

**WESTERN TURF IRRIGATION POND  
SPECIAL USE PERMIT APPLICATION  
FOR GRADING**

Prepared for  
Fahnestock Properties, LLC  
P.O. Box 20065  
Reno, NV 89515



**SUMMIT ENGINEERING CORPORATION**  
5405 Mae Anne  
Reno, Nevada 89523  
(775) 747-8550  
(775) 747-8559

Job # 30012

December 15, 2015



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## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: Western Turf Irrigation Pond			
Project Description: Western Turf proposes to excavate and construct a pond for irrigation water storage to support their agricultural needs.			
Project Address: 0 Youngs Road			
Project Area (acres or square feet): 2.73 acres			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): The project is located approximately 1.3 miles east of Pyramid Highway, in Palomino Valley.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
077-200-04	62.13		
Section(s)/Township/Range:			
<b>Indicate any previous Washoe County approvals associated with this application:</b> Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Fahnestock Properties, LLC		Name: Summit Engineering Corp.	
Address: PO Box 20065		Address: 5405 Mae Anne Avenue	
Reno, NV	Zip: 89515		Zip: 89523
Phone: 775-356-8873	Fax: 775-355-5588	Phone: 775-747-8550	Fax: 775-747-8559
Email: jason@westernturf.com		Email: chayes@summitnv.com	
Cell: 775-742-5649	Other:	Cell:	Other:
Contact Person: Jason Perry, V.P.		Contact Person: Colin Hayes	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Fahnestock Properties, LLC		Name:	
Address: PO Box 20065		Address:	
Reno, NV	Zip: 89515		Zip:
Phone: 775-356-8873	Fax: 775-355-5588	Phone:	Fax:
Email: jason@westernturf.com		Email:	
Cell: 775-742-5649	Other:	Cell:	Other:
Contact Person: Jason Perry, V.P.		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Fahnestock Properties Inc

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Mary Gordon Fahnestock  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 077-200-04

Printed Name Mary G. Fahnestock

Signed Mary G. Fahnestock

Address P.O. Box 20065  
Reno NV 89515

Subscribed and sworn to before me this  
12<sup>th</sup> day of December, 2015  
Laurie K. Gehlert

