

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 5)

SPECIAL USE PERMIT FOR GRADING

(see page 11)

SPECIAL USE PERMIT FOR STABLES

(see page 16)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89520

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: RUTZ RESIDENCE			
Project Description: EXISTING DRIVEWAY IS TOO STEEP FOR SAFE ACCESS. NEW DRIVEWAY IS BEING PROPOSED WITH NEW TWO-CAR GARAGE AND LIVING SPACE ADDITION TO (E) SINGLE FAMILY HOME.			
Project Address: 786 RANDALL AVE. INCLINE VILLAGE, NV			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator): WEST OF MT ROSE HIGHWAY, NEAR INTERSECTION OF RANDALL AVE. AND GERALDINE DR.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
125-251-08	.32 (13,925 S.F.)		
Section(s)/Township/Range: INCLINE VILLAGE UNIT # 1			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner: DAVID RUTZ & TAMMY RUTZ		Professional Consultant:	
Name: DAVID RUTZ		Name: BRANDON MITCHELL ARCHITECT	
Address: P.O. BOX 7662		Address: 4400 SIERRA MADRE DR.	
TAHOE CITY, CA Zip: 96145		RENO, NV Zip: 89502	
Phone: Fax:		Phone: 530-314-9485 Fax:	
Email: TDRUTZ@SBCGLOBAL.NET		Email: MITCHELL_TAHOE@YAHOO.COM	
Cell: 530-304-6633 Other:		Cell: Other:	
Contact Person: DAVID RUTZ		Contact Person: BRANDON MITCHELL	
Applicant/Developer:		Other Persons to be Contacted:	
Name: BRANDON MITCHELL		Name:	
Address: 4400 SIERRA MADRE DR.		Address:	
RENO, NV Zip: 89502		Zip:	
Phone: 530-314-9485 Fax:		Phone: Fax:	
Email: MITCHELL_TAHOE@YAHOO.COM		Email:	
Cell: Other:		Cell: Other:	
Contact Person: BRANDON MITCHELL		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: David M. Butz

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, David M. Butz
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 125-251-08

Printed Name David M Butz

Signed [Signature]

Address 786 Randall Ave

Incline Village, NV. 89451

(Notary Stamp)

Subscribed and sworn to before me this 30 day of January, 2018.

[Signature]
Notary Public in and for said county and state

My commission expires: November 2, 2020



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: Tammy L. Rutz

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Tammy L. Rutz
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 125-251-08

Printed Name Tammy L. Rutz

Signed Tammy L. Rutz

Address 786 Randall

Incline Village, NV 89451

Subscribed and sworn to before me this 30 day of January, 2018.

Brandi E Bernard
Notary Public in and for said county and state

My commission expires: November 2, 2020

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

NEW DRIVEWAY FOR AN EXISTING SINGLE FAMILY RESIDENCE.
NEW TWO-CAR GARAGE ADDITION AND LIVING SPACE ADDITIONS
ARE PROPOSED TO EXISTING SINGLE FAMILY RESIDENCE.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

EXISTING SINGLE FAMILY RESIDENCE SHALL REMAIN. IT
WILL BE REMODELED AS REQUIRED FOR PROPOSED
TWO-CAR GARAGE AND LIVING SPACE ADDITIONS.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

SANITATION & WATER SUPPLY ARE EXISTING.
UTILITIES, DRAINAGE AND ROADWAY IMPROVEMENTS TO BE COMPLETE BY OCTOBER 15th, 2018.
NEW STRUCTURE AND PARKING TO BE COMPLETE BY END OF SUMMER 2019.

4. What is the intended phasing schedule for the construction and completion of the project?

CONSTRUCTION IS PLANNED TO BEGIN SPRING 2018 AND BE COMPLETED SUMMER 2019. NO PHASING IS PLANNED.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

PROPOSED USE IS NOT BEING INTENSIFIED. PROPOSED USE TO REMAIN THE SAME AS THE EXISTING USE - SINGLE FAMILY HOME. EXISTING HOME IS LOCATED IN A NEIGHBORHOOD OF OTHER EXISTING SINGLE FAMILY HOMES.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

THE NEW DRIVEWAY WILL CREATE A SAFER, MORE VEHICLE AND PEDESTRIAN FRIENDLY DESIGN SOLUTION THAN THE EXISTING STEEP DRIVEWAY. THE NEW TWO-CAR GARAGE WILL KEEP CARS FROM VIEW OF ADJACENT PROPERTIES.

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

THE PROPOSED RESIDENTIAL ADDITION AND DRIVEWAY ARE OF SIMILAR LAYOUT AND DESIGN TO EXISTING ADJACENT PROPERTIES. NEGATIVE IMPACTS HAVE BEEN MINIMIZED BY PROVIDING A DESIGN SOLUTION THAT THE NEIGHBORS ARE FAMILIAR WITH AND ONE WHICH THEY KNOW IS FUNCTIONAL.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

PROJECT IS AN ADDITION/REMODEL TO AN EXISTING HOME RESIDING IN A NEIGHBORHOOD OF OTHER SINGLE FAMILY HOMES. HOME WILL BE OCCUPIED BY ONE FAMILY AND WILL NOT BE USED FOR COMMERCIAL PURPOSES.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

FOUR ON-SITE PARKING SPACES SHALL BE PROVIDED. TWO SPACES SHALL BE LOCATED IN THE PROPOSED TWO-CAR GARAGE. TWO SPACES SHALL BE LOCATED ON THE PARKING PAD DIRECTLY IN FRONT OF THE GARAGE.

THREE OFF-SITE PARKING SPACES ARE AVAILABLE DIRECTLY IN FRONT OF THE PROPERTY ON RANDALL AVE.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

"MEADOW MIX" INCLUDES THE FOLLOWING GRASSES: FOXTAIL MEADOW, BROME SMOOTH, HAIRGRASS TUFTED NORTON, FESCUE, CREEPING RED BERRAL, TIMOTHY CLIMAX & PASTURE GINGER BLUEGRASS. IS BEING PROPOSED. LANDSCAPE AREAS LABELED AS REVEGETATED ON SITE PLAN.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

PROJECT IS A SINGLE FAMILY HOME AND NO SIGNS ARE BEING PROPOSED. EXTERIOR LIGHTING SHALL BE WALL MOUNTED LIGHT FIXTURES AND RECESSED CANS (SEE ATTACHED CUT SHEETS). LIGHTING LOCATIONS SHOWN ON LIGHTING PLANS,

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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13. Utilities:

a. Sewer Service	NGID Public Works
b. Electrical Service	NV ENERGY
c. Telephone Service	VERIZON
d. LPG or Natural Gas Service	SOUTHWEST GAS CORP.
e. Solid Waste Disposal Service	WASTE MANAGEMENT
f. Cable Television Service	CHARTR
g. Water Service	IVGID Public Works

For most uses, ^{→ N/A} the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

N/A

14. Community Services (provided and nearest facility):

a. Fire Station	NORTH LAKE TAHOE FIRE STATION #13
b. Health Care Facility	INCLINE VILLAGE COMMUNITY HOSPITAL
c. Elementary School	INCLINE ELEMENTARY SCHOOL
d. Middle School	INCLINE MIDDLE SCHOOL
e. High School	INCLINE HIGH SCHOOL
f. Parks	LAKE TAHOE NEVADA STATE PARK - PRESTON FIELD
g. Library	INCLINE VILLAGE LIBRARY
h. Citifare Bus Stop	N/A

Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

GRADING IS REQUIRED FOR THE PROPOSED NEW DRIVEWAY AND NEW RESIDENTIAL BUILDING ADDITIONS BEING PROPOSED.

2. How many cubic yards of material are you proposing to excavate on site?

188 +/- CUBIC YARDS

3. How many square feet of surface of the property are you disturbing?

2,500 S.F.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

MOST EXCAVATED MATERIAL WILL BE EXPORTED TO AN APPROVED LOCATION OUTSIDE THE TAYLOR BASIN. SOME MATERIAL WILL BE KEPT ON-SITE FOR FINISH GRADING & REVEGETATION.
170 C.Y. EXPORT +/-
18 C.Y. STAY ON SITE +/-

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

NO, PER SECTION 110.438.35 NATOR GRADING PERMIT THRESHOLDS, ITEM (A)(3) ANY DRIVEWAY THAT TRAVERSES ANY SLOPE OF THIRTY (30) PERCENT OR GREATER/SIDEWALK WITH REQUIRE A SPECIAL USE PERMIT. THIS INCLUDES DRIVEWAYS FOR SINGLE FAMILY HOMES.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

YES SEE SITE PLAN & GRADING & BMP PLAN

8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

YES, PROPOSED DISTURBED AREA CAN BE SEEN OFFSITE FROM NEIGHBORING HOMES TO THE SOUTH AND EAST ON RANDALL AVE.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No.

10. What is the slope (Horizontal/Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Proposed slopes will be 2:1.
DURING CONSTRUCTION, TEMPORARY BMP'S WILL BE USED:
CONSTRUCTION FENCING, FIBER ROLL, COVER DIRT STOCKPILES,
MULCH & PINE NEEDLES

11. Are you planning any berms?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

6'-0" TALL CONCRETE RETAINING WALLS FOR THE NEW DRIVEWAY ARE BEING PROPOSED.
2'-0" AND 4'-0" ROCKERY WALLS ARE BEING PROPOSED.
5'-6" TALL CONCRETE RETAINING WALLS ARE BEING PROPOSED WITHIN THE FRONT SETBACK. 1'-6" OF ADDITIONAL WALL HEIGHT IS BEING REQUESTED, AT THIS LOCATION, TO LIMIT THE AMOUNT OF GRADING REQUIRED (SEE CIV GRADING & BMP PLAN)

13. What are you proposing for visual mitigation of the work?

PROPOSED RETAINING WALLS ARE ONLY SHOWN WHERE NECESSARY. CONCRETE WALLS TRANSITION TO ROCKERY WALLS TO HELP "SOFTEN THE EDGE". CONCRETE WALLS WILL BE STAINED EARTH TONES. EXISTING HOME WILL BE PROVIDED WITH ALL NEW EXTERIOR FINISHES INCLUDING SIDING, WINDOWS, DOORS & ROOFING.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

NO TREES WILL BE REMOVED.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

"MEADOW MIX" includes the following GRASSES: FOXTAIL MEADOW BROME SMOOTH, HAIRGRASS TUFTED NORTON, FESCUE CREEPING RED BOREAL, TIMOTHY CLIMAX & PASTURE GINGER BLUEGRASS

APPLICATION RATE = 75 LB/ACRE.

APPLICATION OF MULCH MAY ENHANCE VEGETATION

16. How are you providing temporary irrigation to the disturbed area?

THERE IS AN EXISTING WATER SERVICE ON-SITE

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

REVEGETATION will comply with TAHOE REGIONAL PLANNING Agency (TRPA) Guidelines.

