

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: <i>Barn Construction</i>			
Project Description: <i>Construct an accessory building being a prefabricated barn</i>			
Project Address: <i>13945 Red Rock Rd.</i>			
Project Area (acres or square feet): <i>12.64 ac</i>			
Project Location (with point of reference to major cross streets AND area locator): <i>7mi north of US 395 portion of NE 1/4 sec 6, T21N, R19E</i>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<i>079-332-29</i>	<i>12.64</i>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <i>Elizabeth LaCroix</i>		Name:	
Address: <i>13945 Red Rock Rd Reno, NV</i>		Address:	
Zip: <i>89508</i>		Zip:	
Phone:		Phone:	
Fax:		Fax:	
Email: <i>lacroixel@yahoo.com</i>		Email:	
Cell: <i>775-781-9617</i> Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name: <i>Daniel McGill</i>	
Address:		Address: <i>P.O. Box 71212 Reno, NV</i>	
Zip:		Zip: <i>89570</i>	
Phone:		Phone: <i>775-852-4466</i> Fax:	
Fax:		Email: <i>dammcgill@prodigy.net</i>	
Email:		Cell: <i>775-742-4422</i> Other:	
Cell:		Contact Person:	
Other:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the type of project or use being requested?

Accessory structure Exceeds Area of House

2. What section of the Washoe County code requires the Administrative permit required?

110.306.10 (d)

3. What currently developed portions of the property or existing structures are going to be used with this permit?

Existing Residence and various equestrian facilities

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New Barn Construction / 6 mo. const.

5. Is there a phasing schedule for the construction and completion of the project?

No.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

There are numerous existing similar structures located nearby.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

The proposed structure ~~will~~ blends perfectly with the existing rural equestrian nature of the area

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

There are no negative impacts. The structure will be constructed 245' from Red Rock Rd.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

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11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

N/A

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

N/A

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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14. Utilities:

a. Sewer Service	N/A (Existing not part of new const)
b. Water Service	N/A "