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: 8-25-18

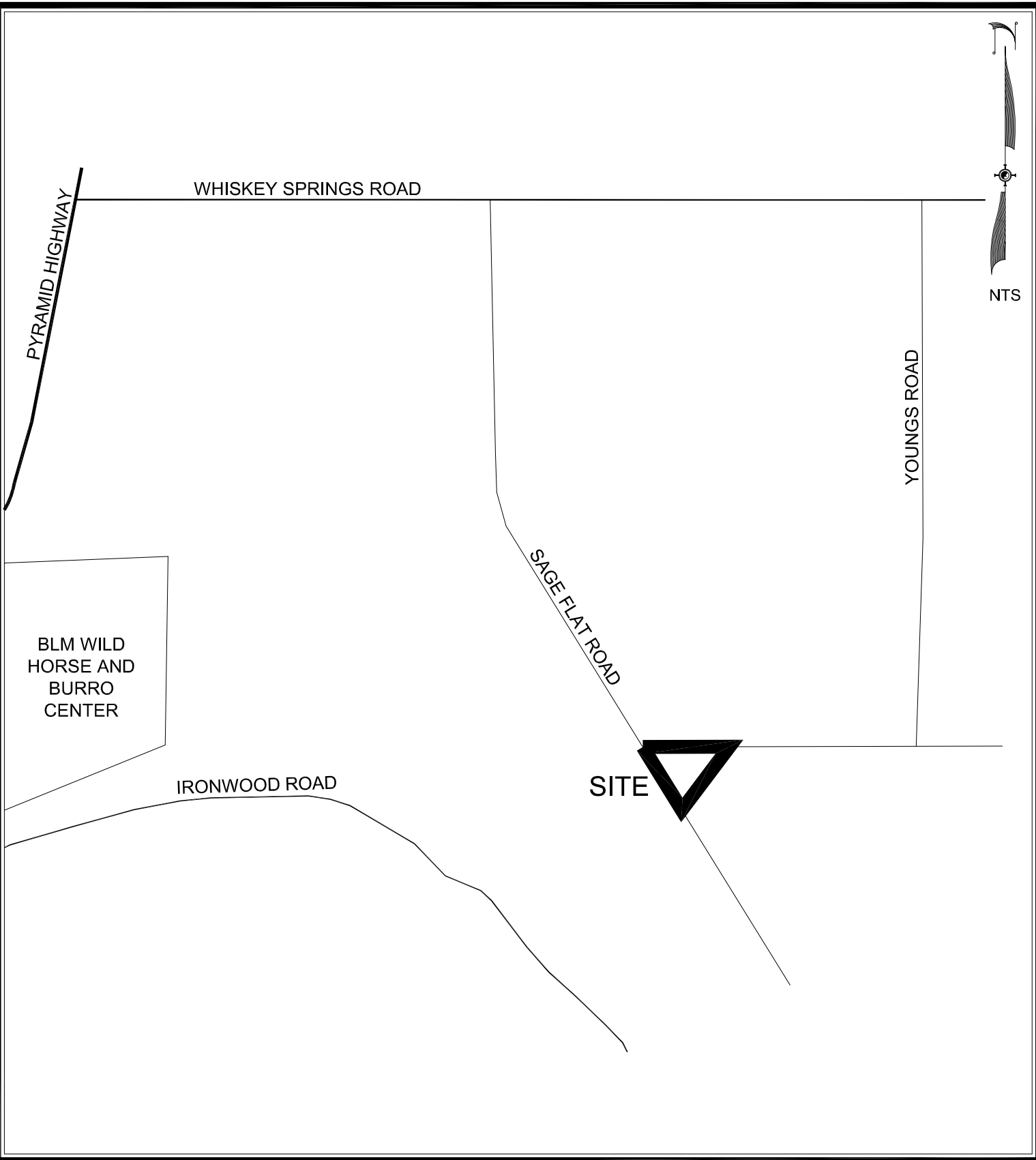


\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship



NTS



WESTERN TURF  
IRRIGATION POND  
VICINITY MAP


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SHEET

OF

# Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

The area to be graded will be used as a water storage pond for an agricultural irrigation system. Water from an on-site well will be pumped into and out of the storage pond, and used to supply the on-site irrigation system.

2. How many cubic yards of material are you proposing to excavate on site?

Approximately 10,600 CY will be excavated

3. How many square feet of surface of the property are you disturbing?

Approximately 120,000 square feet of property will be disturbed to grade the pond.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Material generated from the excavation of the pond will be used as fill to construct the berms and banks of the pond that extend above grade. The proposed grading work will balance on-site.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

The property is already being used for agriculture. The proposed pond will be an improvement to the current irrigation system on the property. The size and depth of the proposed pond meets the operational needs of the irrigation system.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances and the year the work was done.)

The proposed pond grading has not been done previously, but is located at a location that already has an existing pond.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

All areas that are proposed to be disturbed by grading are shown on the plan.

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8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

The surrounding area around the proposed pond is located in Palomino Valley, a rural area, primarily used for agriculture. There are very few residences in the vicinity of the proposed pond. The pond may be visible from Ironwood Road, which is approximately 1,600 feet from the proposed pond. Most of the pond will be located below ground and should be minimally visible from adjacent properties.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

The proposed pond is for the sole use by the applicant, and not intended to serve any properties not owned by the applicant.

10. What is the slope (Horizontal:Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The proposed cut and fill areas are to be constructed at a 3:1 slope. Any erosion within the interior of the pond will be contained within the pond. The proposed outer slope around the exterior of the pond will be temporarily stabilized with fiber rolls or straw wattles (or similar erosion control products) and permanently stabilized with revegetation .

11. Are you planning any berms?

Yes

No

If yes, how tall is the berm at its highest? Approximately 7.2 feet



12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Leveling of a building pad and retaining walls are not required, and are not part of this application.

13. What are you proposing for visual mitigation of the work?

Most of the pond will reside below existing ground, with a relatively small revegetated berm around the outside of the pond. There is no visual mitigation proposed with this application.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

The proposed grading will not require the removal of any trees.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

A revegetation seed mix consisting of native grasses and shrubs will be used to stabilize the outside face of the berm to resist erosion. The proposed application rate is 31.5 lbs per acre. Existing topsoil and vegetation within the limits of grading will be stripped and stockpiled, and applied to the finish graded slopes prior to the application of the seed mix. The final seed mix shall be approved by the owner.

16. How are you providing temporary irrigation to the disturbed area?

Temporary irrigation of the disturbed area will be provided from the existing irrigation system on-site.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

We have not reviewed the proposed pond grading plan with Washoe Storey Conservation District.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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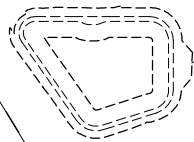
1"=500'

SAGE FLAT ROAD

LOST Z RANCH LLC  
APN 077-200-01

TEHAMA HOLDINGS INC  
APN 077-090-13

FAHNESTOCK  
FAMILY TRUST  
APN 077-100-33



IRRIGATION POND EXTENTS

CHAD & VICTORIA SOUSA  
APN 077-200-08

FAHNESTOCK  
PROPERTIES LLC  
APN 077-200-04

YOUNGS ROAD

FAHNESTOCK  
PROPERTIES  
LLC  
APN 077-100-03

STEVEN W &  
MARIE E  
GARRETT  
APN 077-200-10

KURT STREETER  
APN 077-200-07

LW LAND  
COMPANY LLC  
APN 077-200-05

LW LAND  
COMPANY LLC  
APN  
077-100-02

# WESTERN TURF IRRIGATION POND SITE PLAN

SCALE: 1"=500'