THERE IS NO REVEGETATION OR LANDSCAPING PLAN AS THE PROPOSED REVEGETATION IS NATIVE GRASSES FROM SEED COVERED BY A LAYER OF MULCH.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 12525108
 AIN:

Balance Good Through:	01/24/2018
Current Year Balance:	\$1,046.08
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$1,046.08

AUTO
 :961455:
 DAVID & TAMMY RUTZ
 PO BOX 7662
 TAHOE CITY CA 96145

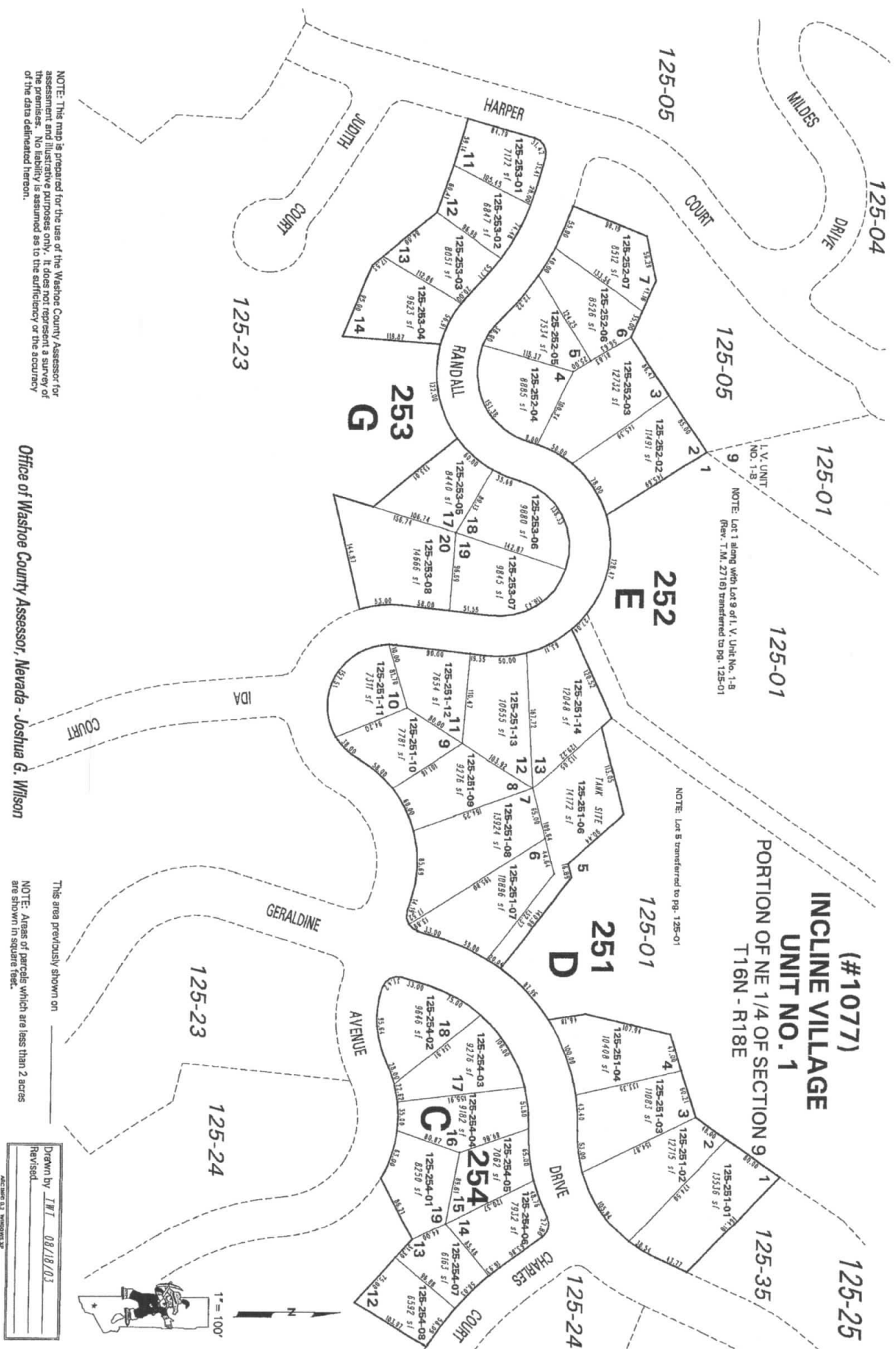
Description:

Situs: 786 RANDALL AVE
 INCL

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
12525108	2017	2017098097	1	08/21/2017	1,046.29	0.00	0.00	1,046.29	0.00
12525108	2017		2	10/02/2017	1,046.09	0.00	0.00	1,046.09	0.00
12525108	2017		3	01/01/2018	1,046.09	0.00	0.00	1,046.09	0.00
12525108	2017		4	03/05/2018	1,046.08	0.00	0.00	0.00	1,046.08
Current Year Totals					4,184.55	0.00	0.00	3,138.47	1,046.08

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								



L.V. UNIT NO. 1-B
 NOTE: Lot 1 along with Lot 9 of L.V. Unit No. 1-B Rev. T.M. 2716 transferred to PG 125-01

NOTE: Lot 8 transferred to pg. 125-01

**(#1077)
 INCLINE VILLAGE
 UNIT NO. 1
 PORTION OF NE 1/4 OF SECTION 9
 T16N - R18E**

NOTE: This map is prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or the accuracy of the data delineated hereon.

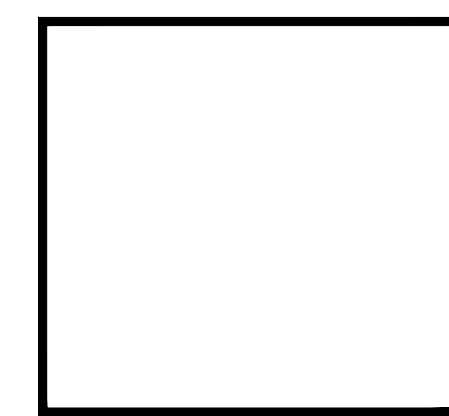
Office of Washoe County Assessor, Nevada - Joshua G. Wilson

This area previously shown on _____
 NOTE: Areas of parcels which are less than 2 acres are shown in square feet.

