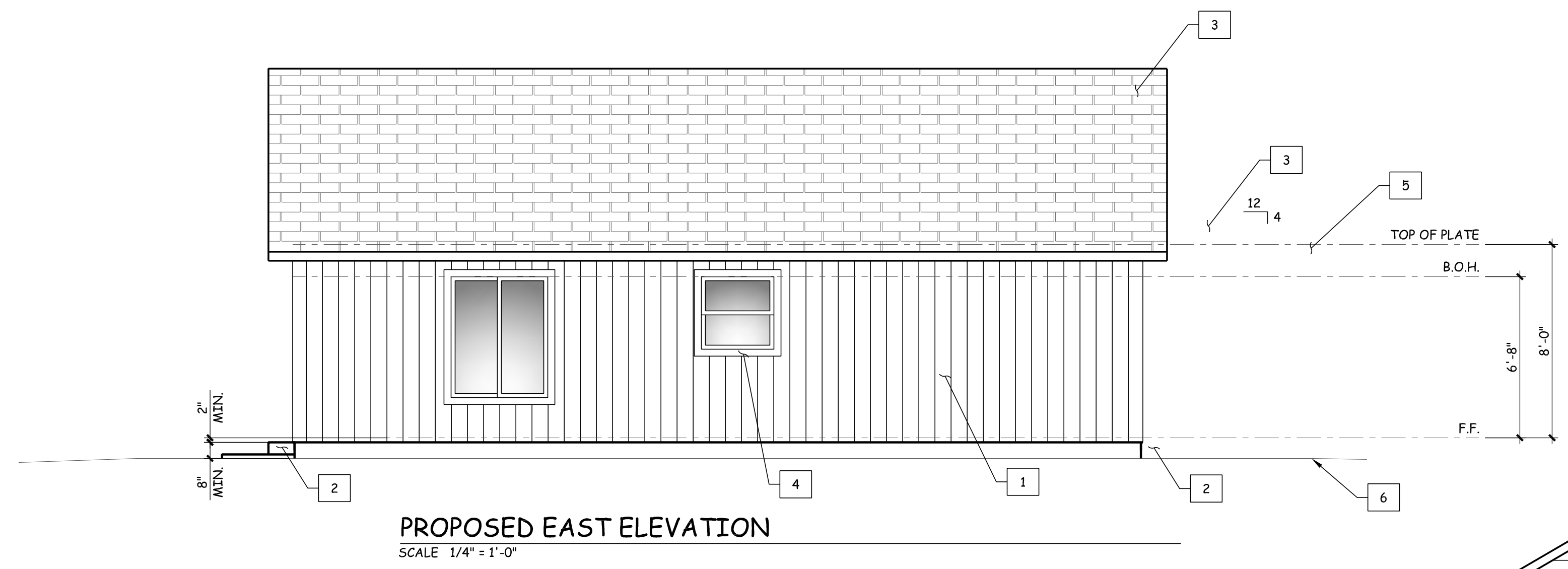
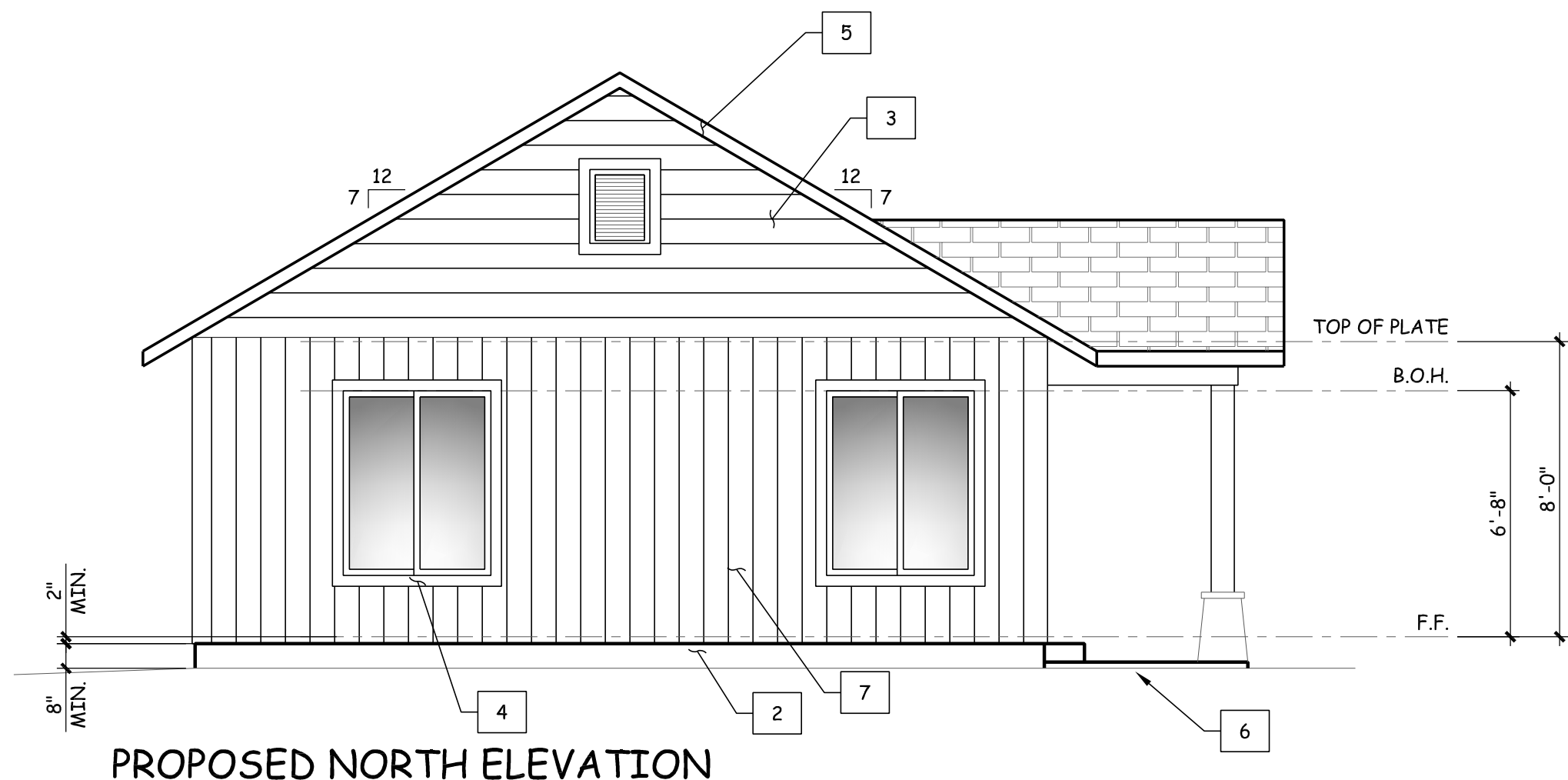
A-3