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SHEET

OF

# SPECIAL USE PERMIT FOR GRADING

# WESTERN TURF IRRIGATION POND

## WASHOE COUNTY

## NEVADA

### OWNER/DEVELOPER

FAHNESTOCK PROPERTIES LLC  
ATTN: HARRY FAHNESTOCK  
PO BOX 20065  
RENO, NV 89515  
(775) 356-8873

### BASIS OF BEARINGS

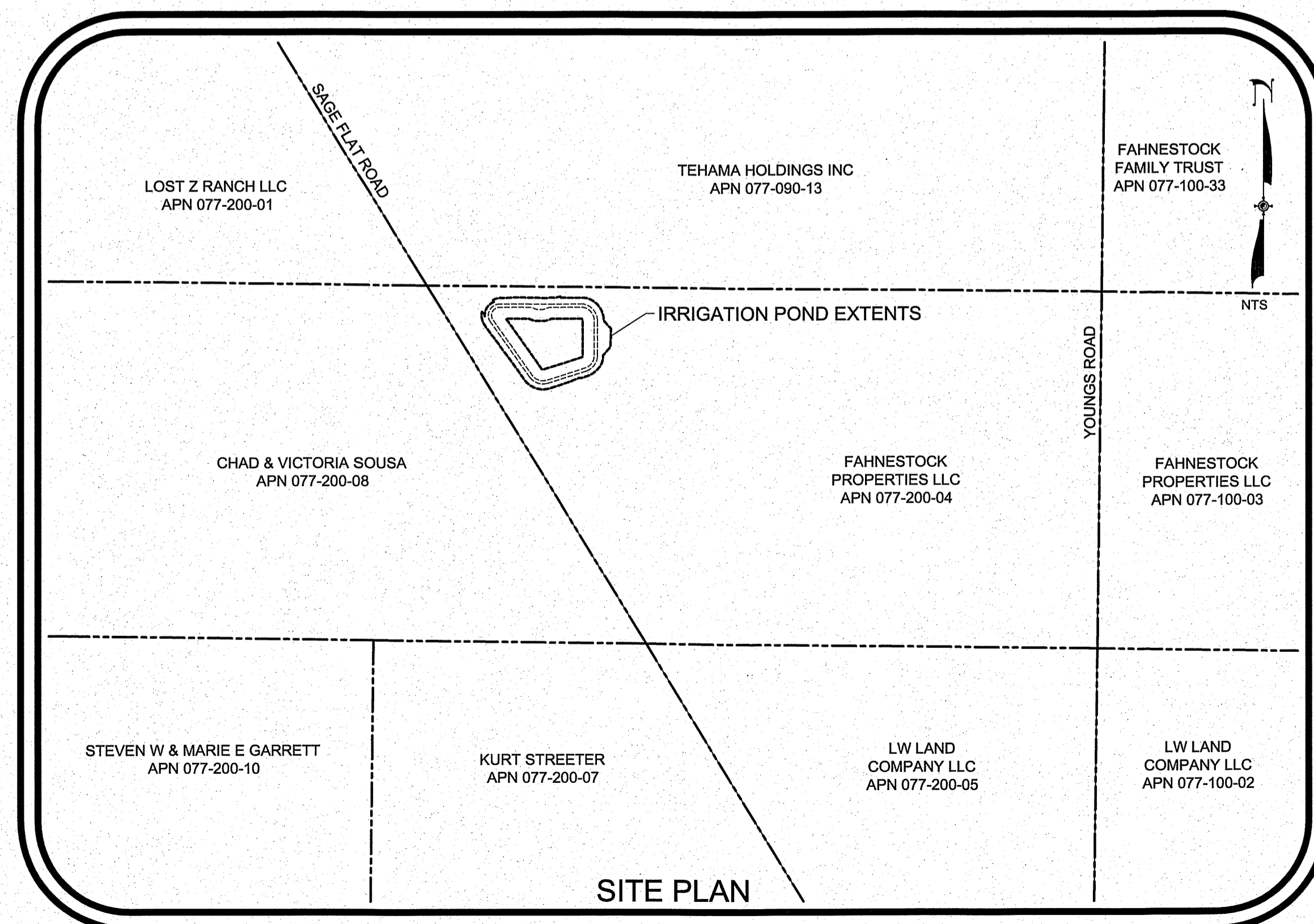
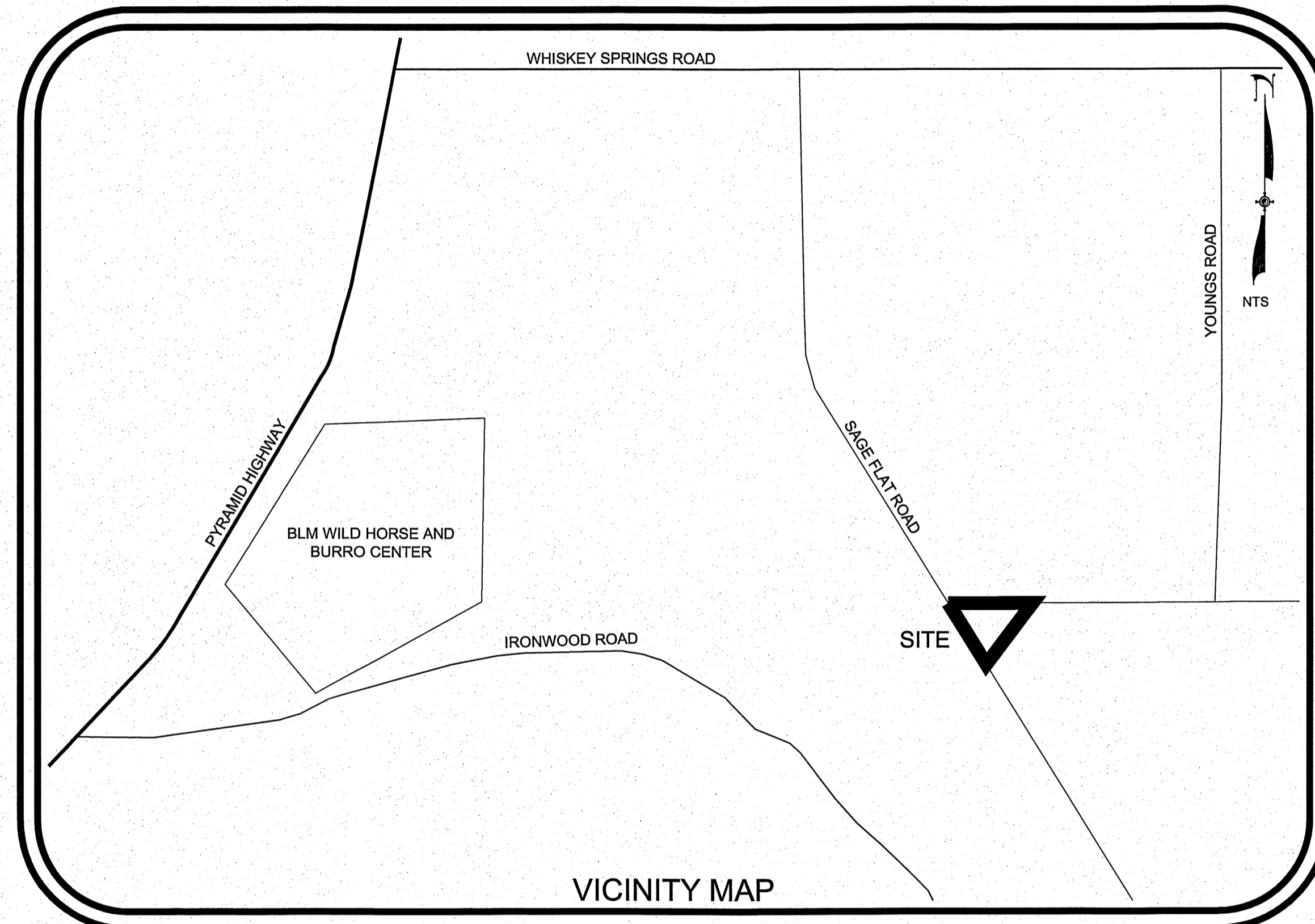
NORTH AMERICAN DATUM OF 1983 AS BASED ON FEDERAL BASE NETWORK/COOPERATIVE BASE NETWORK OBSERVATIONS IN 1994 (AKA NAD83/94), NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE AND HOLDING THE WASHOE COUNTY PUBLISHED LATITUDE AND LONGITUDE FOR SPANISH SPRINGS CORS (SSB2) OF 39°37'14.50679" NORTH AND 119° 43' 21.26411" WEST. A COMBINED GRID-TO-GROUND SCALE FACTOR OF 1.000197939 IS USED TO SCALE THE STATE PLANE GRID COORDINATES (U.S. SURVEY FEET) TO GROUND.