Drawn by TMT 08/18/03
 Revised _____
 APPROVED BY: J. WILSON



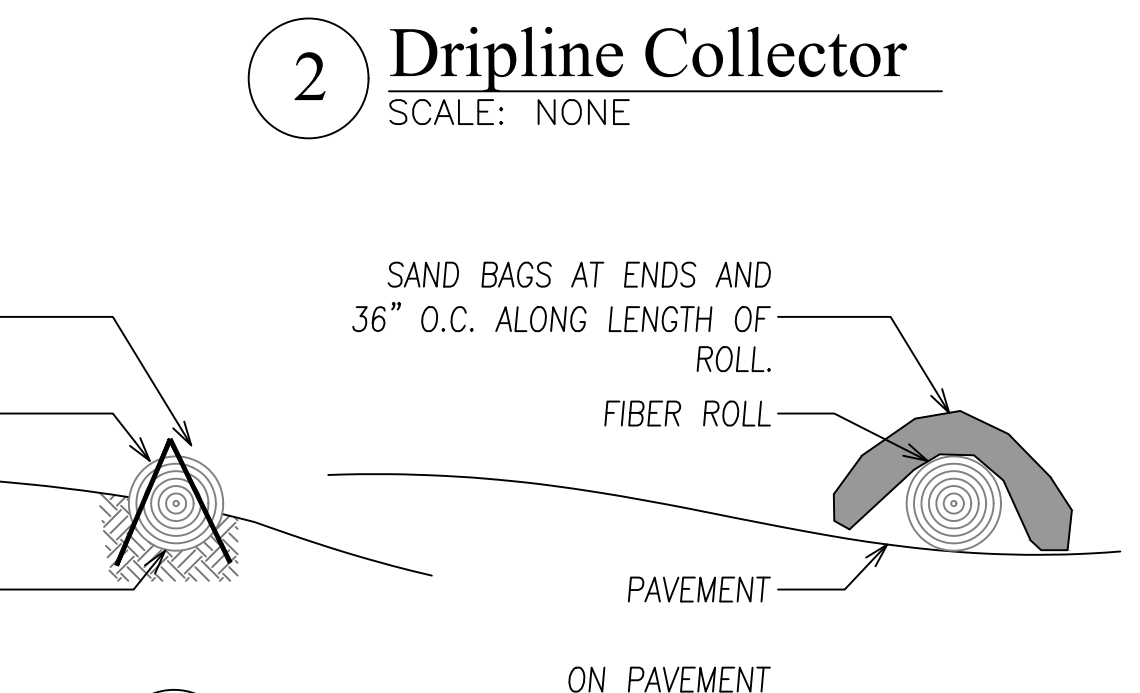
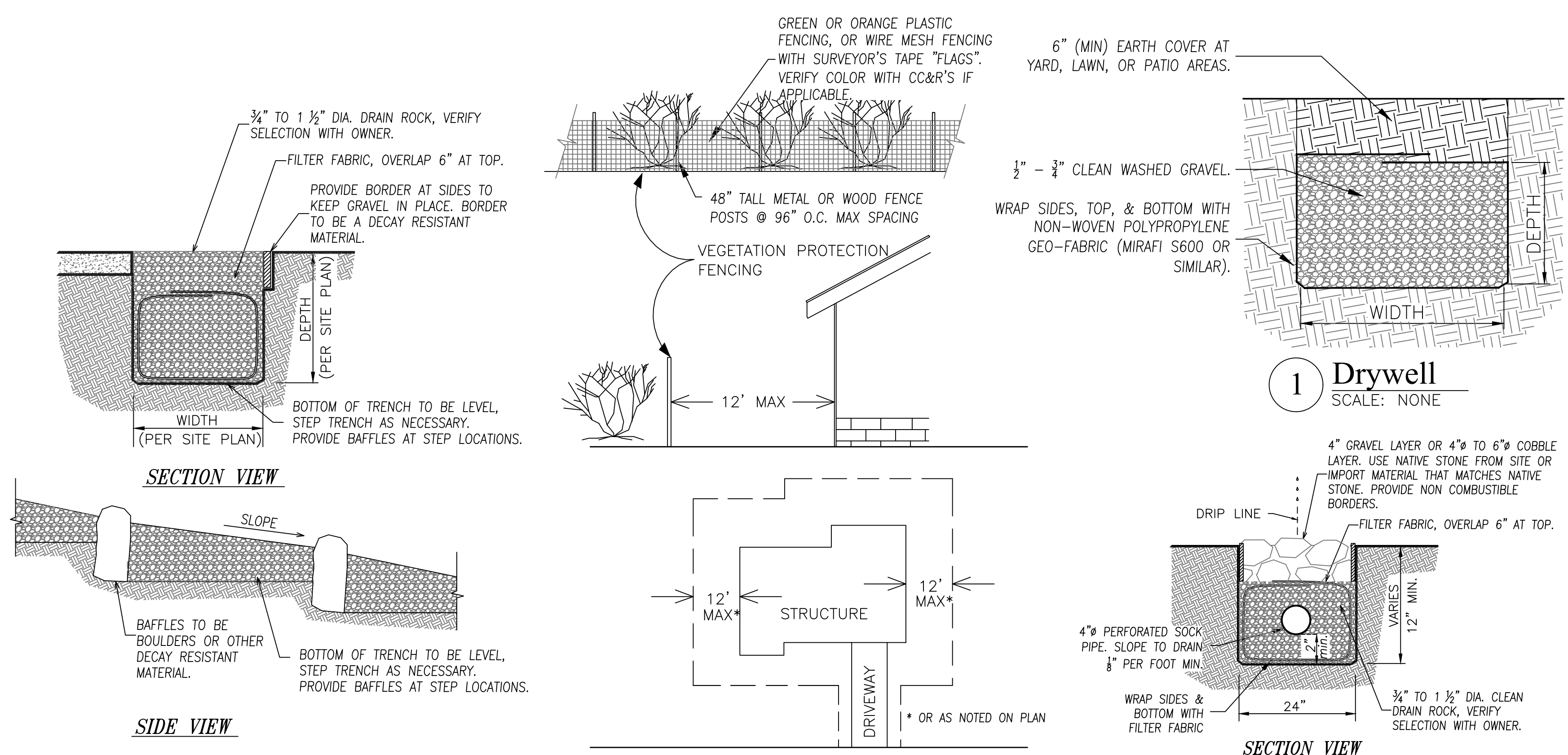
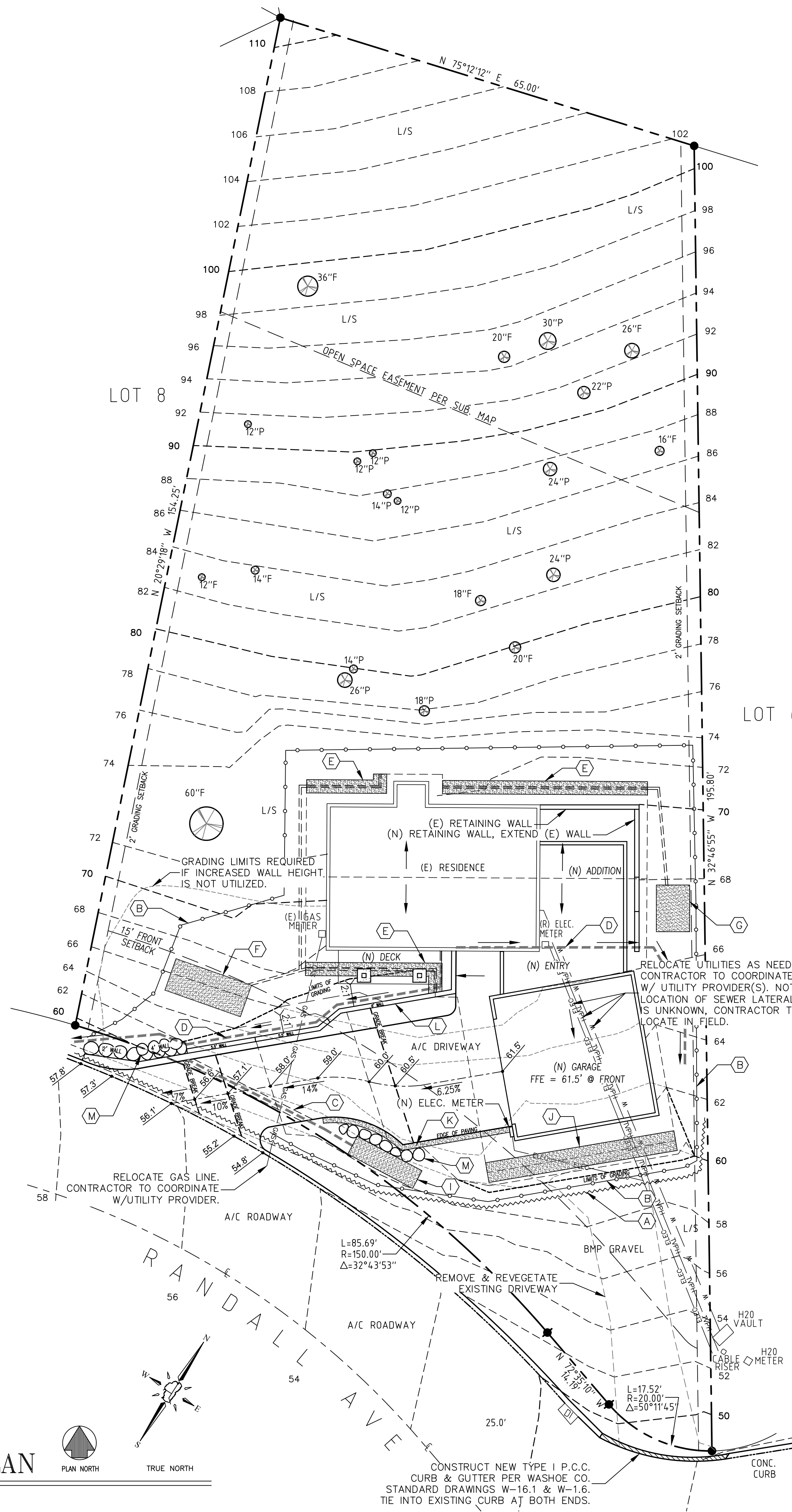
NO.	REVISION	DATE



P.O. BOX 3378
TRUCKEE, CA 96160
(530) 583-2805 VOICE
www.BaconCollaborativeDesign.com

ADDITION FOR:
Rutz
OWNER: DAVE RUTZ
786 RANDALL AVE., INCLINE VILLAGE
LOT 7 BLOCK D INCLINE VILLAGE UNIT 1
WASHOE COUNTY, NV
A.P.N. 125-251-08

Job: 1725	Scale: 1" = 10'
Date: 2/6/18	Drawn by: P.D.M.
C1.1	
© BCDE, INC. 2017	



ENGINEER'S NOTES

- BEFORE BEGINNING ANY TYPE OF DIGGING PROJECT, CALL UNDERGROUND SERVICE ALERT 811.
- UTILITIES SHOWN ARE APPROXIMATE ONLY. OWNER/CONTRACTOR TO VERIFY THEIR LOCATION AND LOCATION OF ALL OTHER UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO INVESTIGATION OF ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR THE EXISTENCE OF UNDERGROUND TANKS OR UTILITIES HAS BEEN MADE AS A PART OF THIS SITE PLAN.
- TOPOGRAPHIC INFORMATION BASED ON SURVEY BY TURNER AND ASSOCIATES, INC. LAND SURVEYING, DATED MAY 2017, AND DOES NOT REFLECT A TOPOGRAPHIC OR BOUNDARY SURVEY BY BCDE, INC.
- PROPOSED SITE IMPROVEMENTS AND COVERAGE CALCULATIONS BY BCDE, INC.
- ADDRESS SIGNS AND TEMPORARY TOILET SHALL BE ON THE JOB SITE AT THE TIME OF FIRST INSPECTION.
- FINISH GRADE TO SLOPE 10' MIN @ 5% AWAY FROM FOUNDATION, OR SLOPE TO APPROVED DRAINAGE FACILITIES IF SHOWN ON PLANS.

EROSION PREVENTION MEASURES

PERMANENT EROSION PREVENTION MEASURES:

ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED AND COVERED WITH A LAYER OF MULCH, PINE NEEDLES, WOOD CHIPS, JUTE NETTING, STRAW BLANKET OR OTHER SUITABLE METHOD. APPLICATION OF A MULCH MAY ENHANCE VEGETATIVE ESTABLISHMENT.

REVEGETATION SPECIES SHALL BE SUITABLE FOR THE LOCALE. RECOMMEND ALL REVEGETATED AREAS SHALL BE RESTORED WITH "MEADOW MIX" FROM TAHOE TREE COMPANY IN TAHOE CITY & TRUCKEE, CA, OR SIMILAR MIXTURE FOR OTHER SOURCES. THE "MEADOW MIX" INCLUDES THE FOLLOWING GRASSES: FOXTAIL MEADOW, BROME SMOOTH, HAIRGRASS TUFTED NORTON, FESCUE CREEPING RED BOREAL, TIMOTHY CLIMAX, & PASTURE GINGER BLUEGRASS. APPLICATION RATE = 75 LB/ACRE.

PROVIDE DRIPLINE INFILTRATION TRENCHES/COLLECTORS UNDER THE DRIPLINES OF ALL STRUCTURES. REFER TO DETAIL ON SITE PLAN.

PROVIDE 3" GRAVEL LAYER BENEATH ELEVATED DECKS. PROVIDE BORDER TO KEEP GRAVEL FROM MIGRATING.

DRIPLINE TRENCHES ARE ANTICIPATED TO BE INSTALLED WHEN FOUNDATION IS BACKFILLED.

INSTALL ADDITIONAL MULCH AND/OR PINE NEEDLES IF REQUIRED AFTER FINAL GRADING IS COMPLETE. REVEGETATE SITE AFTER FINAL GRADING IS COMPLETE. FINAL GRADING AND REVEGETATION TO TAKE PLACE BEFORE OCTOBER 15 OR PROVIDE SITE WINTERIZATION BMP'S.

TEMPORARY EROSION PREVENTION MEASURES:

EXCAVATION EQUIPMENT SHALL BE LIMITED TO THE AREAS WITHIN THE CONSTRUCTION SITE FENCING TO MINIMIZE SITE DISTURBANCE.

PROVIDE CONSTRUCTION BOUNDARY FENCING TO PREVENT DISTURBANCE BEYOND THE BUILDING SITE. PROVIDE FIBER ROLL ON THE DOWNHILL SIDE OF THE PROJECT.

DIRT STOCKPILES SHALL BE COVERED WITH TARPS OR OTHER WATERPROOF MEMBRANES, ADEQUATELY SECURED TO RESIST WIND FORCES. PROTECT THE PERIMETER OF THE STOCKPILE WITH FILTER FABRIC FENCING OR FIBER ROLL.

CONCRETE WASHOUT SHALL BE COLLECTED AND DISPOSED OF IN AN APPROVED LOCATION.

CONSTRUCTION SITE FENCING, FIBER ROLL, AND TREE BASE PROTECTION TO BE INSTALLED BEFORE LOT CLEARING BEGINS.

SITE SHALL BE FREE OF SNOW AND MUD BEFORE BEGINNING EXCAVATION.

INSTALL STOCKPILE PROTECTION AS NEEDED DURING INCLEMENT WEATHER OR IF STOCKPILES ARE IN PLACE AFTER OCTOBER 15TH.