KEYNOTES:

- 1 BOARD & BATTEN SIDING O/ WATER RESISTIVE BARRIER O/ SHEATHING. SEE STRUCTURAL FOR SHEATHING REQUIREMENTS.
- 2 CONCRETE STEPS AND STOOP - 7" MAX. RISER AND 10" TREAD.
- 3 40 YR. ASPHALT SHINGLES O/ 30# FELT PAPER O/ SHEATHING. SEE STRUCTURAL STRUCTURAL FOR SHEATHING REQUIREMENTS. SHINGLES STYLE AND COLOR TO MATCH (E) RESIDENCE SHINGLES.
- 4 TRIM, STYLE AND COLOR PER OWNER
- 5 2x FASCIA, STYLE AND COLOR PER OWNER
- 6 FINISHED GRADE
- 7 (N) WOODEN DOOR PAINTED PER OWNERS REQUIREMENTS.
- 8 LAP SIDING SIDING, COLOR AND STYLE PER OWNER

ELEVATION NOTES

- 1. CONTRACTOR/OWNER TO COORDINATE ALL FINISHES.
- 2. CONTRACTOR/OWNER TO COORDINATE THE EXTENTS OF PAINT AND REPAIR OF EXISTING RESIDENCE
- 3. PAINT FINISH TO BE APPLIED OVER PREPPED AND PRIMED SURFACES ONLY.
- 4. CONTRACTOR TO COORDINATE ALL COLORS.