### BASIS OF ELEVATIONS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) HOLDING THE WASHOE COUNTY PUBLISHED NAD83/94 ELLIPSOID HEIGHT FOR CORS SPANISH SPRINGS (SSB2) OF 1357.915 METERS (4455.09 FEET) WITH ORTHOMETRIC ELEVATIONS DERIVED USING GEOID 99.

### ABBREVIATIONS

A.C.	ASPHALT CONCRETE	MIN	MINIMUM
AP	ANGLE POINT	N	NORTH
BC	BEGIN CURVE (HORIZONTAL)	NTS	NOT TO SCALE
BW	BACK OF WALK	PCC	PORTLAND CEMENT CONCRETE
cfs	CUBIC FEET PER SECOND	PAD	PAD GRADE
CONC	CONCRETE	PI	POINT OF INTERSECTION
CONST	CONSTRUCT	PL	PROPERTY LINE
DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
E	EAST	R	RADIUS
EC	END CURVE (HORIZONTAL)	(R)	RADIAL
ELEV	ELEVATION	REF	REFERENCE
EP	EDGE OF PAVEMENT	RET	CURB RETURN
(e)	EXISTING	RP	RADIUS POINT
FES	FLARED END SECTION	RT	RIGHT
fps	FEET PER SECOND	R/W	RIGHT-OF-WAY
FFC	FRONT FACE OF CURB	s	SLOPE
FG	FINISH GRADE	S	SOUTH
FL	FLOW LINE	SD	STORM DRAIN
G	GAS	S.F.	SQUARE FEET
GB	GRADE BREAK	SS	SANITARY SEWER
HORIZ	HORIZONTAL	SSCO	SANITARY SEWER CLEAN OUT
HP	HIGH POINT	SSMH	SANITARY SEWER MANHOLE
IE	INVERT ELEVATION	SW	SIDEWALK
INT	INTERSECTION	TC	TOP OF CURB
L	LENGTH	TYP	TYPICAL
LT	LEFT	W	WATER
MAX	MAXIMUM	Δ	DELTA