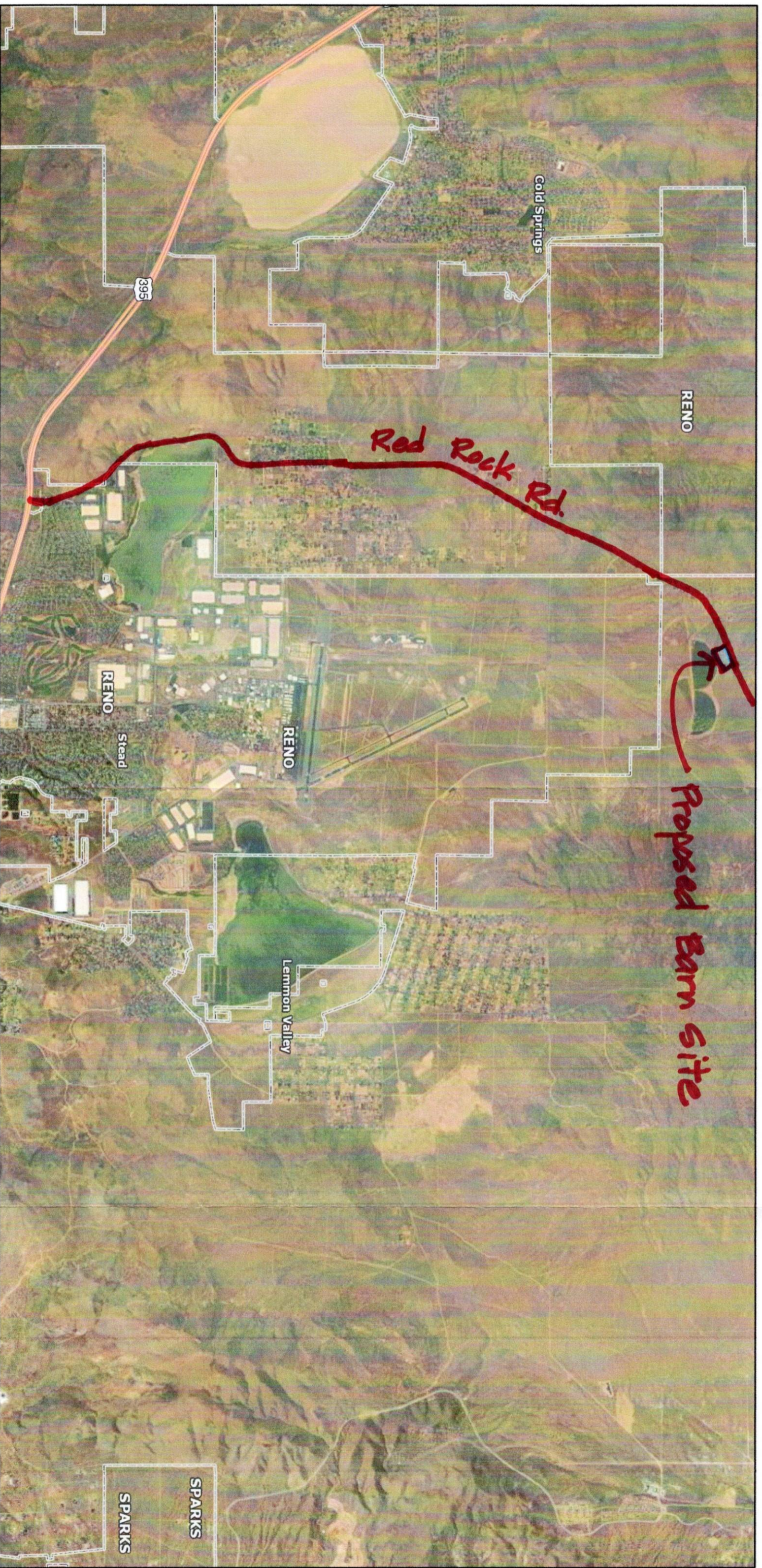
For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

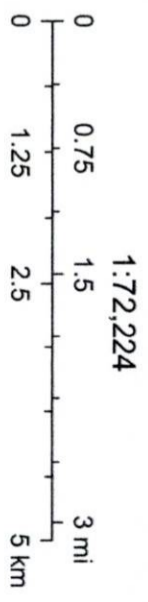
Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

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LaCroix Vicinity Map: 13945 Red Rock Rd