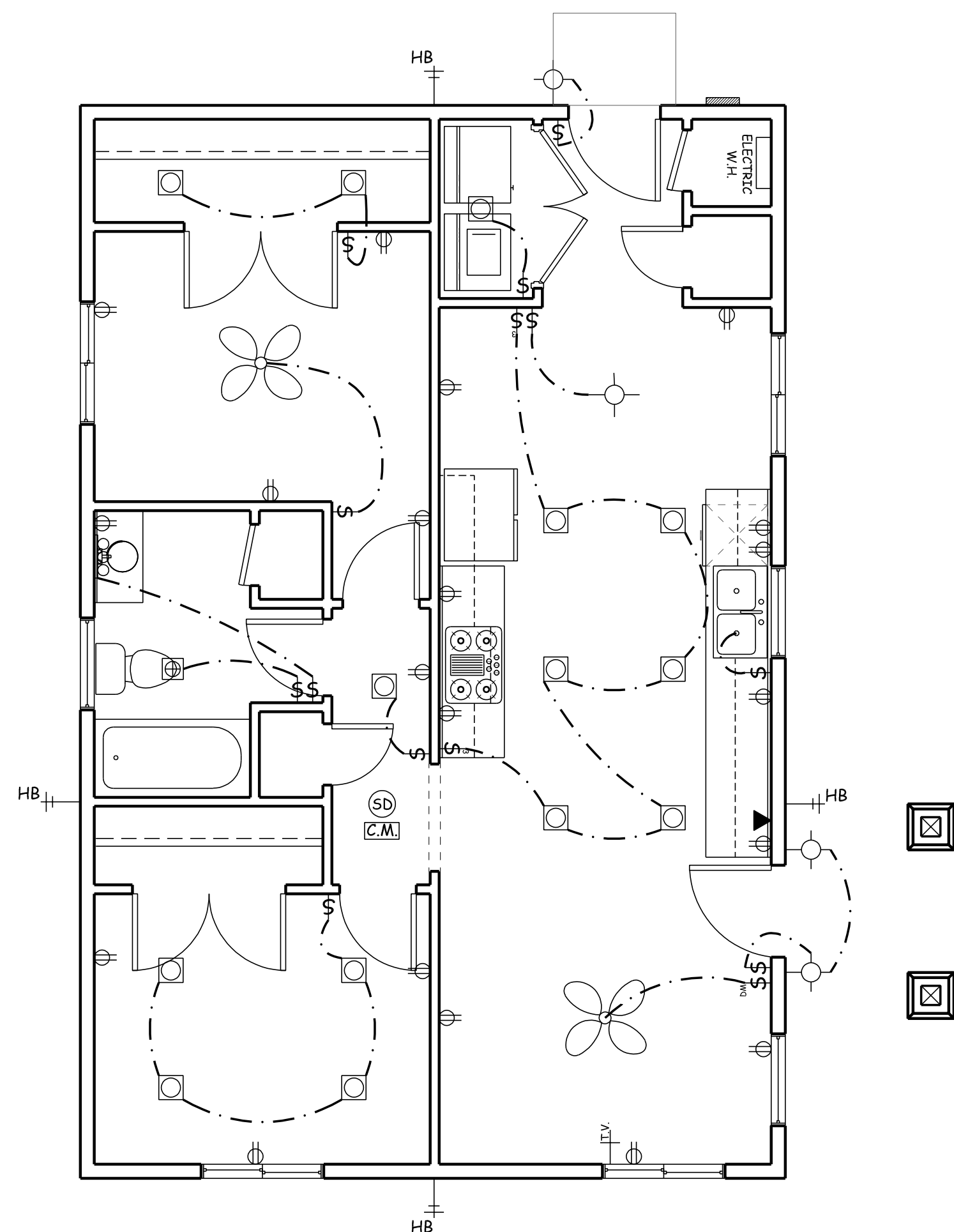


ELECTRICAL NOTES

- ALL ELECTRICAL INSTALLATION SHALL COMPLY W/ THE 2018 INTERNATIONAL RESIDENTIAL CODE & LOCAL CODES.
- ALL PLUG SPACING PER 2018 IRC TYP.
- BACK TO BACK ELEC. PER 2018 IRC TYP.
- COORDINATE ALL HANGING FIXTURES W/ OWNER.
- SHOULD ANY LIGHTING CONFLICT W/ FRAMING, RELOCATE PER OWNER SPEC'S
- LOCATION(S) OF COLD AIR RETURN TO BE VERIFIED W/ OWNER.
- ALL RECESSED LIGHTING FIXTURES TO BE IC RATED AND LABELED FOR MAX. AIR LEAKAGE AND SEALED TO CEILING W/ GASKET OR CAULKING.
- IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUN ROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE GENERAL PROVISIONS PER 2018 IRC SPECIFIED IN SECTIONS E3901.2.1 THROUGH E3901.2.3.
- CONTRACTOR TO PROVIDE TAMPER PROOF RECEPTACLES PER 2018 IRC SECTION E4002.14.
- PROVIDE 30" WIDE X 36" DEEP WORKSPACE IN FRONT OF ELECT. PANEL.
- ELECTRIC OUTLET BOXES LOCATED IN FLOORS SHALL BE LISTED FOR INFLOOR INSTALLATION.
- THERMAL INSULATION SHALL NOT BE INSTALLED ABOVE OR WITHIN 3" OF RECESSED LUMINARIES' ENCLOSURE, WIRING COMPARTMENT OR BALLAST EXCEPT WHERE SUCH LUMINARIES IS IDENTIFIED FOR CONTACT WITH INSULATION, TYPE IC PER I.R.C. E4004.9
- ISLAND AND PENINSULAR RECEPTACLES TO BE MOUNTED NO MORE THAN 20" ABOVE OR 12" BELOW COUNTERTOP. RECEPTACLES NOT TO BE MOUNTED FACE UP IN COUNTERTOPS.