### ENGINEER



### SHEET INDEX

C-1 ..... TITLE SHEET  
C-2 ..... PRELIMINARY SITE/GRADING PLAN

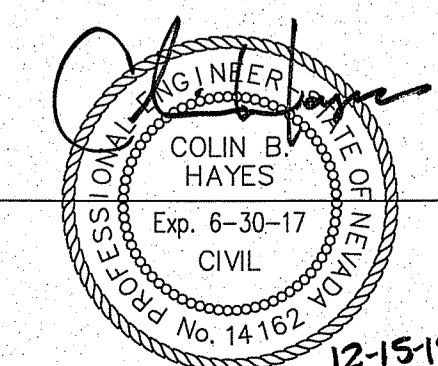
### SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (2012 EDITION AND ANY APPURTENANT SUPPLEMENTS) SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY.

### ENGINEER'S STATEMENT

THESE PLANS (SHEET C-1 OF 2 THROUGH C-2 OF 2) HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, LOCAL ORDINANCES, AND STATE AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY PORTIONS OF THESE PLANS AND APPLICABLE CODES, THE CODES SHALL PREVAIL.

COLIN B. HAYES

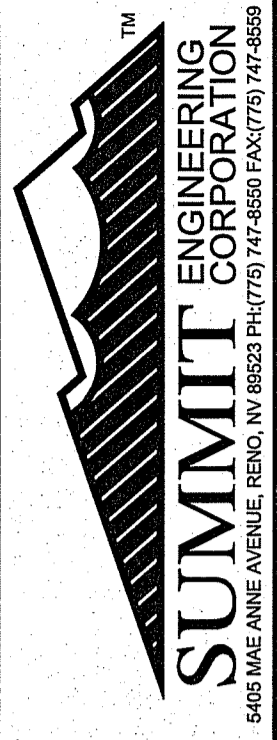


P.E. #14162

SHEET <b>C-1</b>	OF <b>2</b>	SCALE HORIZ: VERT:	JOB NO.: 30012	DATE 12-15-15	BY APP'D	DESCRIPTION	DATE	REV.	BY	APP'D
					SPECIAL USE PERMIT FOR GRADING WESTERN TURF IRRIGATION POND TITLE SHEET				DESIGNED BY: WRA DRAWN BY: wAnderson CHECKED BY: CBH Copyright SUMMIT ENG 2015	
										NEVADA
										WASHOE COUNTY



POND CUT/FILL SUMMARY	
DISTURBED AREA	CUT TO FILL
2.76 ACRES	10,600 CUBIC YARDS



DESIGNED BY: WRA  
 DRAWN BY: wanderson  
 CHECKED BY: CBH  
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SPECIAL USE PERMIT FOR GRADING  
 WESTERN TURF IRRIGATION POND  
 PRELIMINARY SITE/GRADING PLAN  
 NEVADA  
 WASHOE COUNTY

REV.	DATE	DESCRIPTION	BY	APPD

FEMA NOTE:  
 THE ENTIRE PROJECT AREA IS LOCATED WITHIN A "ZONE A" FLOOD DESIGNATION ACCORDING TO FIRM MAP #32031C2875G. MAP EFFECTIVE DATE IS MARCH 16, 2009. "ZONE A" AREAS ARE DETERMINED TO BE SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD BUT HAVE NO BASE FLOOD ELEVATIONS DETERMINED.

**LEGEND**

- 4900- EXISTING CONTOUR LINE
- 4900- PROPOSED CONTOUR LINE
- ▲ CUT OR FILL SLOPE
- SILT FENCE (BMP SC-5)
- ▨ ROCK RIPRAP AREA
- ▨ VEGETATION AREA
- 8"W- WATER LINE W/SIZE INDICATED (DASHED IF EXISTING)
- - - - - PROPERTY LINE

**REVEGETATION NOTES**

- WITHIN AREAS TO BE DISTURBED BY GRADING ACTIVITIES, EXISTING VEGETATION AND TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR RE-USE. CRUSH EXISTING SHRUB VEGETATION AND INCLUDE ALL PLANTS IN HARVESTING PROCEDURE. DO NOT DISCARD EXISTING SHRUBS, AND INTEGRATE INTO STRIPPINGS AND TOPSOIL.
- STOCKPILE APPROXIMATELY 8" TO 12" OF TOPSOIL FROM ALL DISTURBED AREAS. REMOVE ROCKS 4" AND LARGER FROM STOCKPILED SOIL. MATERIAL STOCKPILES SHALL COMPLY WITH REQUIREMENTS OF THE SWPPP AND THE DUST CONTROL PERMIT.
- FOLLOWING COMPLETION OF THE ROUGH GRADING ACTIVITIES, RE-APPLY A MINIMUM OF 4" OF STOCKPILED TOPSOIL TO REVEGETATION AREAS.
- SCARIFY PLACED TOPSOIL TO CREATE FRABLE SURFACE CONDITIONS SUITABLE FOR APPLICATION OF REVEGETATION SEED BLEND.
- APPLY REVEGETATION SEED BLEND WITH BROADCAST SPREADER OR SIMILAR METHOD. RAKE OR BLEND INTO SURFACE OF NATIVE TOPSOIL.
- SEED BLEND SHOULD BE APPLIED IN LATE WINTER OR EARLY SPRING TO IMPROVE PROBABILITY OF NATURAL PRECIPITATION. NATURAL PRECIPITATION MAY NEED TO BE SUPPLEMENTED WITH TEMPORARY IRRIGATION UNTIL GERMINATION OF SEED. TEMPORARY IRRIGATION IS RECOMMENDED FOR AT LEAST TWO GROWING SEASONS TO ENSURE THE SUCCESS OF THE SEEDING.