INSTALL MULCH AND/OR PINE NEEDLES AFTER ROUGH GRADING IS COMPLETE.

BMP SCHEDULE

(A) FIBER ROLL (OR SILT FENCING "TRPA BMP-513")		DETAIL 5/C1.1
(B) CONSTRUCTION BOUNDARY FENCING		DETAIL 3/C1.1
(C) TRENCH DRAIN SLOPE TO DRYWELL, USE "ART-POLYDRAN" OR SIMILAR. CONTRACTOR TO FURNISH COMPLETE DRAIN SYSTEM.		
(D) 6" PERFORATED SOCK PIPE AT LEVEL OF FOOTING. DRAIN TO DAYLIGHT.		
(E) DRIPLINE COLLECTOR	24" WIDE X 12" DEEP	DETAIL 2/C1.1
(F) GRAVEL DRYWELL DW-1	60" X 144" X 15" DEEP	DETAIL 1/C1.1
(G) GRAVEL DRYWELL DW-2	60" X 84" X 15" DEEP	DETAIL 1/C1.1
(H) NOT USED		
(I) GRAVEL DRYWELL DW-4	36" X 132" X 15" DEEP	DETAIL 1/C1.1
(J) INFILTRATION TRENCH DI-1	28' X 38" X 15" DEEP	DETAIL 4/C1.1
(K) INFILTRATION TRENCH DI-2	20' X 12" X 8" DEEP	DETAIL 4/C1.1
(L) CONCRETE RETAINING WALL, PER STRUCTURAL DRAWINGS		
(M) 4' HIGH MAX ROCKERY WALL ON SITE AND 2' HIGH MAX IN R.O.W. NOTE: BOULDERS IN R.O.W. MAY BE REMOVED IF NEEDED FOR MAINTENANCE, ETC.		

EXCAVATION VOLUME: 188± CUBIC YARDS TO BE EXCAVATED AND REMOVED FROM SITE. MATERIAL SHALL BE HAULED TO AN APPROVED LOCATION OUTSIDE OF THE LAKE TAHOE BASIN.

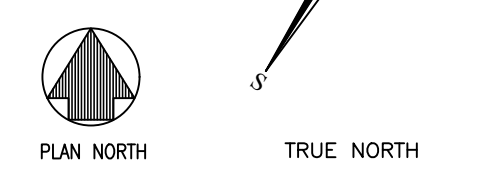
A.C. DRIVEWAY SPECIFICATIONS: REFER TO WASHOE COUNTY STANDARD DRAWING W5.3.

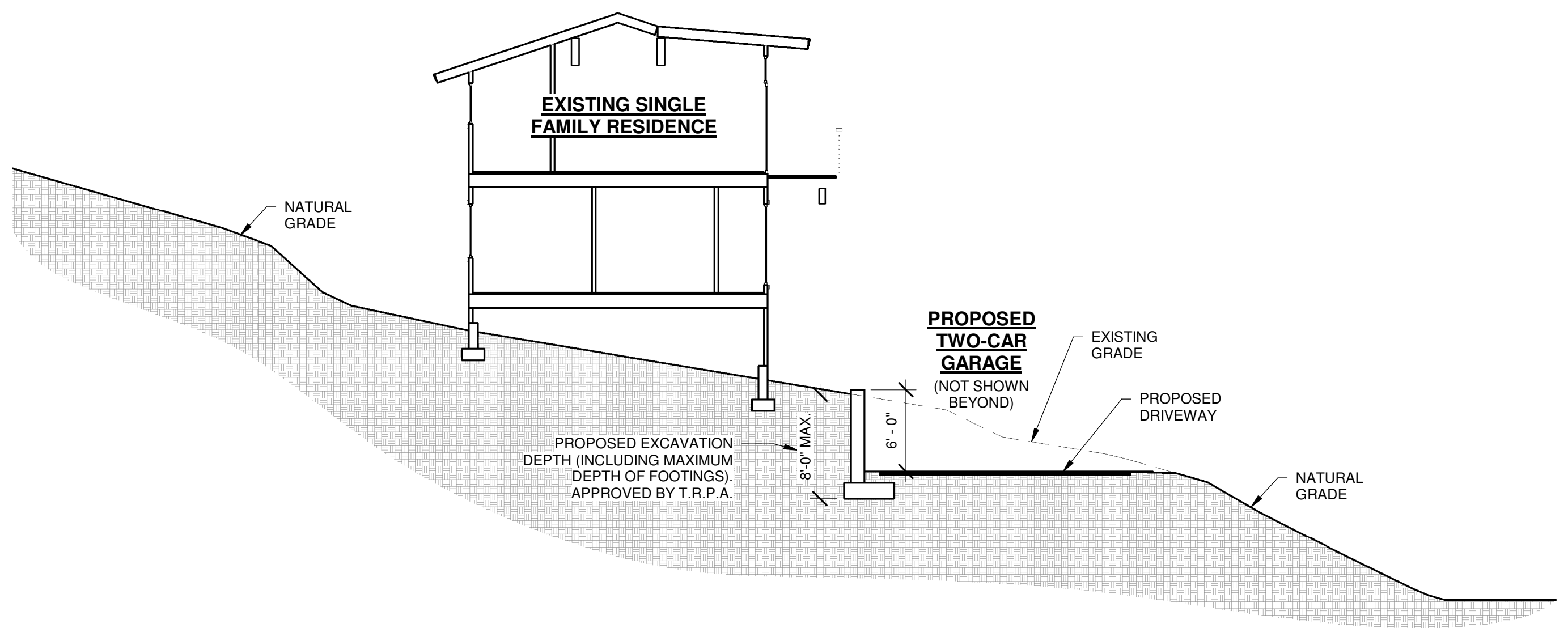
- IN RIGHT OF WAY: A.C. PAVING SHALL BE 4" THICK, TYPE 3 PG64-28, 3% VOIDS, 93% RICE RELATIVE COMPACTION; OVER 6" TYPE 2 CLASS B BASE COMPACTED TO 95% M.D.D.
- OUTSIDE OF RIGHT OF WAY: 2" ASPHALT MIN. OVER 6" BASE AS SPECIFIED ABOVE.

CURB & GUTTER DETAILS: REFER TO WASHOE COUNTY STANDARD DRAWINGS W-16.1 & W-1.6.

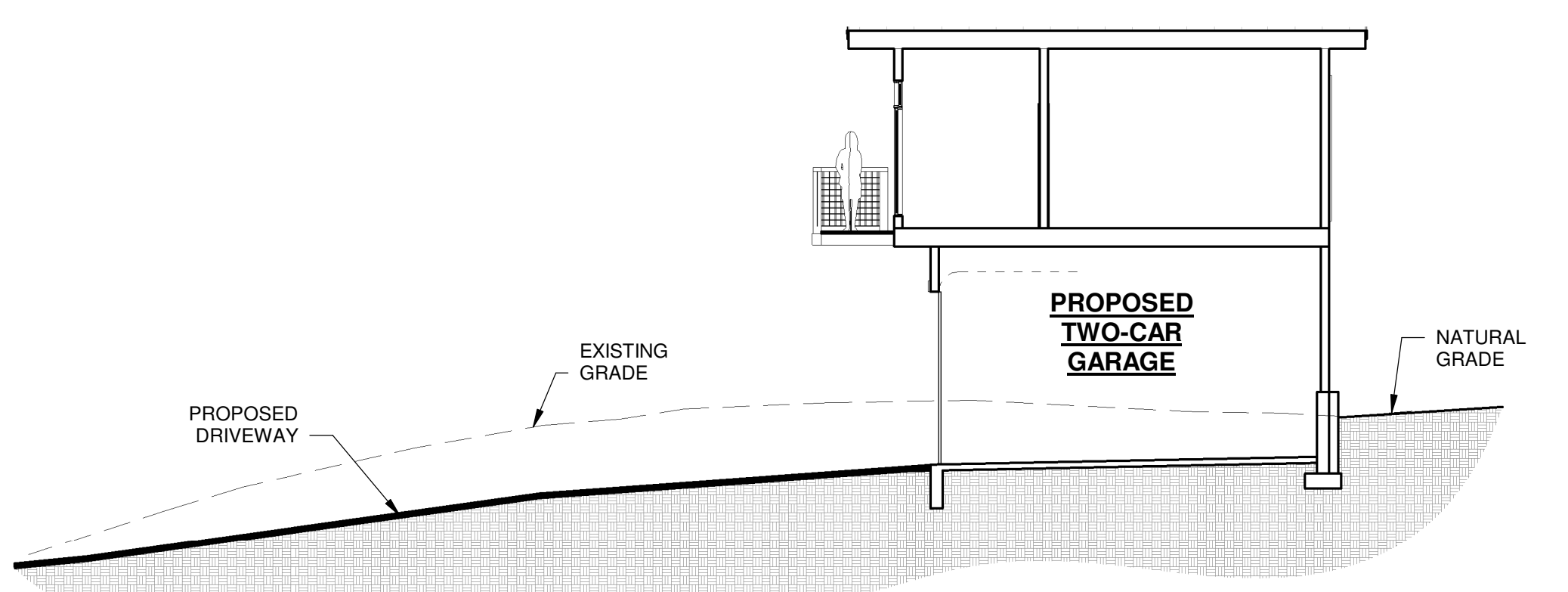
GRADING AND BMP PLAN

1" = 10'