- CEILING FAN/LIGHT OUTLET BOXES SHALL BE RATED FOR WEIGHT OF FAN / LIGHT.
- INSTALL SMOKE ALARMS AS REQUIRED BY 2018 IRC SECTION R314 AND LOCAL BUILDING CODES.
- PROVIDE CARBON MONOXIDE ALARMS AS REQUIRED BY 2018 IRC SECTION R315 AND LOCAL BUILDING CODES.
- ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 AND 20-AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BED ROOMS, SUN ROOMS, RECEPTION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- ELECTRICAL PLAN IS FOR SCHEMATIC PURPOSES ONLY. OWNER TO COORDINATE WITH CONTRACTOR AND FIELD VERIFY LOCATION OF ELECTRICAL FIXTURES.
- 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH EFFICACY.

ELECTRICAL LEGEND

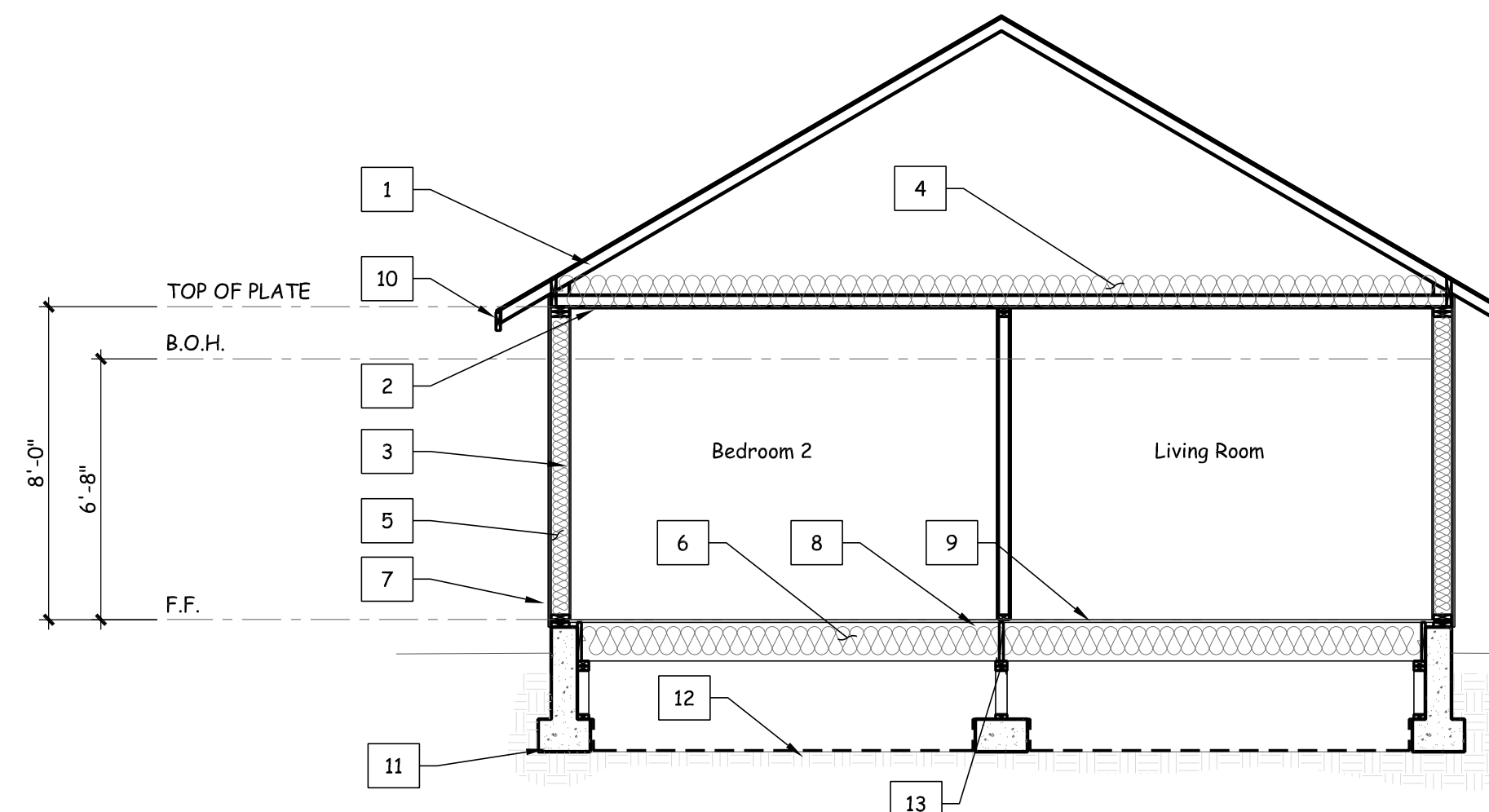
	120 VOLT WALL OUTLET (GFI / AFCI ALL OUTLETS AS REQUIRED)
	220-VOLT DUPLEX OUTLET (+12" U.N.O.)
	NON-FREEZE HOSE BIBB
	INCANDESCENT 3-LIGHT BATH BAR LIGHT
	(E) 125 AMP ELECTRICAL PANEL
	WALL SWITCH - +52" U.N.O.
	3-WAY WALL SWITCH - +52" U.N.O.
	DIMMER SWITCH
	ELECTRICAL CIRCUIT
	CEILING SURFACE MOUNTED LIGHT FIXTURE
	RECESSED LIGHT
	RECESSED LIGHT / FAN COMBO
	WALL MOUNTED LIGHT FIXTURE
	CARBON MONOXIDE DETECTOR INSTALLED PER CODE
	PENDANT HUNG FIXTURE
	SMOKE DETECTOR INSTALLED PER CODE
	FAN LIGHT COMBO - SIZE, STYLE & COLOR PER OWNERS REQUIREMENTS.
	TELEPHONE OUTLET
	T.V. CABLE OUTLET