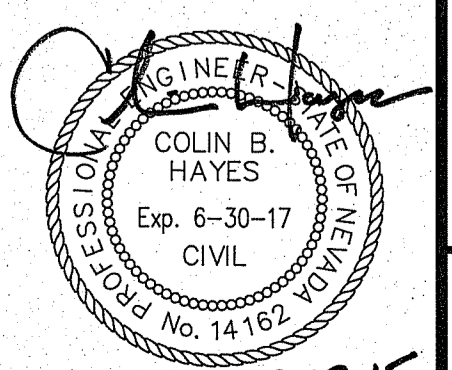
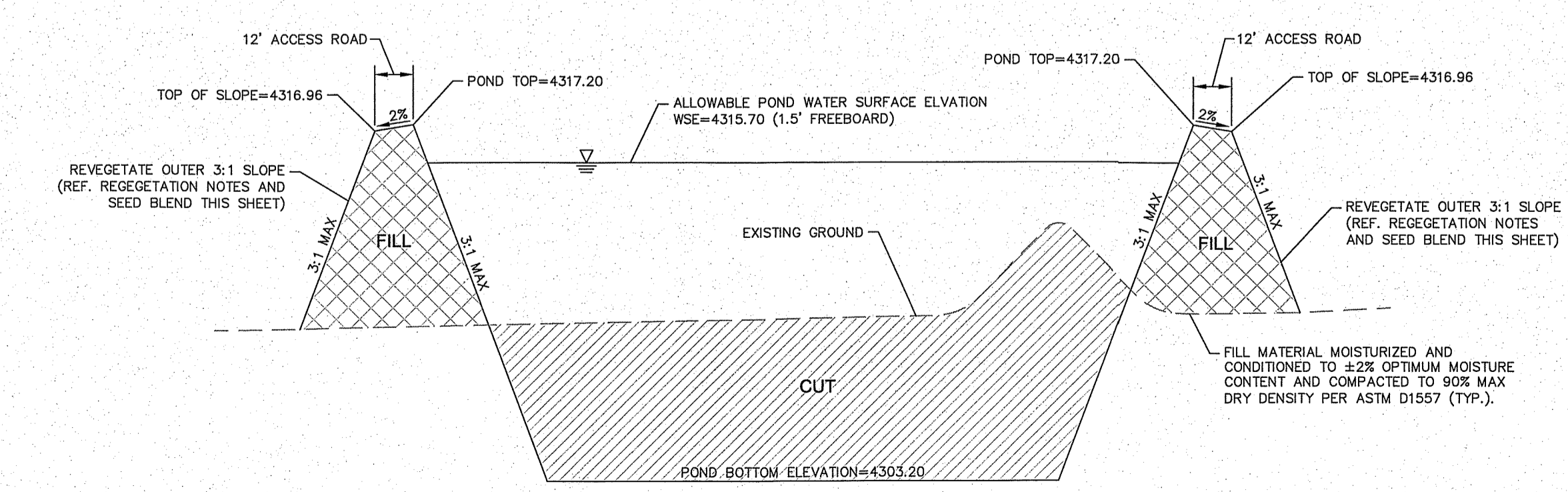
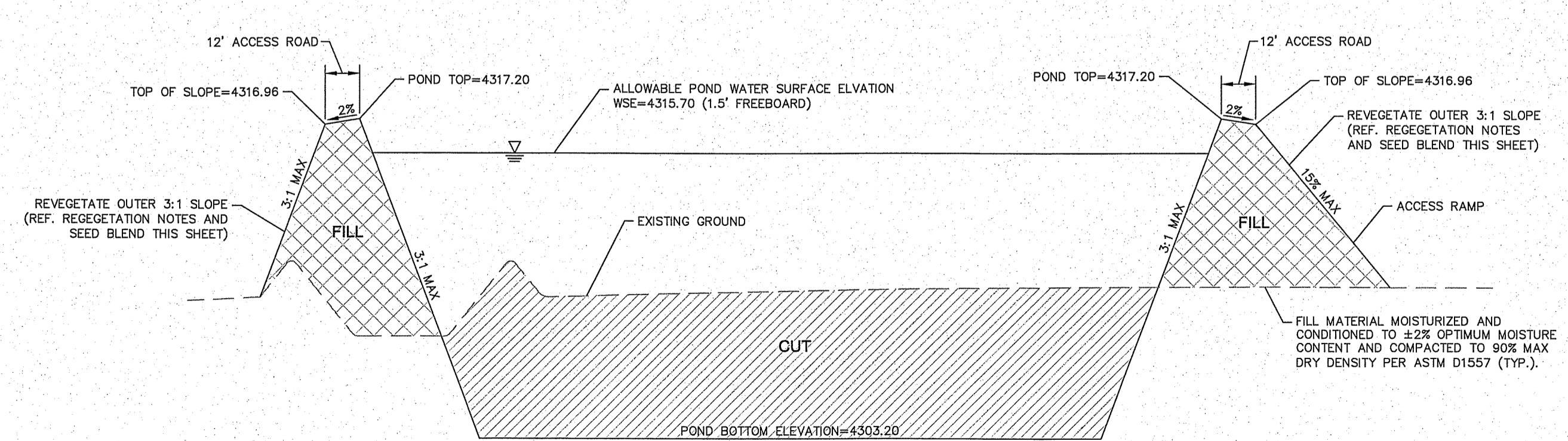