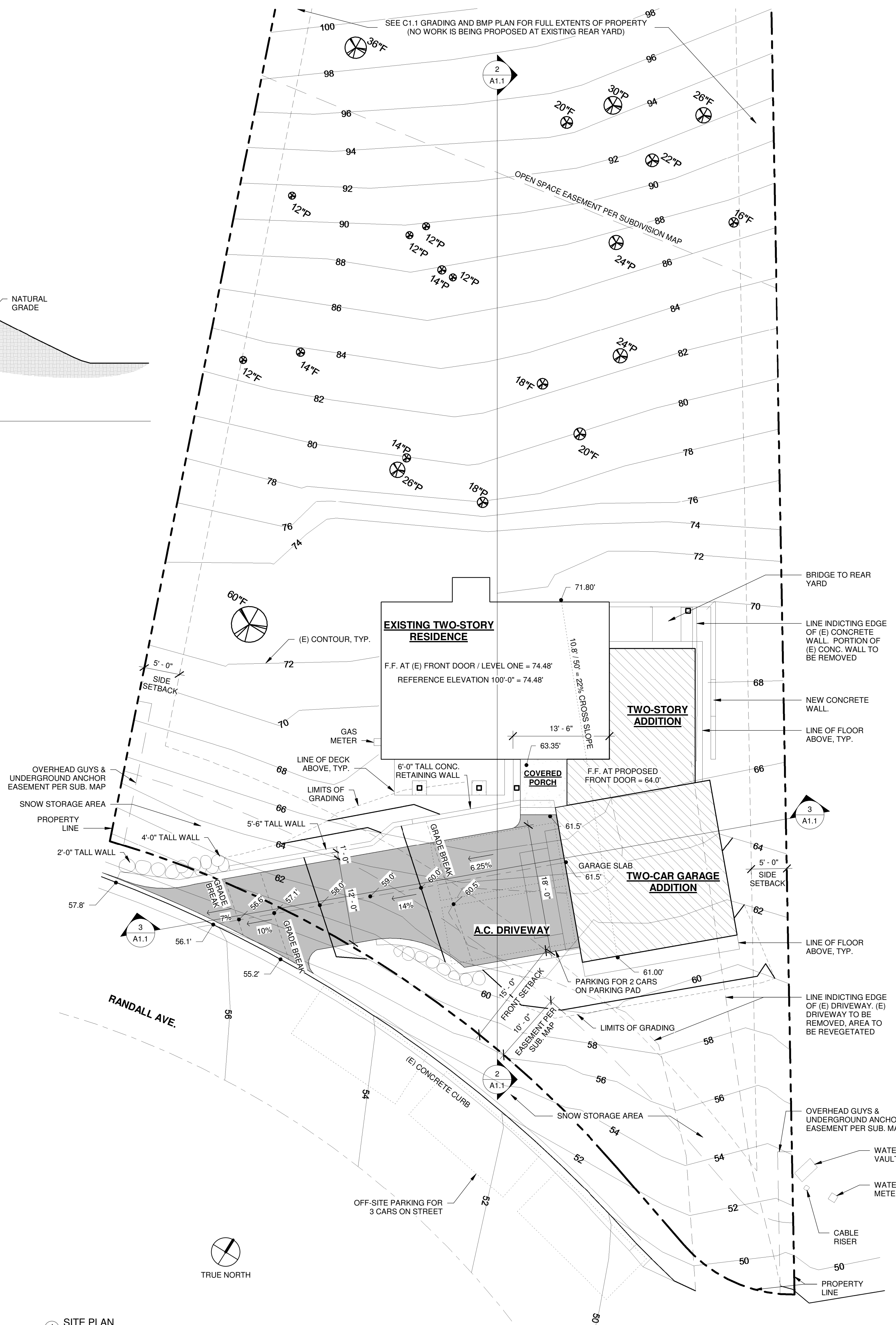




2 SITE SECTION
1/8" = 1'-0"



3 SITE SECTION
1/8" = 1'-0"



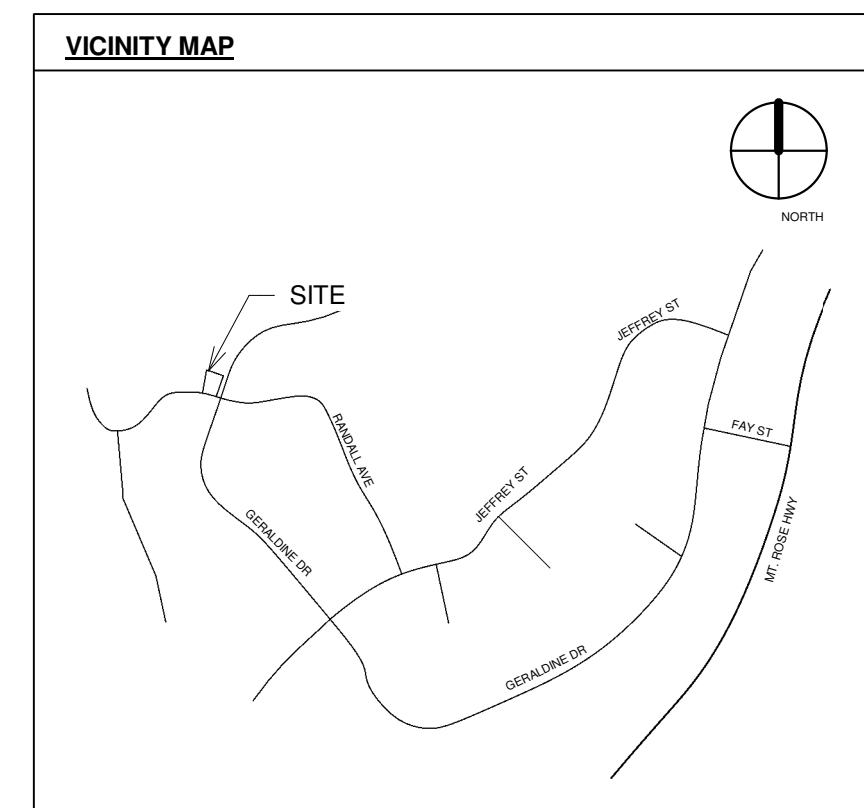
1 SITE PLAN
1/8" = 1'-0"

PROJECT DATA	
OWNER:	DAVID & TAMMY RUTZ P.O. BOX 7862 TAHOE CITY, CA 96145
A.P.N.:	125-251-08
RECORD INFORMATION:	LOT 7, BLOCK D INCLINE VILLAGE UNIT #1
PROJECT LOCATION:	786 RANDALL AVE. INCLINE VILLAGE, NV
LAND CAPABILITY DISTRICT:	CLASS 1a

SHEET INDEX	
C1.1	GRADING AND BMP PLAN
A1.1	SITE PLAN AND SITE SECTIONS
A2.1	LEVEL ONE LIGHTING PLAN
A2.2	LEVEL TWO LIGHTING PLAN
A2.3	LEVEL THREE LIGHTING PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
TOPOGRAPHIC SURVEY SHOWING EXISTING CONDITIONS ON SITE	

LEGEND	
○ 10P	10" PINE TREE
○ 10LP	10" LODGEPOLE PINE
○ 10F	10" FIR TREE
○ ST	STUMP
○ ORN	ORNAMENTAL
⊗ 10P	TREE TO BE REMOVED
---	PROPERTY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	(E) CONTOUR LINE
---	(P) CONTOUR LINE

CONTOURS SHOWN AT TWO FOOT INTERVALS. TOPOGRAPHIC INFORMATION OBTAINED FROM A FIELD SURVEY COMPLETED BY TURNER & ASSOCIATES, INC. LAND SURVEYING, DATED 5-17.



COMPLIANCE NOTE:
THE DESIGN DRAWINGS ARE IN COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.

NOTES:
SIGNIFICANT HYDROLOGICAL RESOURCES ARE NOT PRESENT NEAR THIS SITE ACCORDING TO MAP 110.418.05.1 IN ARTICLE 418 OF THE WASHOE COUNTY DEVELOPMENT CODE.

BRANDON MITCHELL
ARCHITECT

530-314-9485
mitchell_tahoe@yahoo.com
BM4arch.com

RUTZ RESIDENCE

786 RANDALL AVE
INCLINE VILLAGE, NV

Revisions

Date 2-6-18

Drawn By BMA

Scale As indicated

SITE PLAN & SITE SECTIONS

A1.1

**RUTZ
RESIDENCE**

786 RANDALL AVE
INCLINE VILLAGE, NV

Revisions

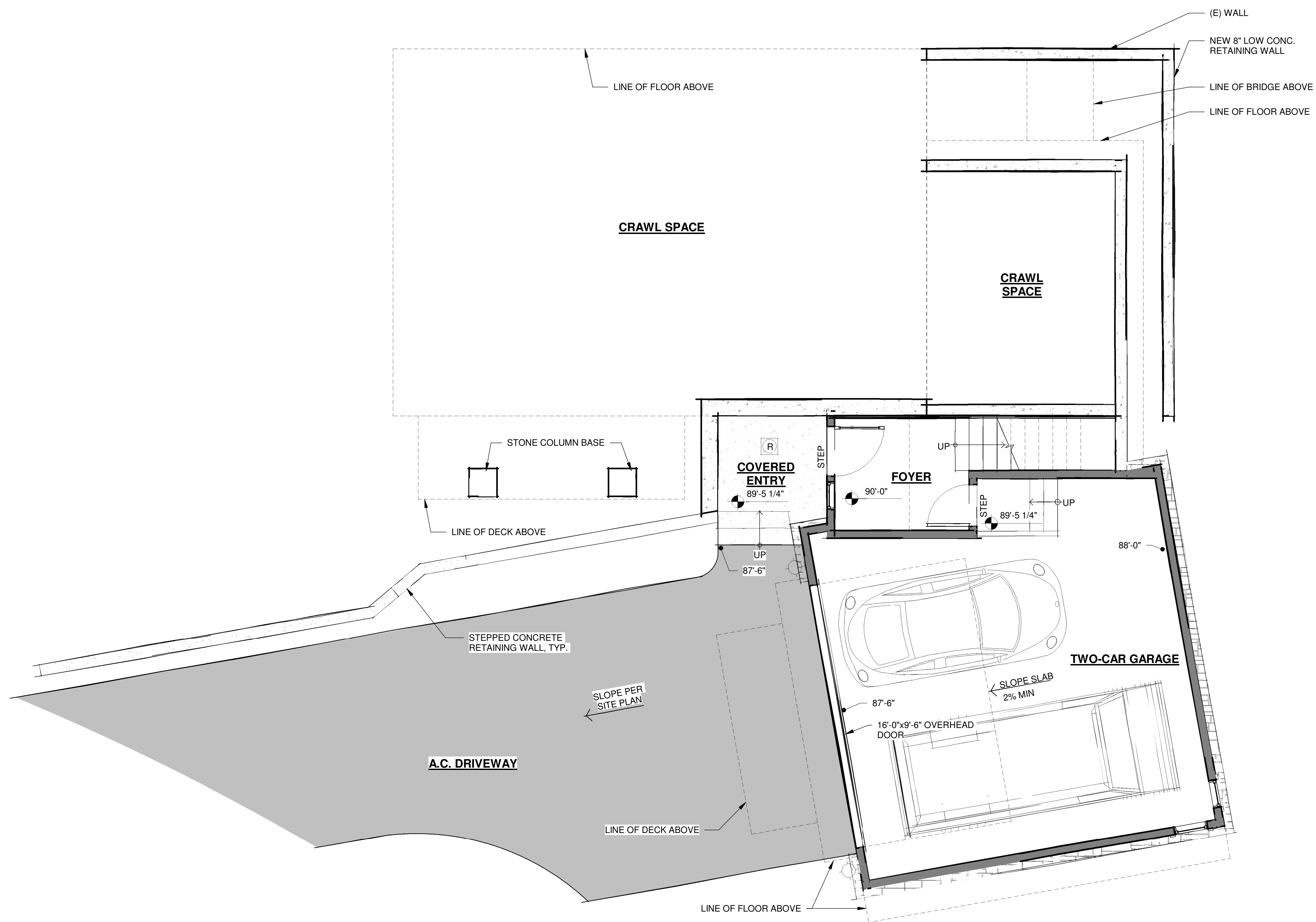
Date 2-6-18

Drawn By BMA

Scale 1/4" = 1'-0"

LEVEL ONE LIGHTING
PLAN

A2.1



EXTERIOR LIGHTING LEGEND	
	WALL MOUNTED LIGHT FIXTURE (FIXTURE SHOWN TO THE RIGHT)
	RECESSED 4" CAN COMPACT FLUORESCENT LIGHT FIXTURE

WALL LEGEND	
	CONCRETE WALL, S.S.D.
	2x4 WOOD STUD WALL
	2x6 WOOD STUD WALL, S.S.D.
	(E) 2x4 WOOD STUD WALL, S.S.D.
	(E) 2x6 WOOD STUD WALL, S.S.D.