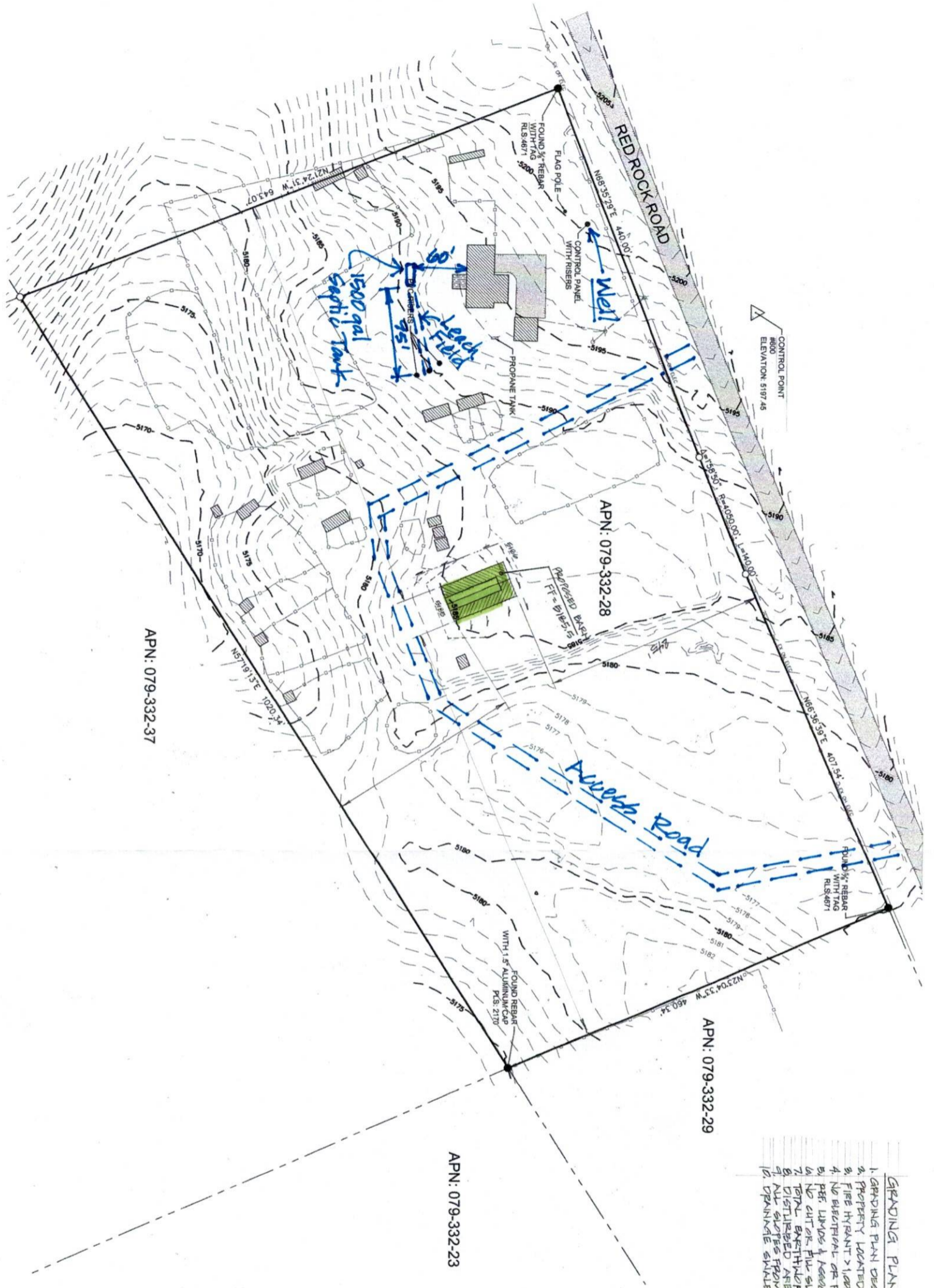


December 13, 2022



Washoe County GIS
Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation. Washoe County Technology Services - Regional Services Division, 1001 E. 9th St, Building C-200, Reno, NV 89512 www.washocounty.us/gis (775) 328-2345



- LEGEND:**
- POST CURB
 - CURB AND GUTTER
 - EDGE OF PAVEMENT
 - FENCE LINE
 - EXISTING UNDERGROUND COMA LINE
 - EXISTING UNDERGROUND GAS LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING UNDERGROUND SEWER LINE
 - EXISTING UNDERGROUND WATER LINE
 - EXISTING UNDERGROUND AIR LINE
 - EXISTING UNDERGROUND STORM DRAIN LINE
 - EXISTING UNDERGROUND RECLAIMED WATER LINE
 - POST CURB
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 - EDGE OF PAVEMENT
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 - EXISTING UNDERGROUND AIR LINE
 - EXISTING UNDERGROUND STORM DRAIN LINE
 - EXISTING UNDERGROUND RECLAIMED WATER LINE
 - UTILITY POLE
 - GUY WIRE
 - ELECTRIC TRANSFORMER
 - ELECTRIC VAULT
 - ELECTRIC PANEL
 - ELECTRIC CABINET
 - ELECTRIC BOX
 - ELECTRIC METER
 - ELECTRIC GENERATOR
 - ELECTRIC MANHOLE
 - AIR CONDITIONER
 - ELECTRIC OUTLET
 - STORM DRAIN MANHOLE
 - STORM DRAIN DROP INLET
 - STORM DRAIN CATCH BASIN
 - STORM DRAIN CLEANOUT
 - RECLAIMED WATER MANHOLE
 - RECLAIMED IRR. CONTROL VALVE
 - RECLAIMED WATER VALVE
 - RECLAIMED TELEMETRY BOX
 - COMMUNICATION RISER
 - COMMUNICATION BOX
 - COMMUNICATION VAULT
 - COMMUNICATION MANHOLE
 - COMMUNICATION CABINET
 - GAS VALVE
 - GAS METER
 - FOUND MONUMENT AS NOTED
 - DIMENSION POINT NOTHING FOUND OR SET
 - LYMOS CONTROL POINT
 - POINT