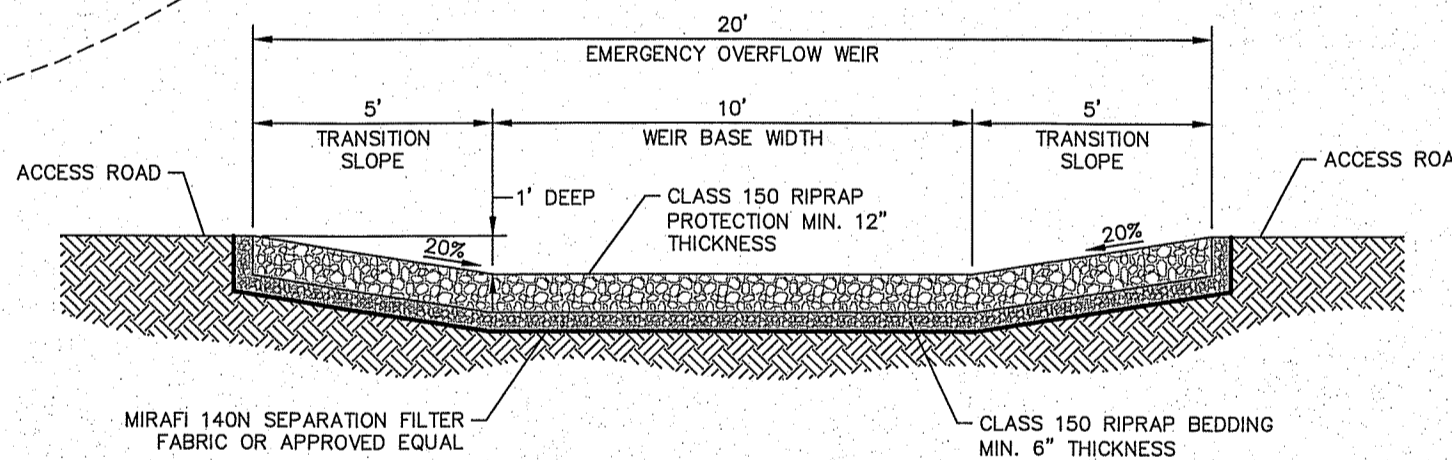
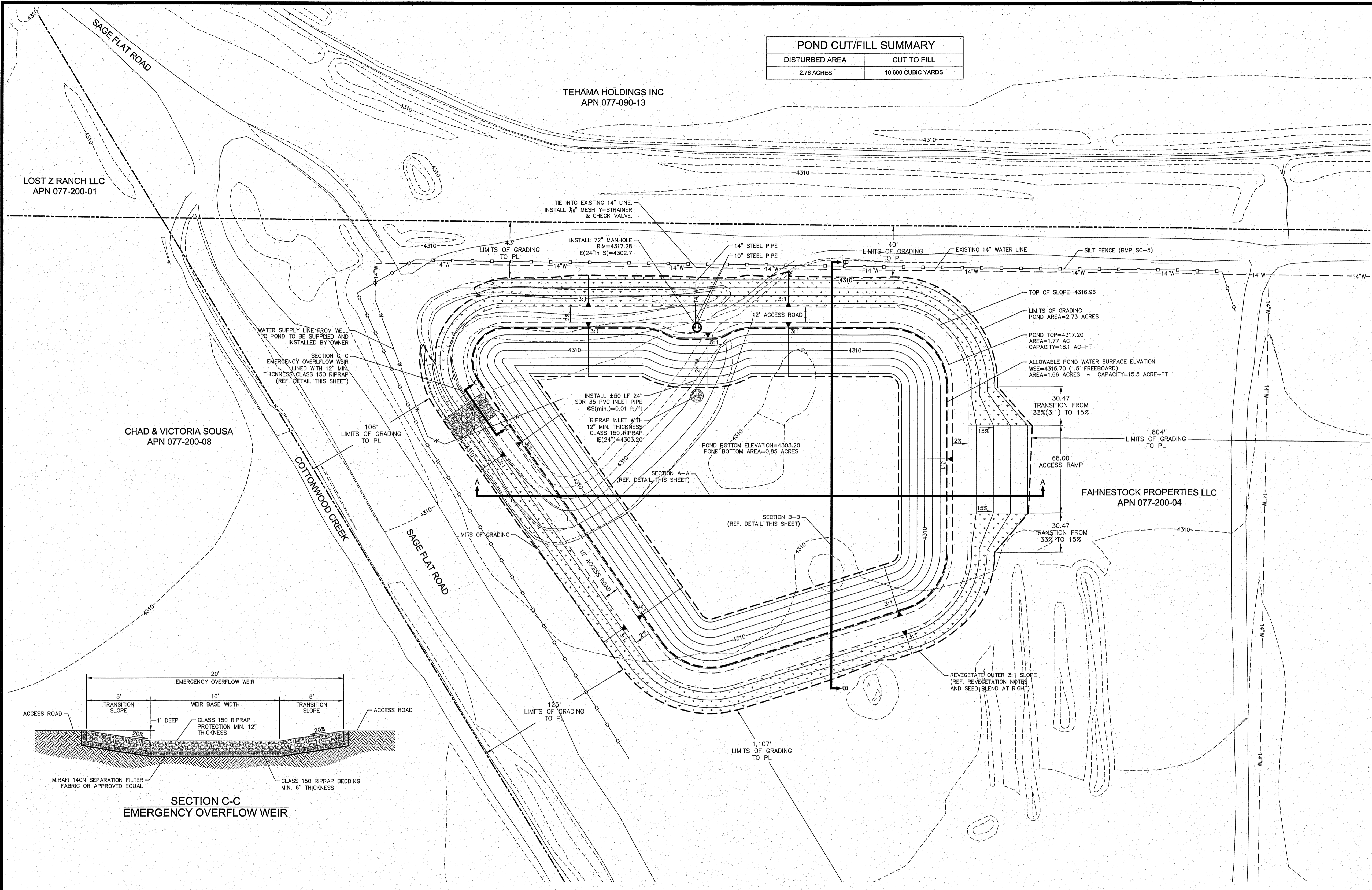
**REVEGETATION SEED BLEND**