GARAGE = 477 S.F. LEVEL ONE = 97 S.F.
LEVEL ONE = 97 S.F. LEVEL TWO = 1,532 S.F.
LEVEL THREE = 946 S.F.
TOTAL = 2,575 S.F.

① LEVEL ONE LIGHTING PLAN
1/4" = 1'-0"

**RUTZ
RESIDENCE**

786 RANDALL AVE
INCLINE VILLAGE, NV

Revisions

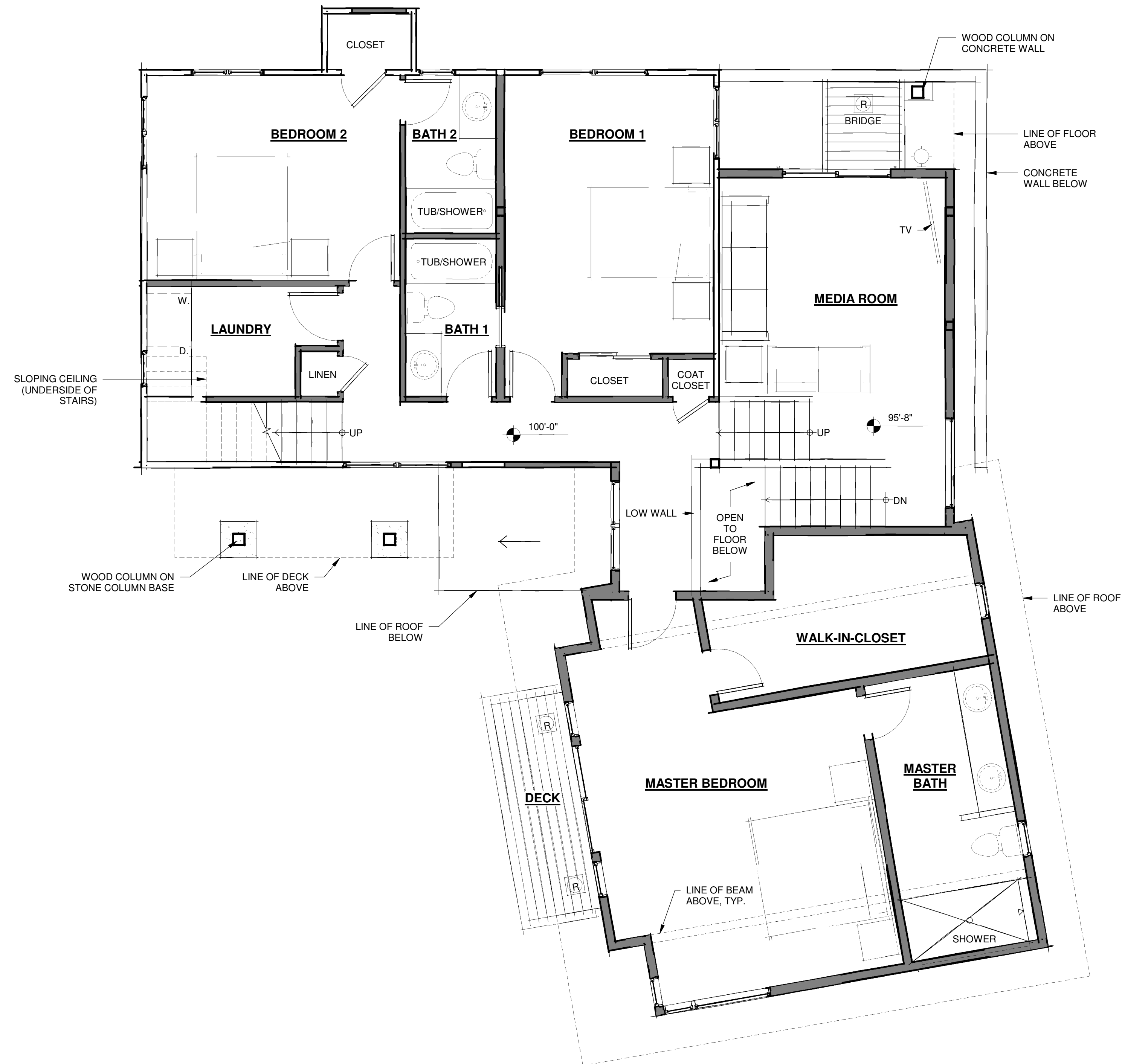
Date 2-6-18

Drawn By BMA

Scale 1/4" = 1'-0"

LEVEL TWO LIGHTING
PLAN

A2.2



EXTERIOR LIGHTING LEGEND	
	WALL MOUNTED LIGHT FIXTURE (FIXTURE SHOWN TO THE RIGHT)
	RECESSED 4" CAN COMPACT FLUORESCENT LIGHT FIXTURE

WALL LEGEND	
	2x4 WOOD STUD WALL
	2x6 WOOD STUD WALL, S.S.D.
	(E) 2x4 WOOD STUD WALL, S.S.D.
	(E) 2x6 WOOD STUD WALL, S.S.D.

DECK = 48 S.F. LEVEL ONE = 97 S.F.
LEVEL TWO = 1,532 S.F. LEVEL TWO = 1,532 S.F.
LEVEL THREE = 946 S.F.
TOTAL = 2,575 S.F.

① LEVEL TWO LIGHTING PLAN
1/4" = 1'-0"

**RUTZ
RESIDENCE**

786 RANDALL AVE
INCLINE VILLAGE, NV

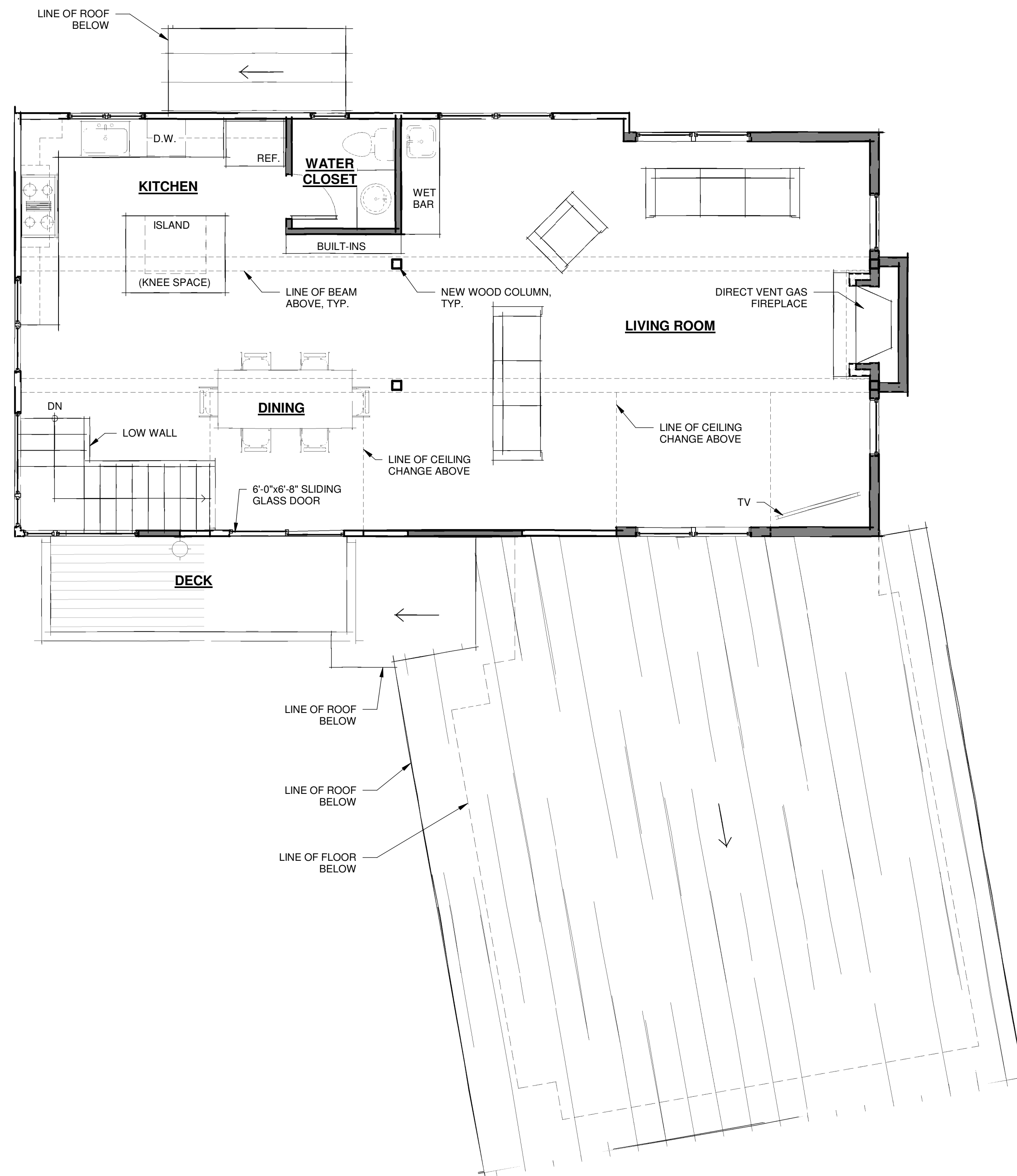
Revisions

Date 2-6-18

Drawn By BMA

Scale 1/4" = 1'-0"

LEVEL THREE LIGHTING
PLAN



EXTERIOR LIGHTING LEGEND	
	WALL MOUNTED LIGHT FIXTURE (FIXTURE SHOWN TO THE RIGHT)

WALL LEGEND	
	2x4 WOOD STUD WALL
	2x6 WOOD STUD WALL, S.S.D.
	(E) 2x4 WOOD STUD WALL, S.S.D.
	(E) 2x6 WOOD STUD WALL, S.S.D.