PROJECT CONTROL

POINT	NORTH	EAST	ELEVATION	DESCRIPTION
600	14537466.69	2257367.39	5197.45	CP 56 R/C CONTROL

REV	DATE	DESCRIPTION	BY

SCALE: 1" = 60'
CL: 1"

PROPERTY OWNER:
LACROIX, ELIZABETH L & RYAN IV
13495 RED ROCK ROAD
RENO, NV, 89508

NOTES

- THIS SHEET IS PROVIDED FOR INFORMATION ONLY, SHOWING EXISTING CONDITIONS AT THE TIME OF SURVEY AND NOT A PART OF DESIGN REVIEW.
- FIELD WORK WAS PERFORMED ON 08/25/2022.
- EASEMENTS MAY EXIST THAT ARE NOT SHOWN HEREON.
- THIS IS NOT A BOUNDARY SURVEY. BOUNDARY SHOWN BY RECORD INFORMATION.

SITE INFORMATION:

079-332-28
13945 RED ROCK ROAD
WASHOE COUNTY, NV
12.84 ACRES

BASIS OF ELEVATIONS

DATUM: NAVD 88
PROJECT BENCHMARK = CONTROL POINT #600 A 1/2" REBAR & CAP HAVING AN ELEVATION OF 5197.45

REFERENCES

R1) RECORD OF SURVEY MAP NO. 5330, DOCUMENT NO. 3878237, RECORDED MAY 05, 2010, OFFICIAL RECORDS OF WASHOE COUNTY, STATE OF NEVADA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83(94) BASED UPON REAL TIME KINEMATIC GPS OBSERVATIONS, OBSERVED FROM REAL TIME SURVEY STATION DUAL FREQUENCY GPS RECEIVER FROM NEVADA STATE SURVEY STATION #1000197359, A COMBINED FACTOR OF 1.000197359, SCALED FROM 0.0001 AND CONVERTED TO US SURVEY FEET. ALL DIMENSIONS ON THIS MAP ARE GROUND DISTANCES.

GRADING PLAN NOTES

- GRADING PLAN DESIGNED BY OWNER/APPLICANT
- PROPERTY LOCATED IN FEMA FLOOD ZONE X
- FIRE HYDRANT 15' ABOVE FROM PROPERTY
- NO ELECTRICAL OR PLUMBING CONSTRUCTION IS PROPOSED
- PER LUMOS & KERR, SHT 51.0 (LUM, 2005) FOR BUDA DIMENSIONS.
- NO CUT OR FILL SLOPES ARE STEEPER THAN 3:1
- TOTAL EXISTING SLOPES ARE STEEPER THAN 1:0.5, NO EXCEPT.
- DISTRIBUTED AREA LESS THAN 1 AC.
- ALL SLOPES FROM EXIST SHALL BE 5% SLOPE OR 1/2" OF FALL PER 10' MIN.
- ALL DRAINAGE SWALES SHALL BE MIN 2%.

LACROIX BARN RELOCATION

TOPOGRAPHIC MAP

RENO WASHOE COUNTY NEVADA

OWNER / BUILDER

These plans are prepared and submitted by the owner as an exemption to NRS 623.330 for building or improving a single family dwelling structure on the property for my own occupancy.