PROPOSED ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

KEYNOTES:

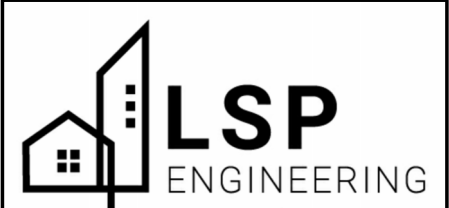
- TYPICAL ROOF / CEILING: ASPHALT SHINGLES O/ 30# FELT PAPER (OR 2 LAYERS OF 15#) O/ STRUCTURAL SHEATHING O/ PRE-MANUFACTURED WOOD TRUSSES.
- 3/8" TYPE X GYP. BD.
- 1/2" GYP. BD.
- R-38 BLOW-IN INSULATION
- 2x6 WOOD STUDS @ 16" O.C. W/ R-21 BATT INSULATION BETWEEN STUDS
- R-30 BATT INSULATION
- SIDING PER ELEVATIONS O/ WATER RESISTIVE BARRIER O/ SHEATHING PER STRUCTURAL PLANS
- FLOOR JOISTS PER STRUCTURAL PLAN
- WOOD SUB-FLOOR PER STRUCTURAL DRAWINGS
- METAL DRIP EDGE BLACK OR BROWN O/ FASCIA. FASCIA SIZE, TYPE AND STYLE TO MATCH EXISTING FASCIA.
- NEW CONCRETE STEM AND FOOTINGS PER STRUCTURAL DRAWINGS.
- 6 MIL. VAPOR RETARDER
- PONY WALL, SEE STRUCTURAL



SECTION "A-A"
SCALE 1/4" = 1'-0"

Not Used	9	Window Flashing	8	Barge	5	Footing @ Concrete	2
Not Used	10	Water Heater	7	Typical Eave	4	Footing @ Grade	1

Lumber, Steel, and
Precast Engineering LLC
NV BUS. LIC. # NV20222324565
NV PROJ. # 2400031000 Mill
SHELDROP ENGINEERING
PH: 775-278-7904
Reno, NV 89502



Steven J. Sheldrup
Principal Engineer
NV License #029666

CONSTRUCTION DOCUMENTS

Romero ADU
530 Big Knob Dr.
Reno, NV 89433
A.P.N.: 085-182-14

REVISIONS

Drawn SJS
Checked SJS
Date 12/08/2023
Job Number 23031

Proposed Electrical Plan & Section A-A
Sheet Number

A-4