THE FINAL SEED BLEND SHALL BE APPROVED BY THE OWNER PRIOR TO APPLICATION:

PLANT NAME/SPECIES	APPLICATION RATE (PLS/LBS PER ACRE)
COWAR SHEEP FESCUE ( <i>Festuca ovina</i> )	1.25
DURAR HARD FESCUE ( <i>Festuca angustifolia</i> var. <i>durioscula</i> )	1.25
SLENDER WHEATGRASS ( <i>Elymus trachycaulus</i> )	3.0
WHEATGRASS, CRESTED NORDAN ( <i>Agropyron cristatum</i> 'Nordan')	2.0
WHEATGRASS, STREAMBANK ( <i>Agropyron riparium</i> )	2.5
WHEATGRASS, BLUEBUNCH SECAR ( <i>Agropyron spicatum</i> )	1.0
SHERMAN BIG BLUEGRASS ( <i>Poa amplex</i> )	3.0
SQUIRRELTAIL ( <i>Elymus elymoides</i> )	2.0
WILDRIE, BASIN 'MAGNAR' ( <i>Elymus cinereus</i> 'Magnar')	2.0
SALTBUSH, FOURWING ( <i>Atriplex</i> sp.)	3.0
BITTERBUSH ( <i>Baccharis arbuscula</i> )	1.0
RABBITBUSH ( <i>Chrysothamnus nauseosus</i> )	0.5
SAGEBRUSH ( <i>Artemisia tridentata</i> ssp. <i>Vaseyana</i> )	0.5
REGREEN ( <i>Triticum aestivum</i> x. <i>elytrigia elongata</i> )	3.5
YARROW ( <i>Achillea millefolium</i> )	0.3
BACHELOR BUTTON ( <i>Centaurea cyanoa</i> )	0.7
GLOBEMALLOW ( <i>Gnaphalium obtusifolium</i> )	0.5
CALIFORNIA POPPY ( <i>Echscholtzia californica</i> )	0.5
INDIAN BLANKET FLOWER ( <i>Gallardia aristata</i> )	0.5
PENSTEMON, PLAMER ( <i>Pentstemon palmeri</i> )	1.5
BLUE FLAX ( <i>Linum perenne</i> )	1.0
PER ACRE	31.5 PLS LBS

**SWPPP NOTES:**

- STANDARD NOTE NO. 1: THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM DRAIN SYSTEM.
- STANDARD NOTE NO. 2: ADDITIONAL CONSTRUCTION SITE DISCHARGE MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNRESOLVED EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE MOST CURRENT EDITION OF THE "TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK."
- STANDARD NOTE NO. 3: TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 1.8.1.B.(2).
- STANDARD NOTE NO. 4: AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORM WATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.8.1.g.
- STANDARD NOTE NO. 5: ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED AND PROPERLY DISPOSED OF AT REGULAR INTERVALS, WITHIN SEVEN DAYS AFTER A STORM WATER RUNOFF EVENT AND PRIOR TO THE NEXT ANTICIPATED STORM EVENT. SEDIMENT MUST BE REMOVED WHEN BMP CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.



12-15-15