ELIZABETH LACROIX
Owner's Name

[Signature]
Owner's Signature

DANIEL MCGILL
Plans Prepared By:

DRAWN BY: DPM

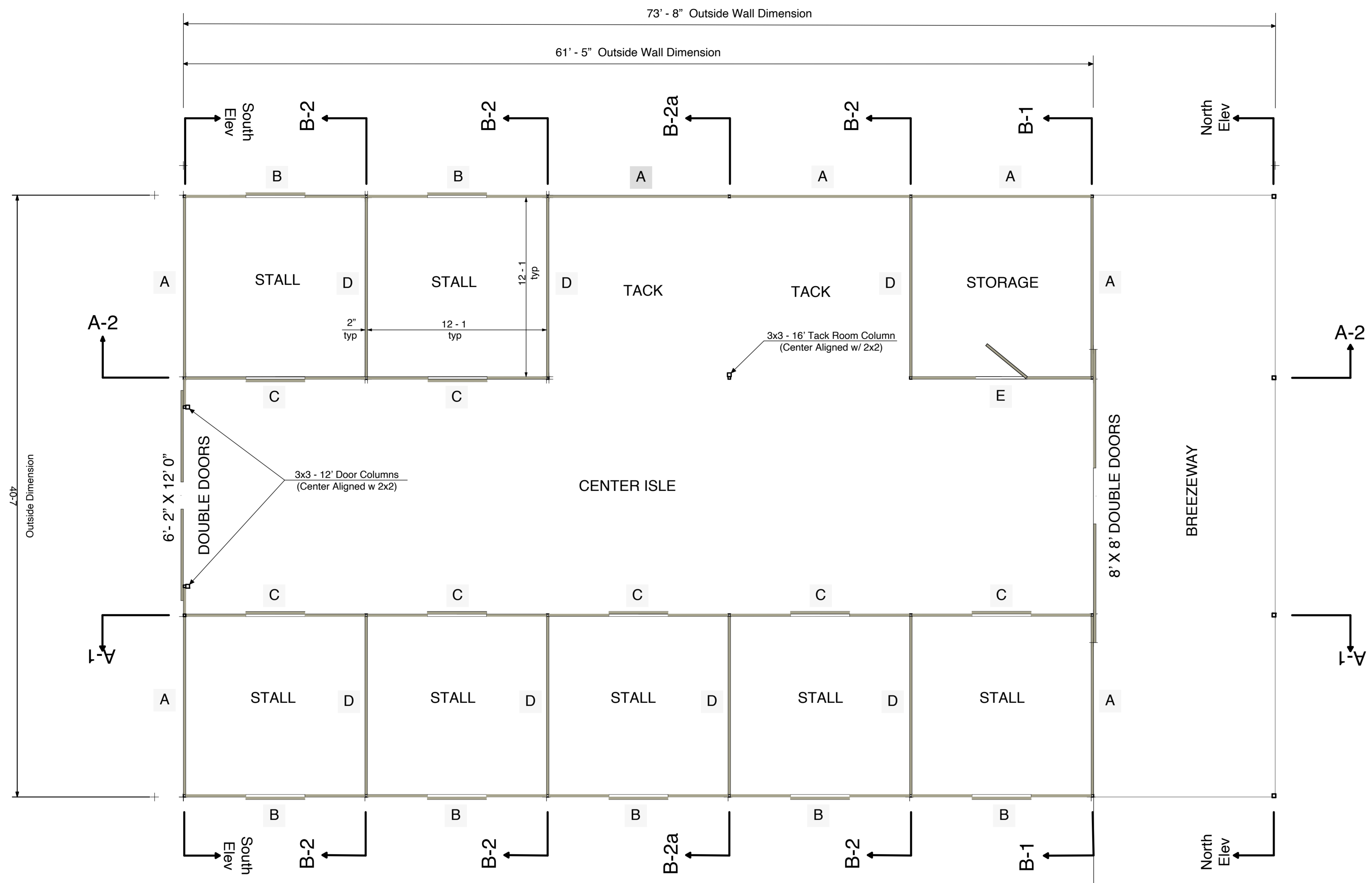
DESIGNED BY: EL

CHECKED BY:

JOB NO.:

V1.0

DATE: 10/13/2022



- WALL PANEL LEGEND**
- A 12'- 1" x 8'- 0" 14 Gauge G90 Steel Exterior Wall Panel
 - B 12'- 1" x 8'- 0" 14 Gauge G90 Steel Exterior Stall Door Panel
 - C 12'- 1" x 8'- 0" 14 Gauge G90 Steel Interior Stall Door Panel
 - D 12'- 1" x 8'- 0" 14 Gauge G90 Steel Interior Wall Panel
 - E 12'- 1" x 8'- 0" 14 Gauge G90 Steel Interior Storage Door Panel

Project Name & Address:
LACROIX BARN
 13945 Red Rock Road

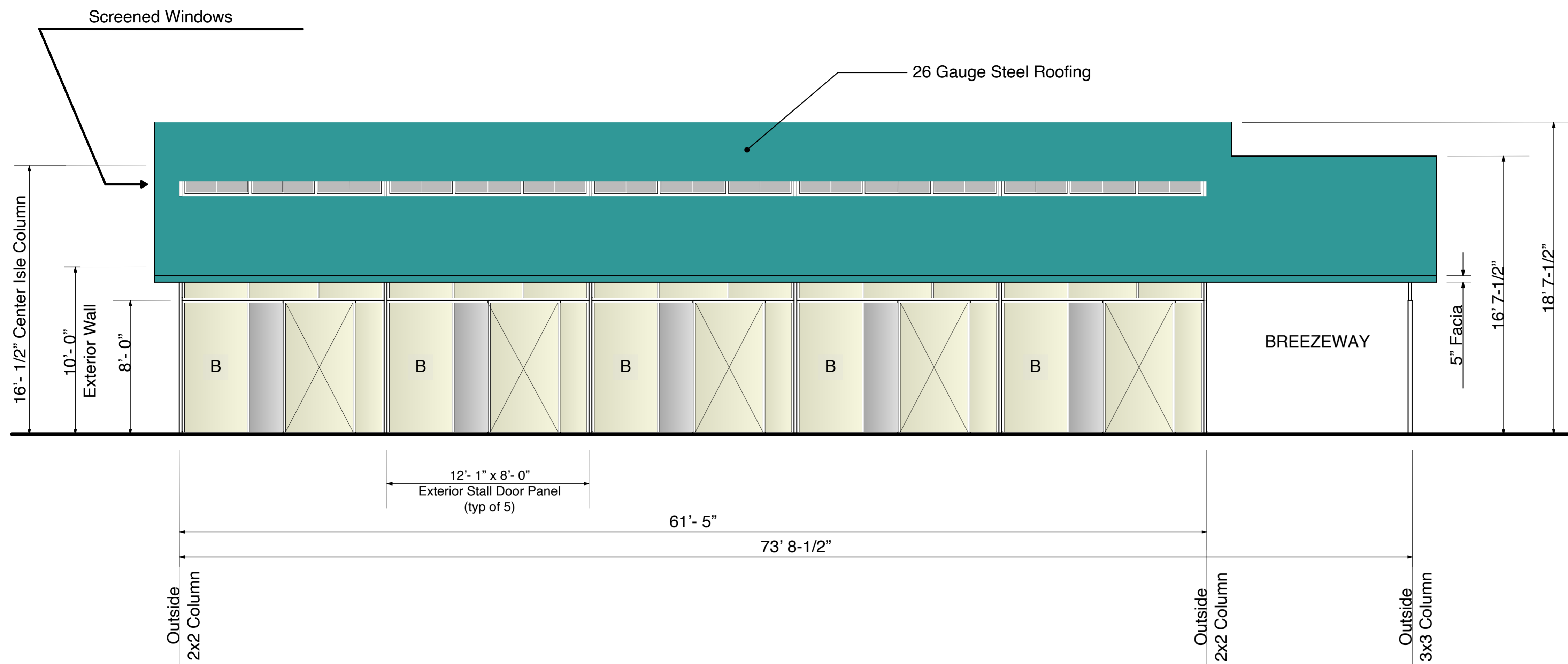
Owner Name & Address:
 Elizabeth and Ryan LaCroix
 13945 Red Rock Road