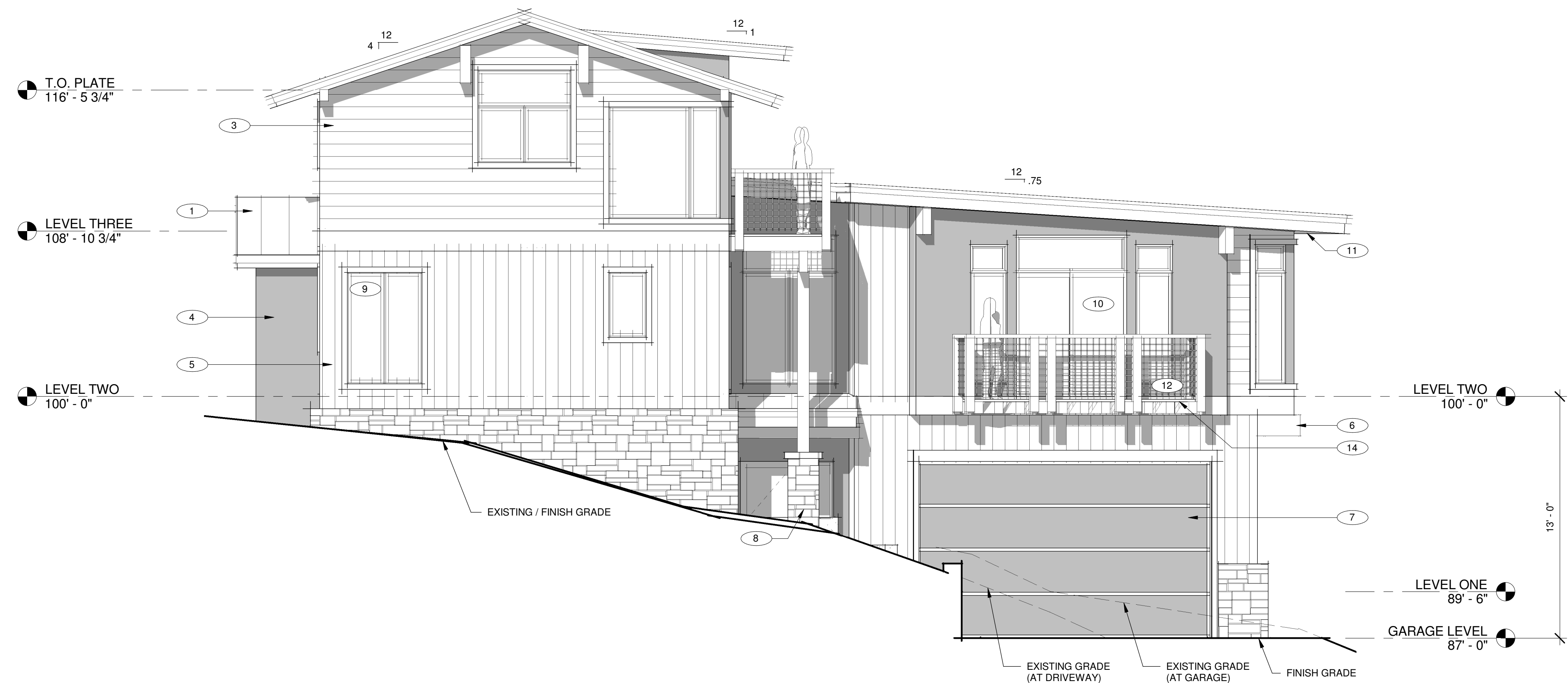
DECK = 77 S.F. LEVEL ONE = 97 S.F.
LEVEL THREE = 946 S.F. LEVEL TWO = 1,532 S.F.
LEVEL THREE = 946 S.F.
TOTAL = 2,575 S.F.

NOTE: NOT ALL WINDOWS ARE SHOWN.

① LEVEL THREE LIGHTING PLAN
1/4" = 1'-0"



① SOUTH ELEVATION
1/4" = 1'-0"



② WEST ELEVATION
1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND

- ① STANDING SEAM METAL ROOFING (MAGNA LOC) AND EXPOSED METAL FLASHINGS: METAL SALES, 24 GA., 16" PANEL WITH STRIATIONS, KYNAR PVDF FINISH
- ② COMPOSITION SHINGLE ROOFING: CERTAINTED "LANDMARK PREMIUM" LANDMARK PREMIUM SERIES (LIFETIME WARRANTY)
- ③ HORIZONTAL WOOD SIDING: 1x8 WESTERN RED CEDAR, ROUGH, STK WITH 1/4" RABBIT. MITER ALL EXTERIOR CORNERS, TYP.
- ④ 22 GA. FLAT STOCK METAL SIDING, PROVIDE JOINTS AT METAL AS REQUIRED. LAP ALL PANELS AT ALL JOINT LOCATIONS. PROVIDE 22 GA. METAL, 5.5" TRIM, AT ALL CORNERS.
- ⑤ VERTICAL WOOD SIDING: 1x8 WESTERN RED CEDAR, CLEAR T&G, WITH TWP STAIN, COLOR: NATURAL. MITER ALL EXTERIOR CORNERS, TYP.
- ⑥ EXPOSED WOOD POSTS, BEAMS, BRACES & 2x4 DOOR TRIM AND WINDOW TRIM
- ⑦ SOLID WOOD GARAGE DOOR WITH 22 GA. FLAT STOCK METAL PANELS
- ⑧ COLUMN BASE AND NATURAL STONE VENEER: VAN TASSELL GRANITE RANDOM PATTERN. USE LARGER STONE AT BASE AND CORNERS, TYP. PROVIDE BASE CAP AT COLUMN BASE
- ⑨ ALUMINUM CLAD WOOD WINDOW SYSTEM BY SIERRA PACIFIC
- ⑩ ALUMINUM CLAD WOOD SLIDING DOOR BY SIERRA PACIFIC
- ⑪ SOFFITS: WESTERN RED CEDAR, 2x6 T&G SOFFIT BOARDS
- ⑫ BALUSTRADE: SHAPED 3x6 TOP CAP WITH 6x6 BALUSTERS INFILLED WITH 3"x3" WELDED WIRE MESH
- ⑬ EXPOSED CONCRETE STEM WALLS. STAIN WITH SCOFIELD CONCRETE STAIN
- ⑭ DECKING: IPE "IRONWOOD", 2x6 MIN.

NOTES:
1. ALL EXTERIOR COLORS SHALL BE COMPLIANT WITH TRPA APPROVED COLORS.
2. WALL MOUNTED EXTERIOR LIGHT FIXTURE (DARK SKY COMPLIANT FIXTURE TO BE INSTALLED)

**RUTZ
RESIDENCE**

786 RANDALL AVE
INCLINE VILLAGE, NV

Revisions

Date 2-6-18

Drawn By BMA

Scale 1/4" = 1'-0"

EXTERIOR ELEVATIONS



1 NORTH ELEVATION
1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND

- 1 STANDING SEAM METAL ROOFING (MAGNA LOC) AND EXPOSED METAL FLASHINGS: METAL SALES, 24 GA., 16" PANEL WITH STRIATIONS, KYNAR PVDF FINISH
- 2 COMPOSITION SHINGLE ROOFING: CERTANTEED "LANDMARK PREMIUM" LANDMARK PREMIUM SERIES (LIFETIME WARRANTY)
- 3 HORIZONTAL WOOD SIDING: 1x8 WESTERN RED CEDAR, ROUGH, STK WITH 1/4" RABBIT. MITER ALL EXTERIOR CORNERS, TYP.
- 4 22 GA. FLAT STOCK METAL SIDING, PROVIDE JOINTS AT METAL AS REQUIRED. LAP ALL PANELS AT ALL JOINT LOCATIONS. PROVIDE 22 GA. METAL, 5.5" TRIM, AT ALL CORNERS.
- 5 VERTICAL WOOD SIDING: 1x8 WESTERN RED CEDAR, CLEAR T&G, WITH TWP STAIN, COLOR: NATURAL. MITER ALL EXTERIOR CORNERS, TYP.
- 6 EXPOSED WOOD POSTS, BEAMS, BRACES & 2x4 DOOR TRIM AND WINDOW TRIM
- 7 SOLID WOOD GARAGE DOOR WITH 22 GA. FLAT STOCK METAL PANELS
- 8 COLUMN BASE AND NATURAL STONE VENEER: VAN TASSELL GRANITE RANDOM PATTERN. USE LARGER STONE AT BASE AND CORNERS, TYP. PROVIDE BASE CAP AT COLUMN BASE
- 9 ALUMINUM CLAD WOOD WINDOW SYSTEM BY SIERRA PACIFIC
- 10 ALUMINUM CLAD WOOD SLIDING DOOR BY SIERRA PACIFIC
- 11 SOFFITS: WESTERN RED CEDAR, 2x6 T&G SOFFIT BOARDS
- 12 BALUSTRADE: SHAPED 3x6 TOP CAP WITH 6x6 BALUSTERS INFILLED WITH 3"x3" WELDED WIRE MESH
- 13 EXPOSED CONCRETE STEM WALLS. STAIN WITH SCOFIELD CONCRETE STAIN
- 14 DECKING: IPE "IRONWOOD", 2x6 MIN.

NOTES:
1. ALL EXTERIOR COLORS SHALL BE COMPLIANT WITH TRPA APPROVED COLORS.
2. WALL MOUNTED EXTERIOR LIGHT FIXTURE (DARK SKY COMPLIANT FIXTURE TO BE INSTALLED)