Sheet Title:
FLOOR PLAN

Issue Date:
 11/10/21

Scale:
 1/4"=1'-0"

Sheet:
02



EAST ELEVATION

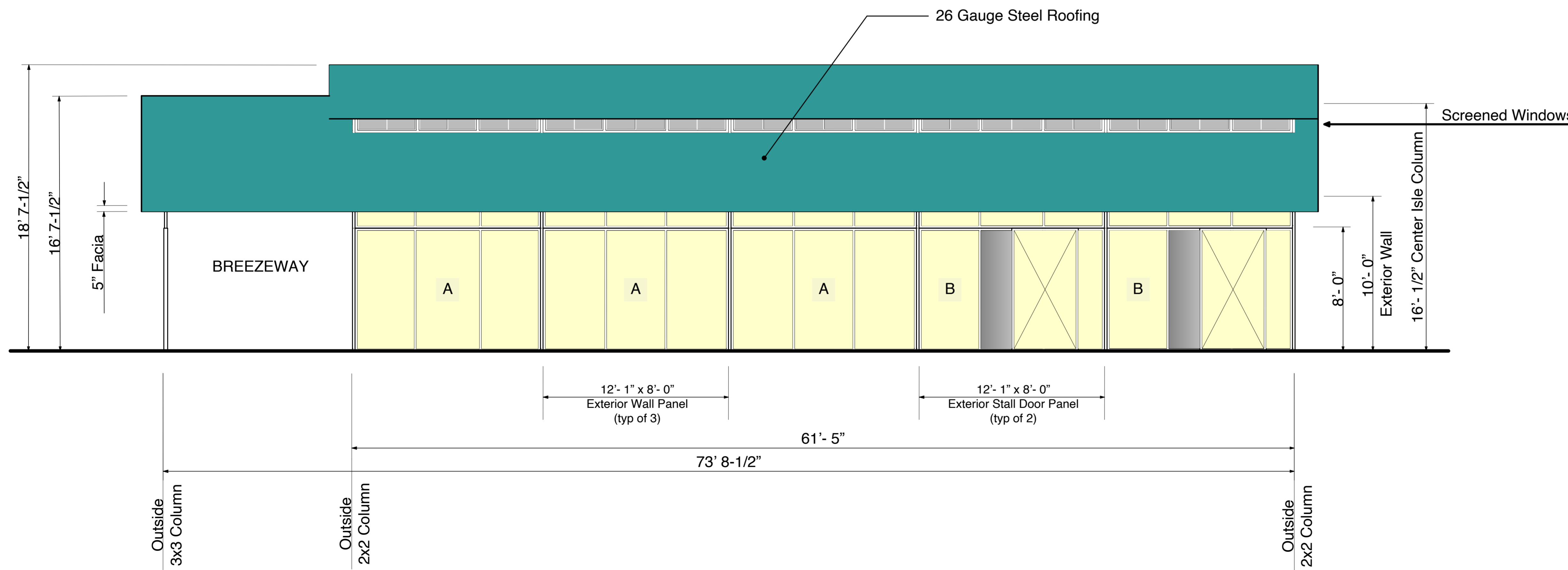
Scale: 1/4" = 1'- 0"

WALL PANEL LEGEND

- A 12'- 1" x 8'- 0" 14 Gauge G90 Steel Exterior Wall Panel
- B 12'- 1" x 8'- 0" 14 Gauge G90 Steel Exterior Stall Door Panel

NOTES

1. All trusses and wall panel frames are fabricated with 2x2 - 14 Gauge G90 high strength galvanized steel.
2. Wall panels are 26 gauge painted steel w/ stucco embossing.
3. Roofing panels are 26 gauge painted corrugated steel.
4. Connect wall and gable panels to columns with 1/2" x 3/4" bolts in pre-drilled holes.