2 EAST ELEVATION
1/4" = 1'-0"

**RUTZ
RESIDENCE**

786 RANDALL AVE
INCLINE VILLAGE, NV

Revisions

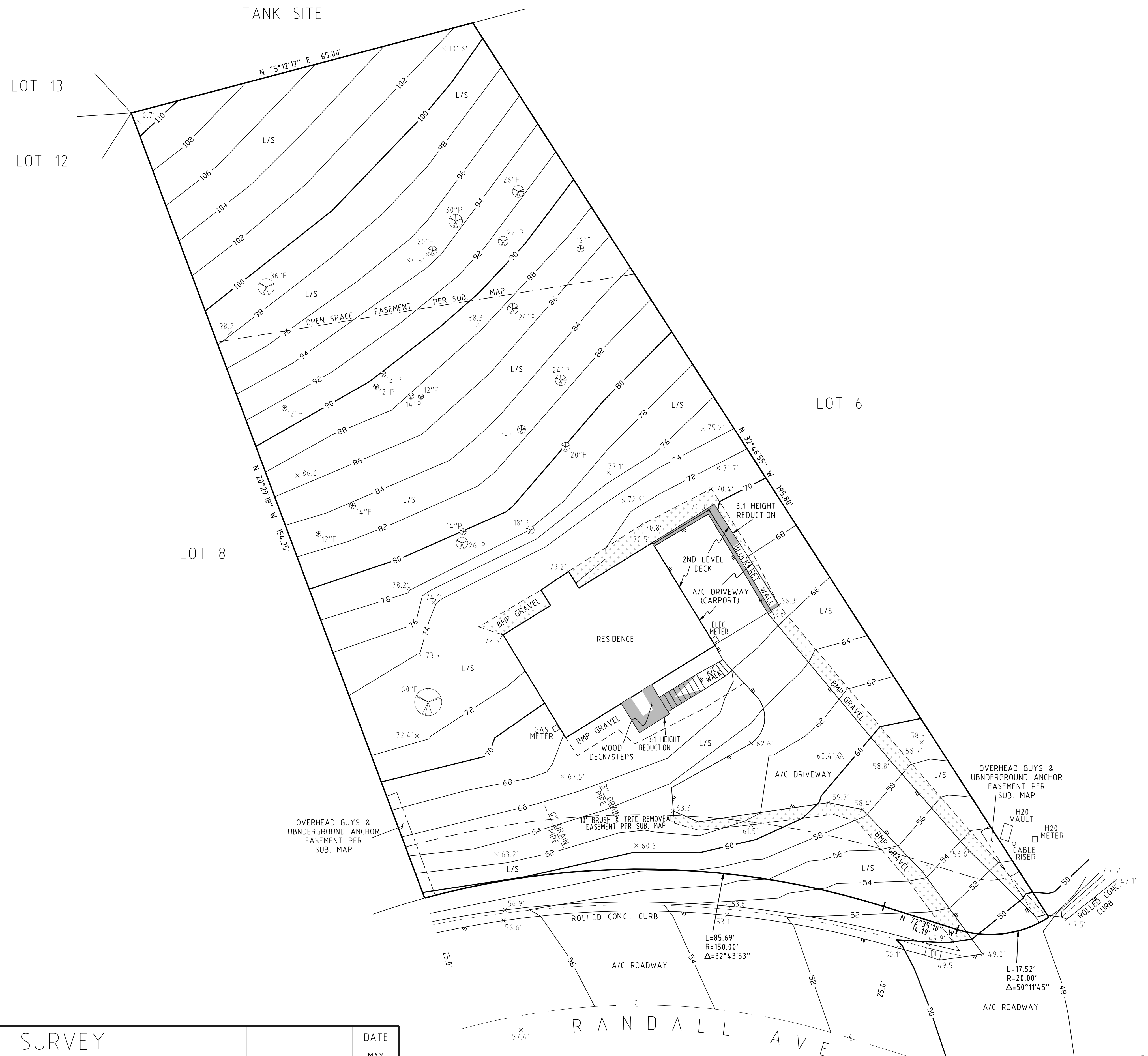
Date 2-6-18

Drawn By BMA

Scale 1/4" = 1'-0"

EXTERIOR ELEVATIONS

A3.2



- LEGEND**
- A ASPEN TREE
 - A/C ASPHALTIC CONCRETE
 - BMP BEST MANAGEMENT PRACTICE
 - DI DRAIN INLET
 - F FIR TREE
 - L/S LANDSCAPE/NATURAL GROUND
 - P PINE TREE
 - x77.7 SPOT ELEVATION
 - EDGE OF PAVEMENT
 - △ CONTROL POINT

CLIENT & MAILING ADDRESS
 DAVE RUTZ
 P.O. BOX 7662
 TAHOE CITY, CA 95145

LAND AREA
 13,925 SQUARE FEET

COVERAGE W/ 3:1 HEIGHT REDUCTION WHERE APPLICABLE

CATEGORY	SQUARE FEET
RESIDENCE	737
A/C DRIVEWAY	1372
WOOD DECK/STEPS	19
TOTAL	2,128

ESTIMATED OFFSITE COVERAGE

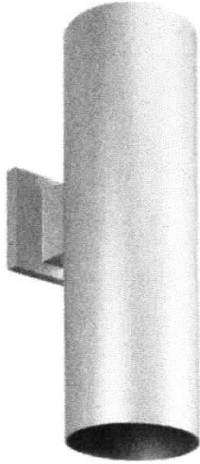
CATEGORY	SQUARE FEET
A/C DRIVEWAY	33
TOTAL	33

NOTES

- FIELD WORK FOR THIS SURVEY WAS PERFORMED WITH 0'-4" OF SNOW ON THE GROUND, AND THEREFORE MAY NOT ACCURATELY DEPICT ALL GROUND FEATURES.
- THE PROPERTY LINE INFORMATION SHOWN HEREON IS FROM RECORD DATA AND DOES NOT REPRESENT A BOUNDARY SURVEY.
- THIS SURVEY HAS BEEN PREPARED WITHOUT USE OF A TITLE REPORT UNLESS REFERENCED HEREON, TURNER AND ASSOCIATES INC. ASSUMES NO RESPONSIBILITY FOR ANY EASEMENTS WHICH MAY AFFECT THIS PROPERTY
- PROPERTY OWNER AND/OR DESIGNER MUST VERIFY BUILDING SETBACKS AND ANY OTHER BUILDING RESTRICTIONS BEFORE ANY DESIGN OR CONSTRUCTION.
- ONLY VISIBLE UTILITIES AND FEATURES HAVE BEEN LOCATED.
- THIS DRAWING OR MAP IS THE PROPERTY OF TURNER & ASSOCIATES INC., AND MAY NOT BE USED OR REPRODUCED WITHOUT THE CONSENT OF TURNER & ASSOCIATES INC.

BENCH MARK		TOPOGRAPHIC SURVEY LOT 7, BLK. D, INCLINE VILLAGE UNIT NO. 1 APN 125-251-08, 786 RANDALL AVE. WASHOE CO., NV				DATE		
NUMBER						MAY 2017		
ELEVATION	100.00'	SHEET 1 OF 1						
DATUM	ASSUMED							
DESCRIPTION	SET MAG NAIL	JOB NO. 17016						
	IN A/C ROADWAY							
REVISION NO.	DATE	DESCRIPTION	FIELD SW - JR	DRAWN SW	FILE NAME 17016.DWG	CHECKED JWT	BY	CHKD

TURNER & ASSOCIATES, INC.
 LAND SURVEYING
 (775) 588-5658
 FAX (775) 588-9296
 308 DORLA COURT, SUITE 203 - ROUND HILL, NEVADA 89448
 P.O. BOX 5067 - STATELINE, NEVADA 89449



P5642-30K - Cylinder - 18" 58W 2 LED Outdoor Wall Mount by Progress Lighting

Specs

Family/Collection:	Cylinder
Depth/Extension:	8.88"
Height:	18.00"
Height from Center:	8.00"
Width/Diameter (in):	6.00"
Wire Length:	6.00"
# of Bulbs:	2
Standard Wattage:	29W
Bulb Type:	LED
Bulbs Included:	Yes
Voltage Rating:	120V
Material:	Cast Aluminum
Optional Finishes:	Yes
Weight:	5.90 lbs.

Style and Option 1

Style:	Antique Bronze Finish
Item #:	P5642-20/30K
Price:	From \$155.74

Style and Option 2

Style:	White Finish
Item #:	P5642-30/30K
Price:	From \$155.74

Style and Option 3

Style:	Black Finish
Item #:	P5642-31/30K
Price:	From \$155.74

Style and Option 4

Style:	Metallic Gray Finish
Item #:	P5642-82/30K
Price:	From \$155.74



DESCRIPTION

Regressed lens adjustable downlight shower trim with reflector is designed for use with IC or Non-IC AIR-TITE™ 3" Halo small aperture line and low voltage housings. Models 3007WHC, 3007PCC and 3007SN have nonconductive and non-corrosive polymer trim rings. Models 3007AC and 3007TBZ have die-cast trim rings. This wet location listed shower trim uses MR16 low voltage or GU10 line voltage lamps, ideal for accent and task lighting. Regressed lens trim offers 15° tilt with 360° orientation within housing.

Catalog #		Type
Project		
Comments		Date
Prepared by		

DESIGN FEATURES

Trim combinations include Specular Clear Reflector with Matte White or Polished Chrome trim ring, Satin Nickel reflector and trim ring, Antique Copper reflector and trim ring, Tuscan Bronze reflector and trim ring. Three pressure springs ensure positive retention in housing.

3007 is designed for use with the following Halo H3 small aperture housings:

- Line Voltage Housing (for 120V GU10 lamps). For 2 x 6 Construction

H36ICAT	50W	IC Air-Tite Housing
H36TAT	50W	Non-IC Air-Tite Housing
H36RTAT	50W	Non-IC Air-Tite Remodel Housing
- Low Voltage Housing (for 12V MR16 lamps). For 2 x 6 Construction

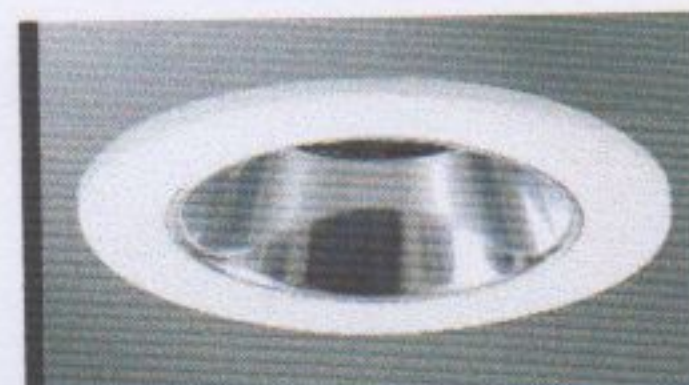
H36LVICAT	50W	IC Air-Tite Housing
H36LVTAT	50W	Non-IC Air-Tite Housing
H36LVRTAT	50W	Non-IC Air-Tite Remodel Housing
H36LVTAT277	50W	Non-IC Air-Tite Housing, 120/277V
H36LVRTAT277	50W	Non-IC Air-Tite Remodel Housing, 120/277V
- Line Voltage Housing (for 120V GU10 lamps). For 2 x 8 Construction

H38ICAT	50W	IC Air-Tite Housing
---------	-----	---------------------
- Low Voltage Housing (for 12V MR16 lamps). For 2 x 8 Construction

H38LVICAT	37W	IC Air-Tite Housing
-----------	-----	---------------------



Lamp Aperture: 2" [51mm]
 Reflector Diameter: 3" [75mm]
 Ceiling Opening: 3-3/4" [95mm]
 Outside Diameter: 4-1/4" [108mm]



3007WHC
White with Specular Clear Reflector



3007PCC
Polished Chrome with Specular Clear Reflector



3007SN
Satin Nickel with Satin Nickel Reflector



3007AC
Antique Copper with Antique Copper Reflector



3007TBZ
Tuscan Bronze with Tuscan Bronze Reflector

ORDERING INFORMATION

SAMPLE NUMBER: 3007PCC

Order housing and trims separately.

Trim	Finish
3007	

3007= 3" Lensed Showerlight Trim

WHC=White with Specular Clear Reflector, Polymer Trim Ring
 PCC=Polished Chrome with Specular Clear Reflector, Polymer Trim Ring
 SN=Satin Nickel with Satin Nickel Reflector, Polymer Trim Ring
 AC=Antique Copper with Antique Copper Reflector, Die-Cast Trim Ring
 TBZ=Tuscan Bronze with Tuscan Bronze Reflector, Die-Cast Trim Ring

3007

3" Regressed Lens Showerlight Trim



3" TRIMS