WEST ELEVATION

Scale: 1/4" = 1'- 0"

Project Name & Address:
LACROIX BARN
13945 Red Rock Road

Owner Name & Address:
Elizabeth and Ryan LaCroix
13945 Red Rock Road

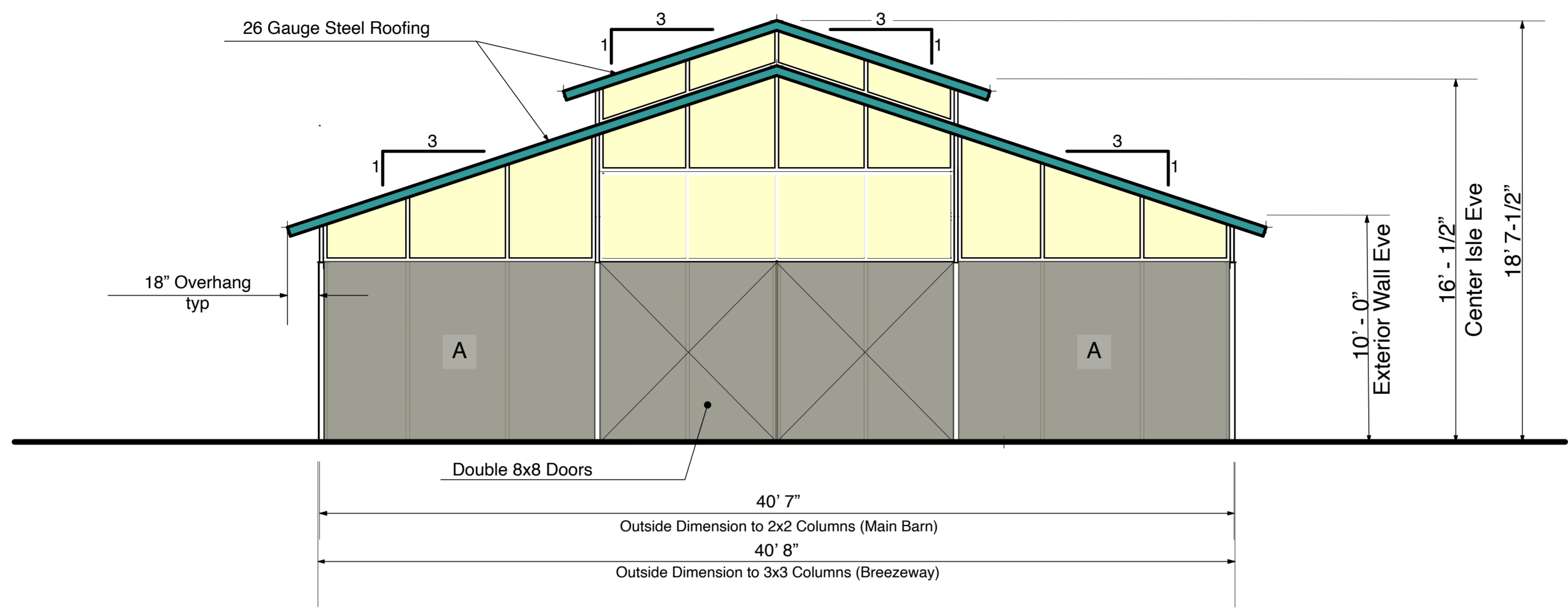
Sheet Title:
SIDE
ELEVATIONS

Issue Date:
11/10/21

Sheet:

05

Scale:
1/4"=1'-0"



NORTH ELEVATION

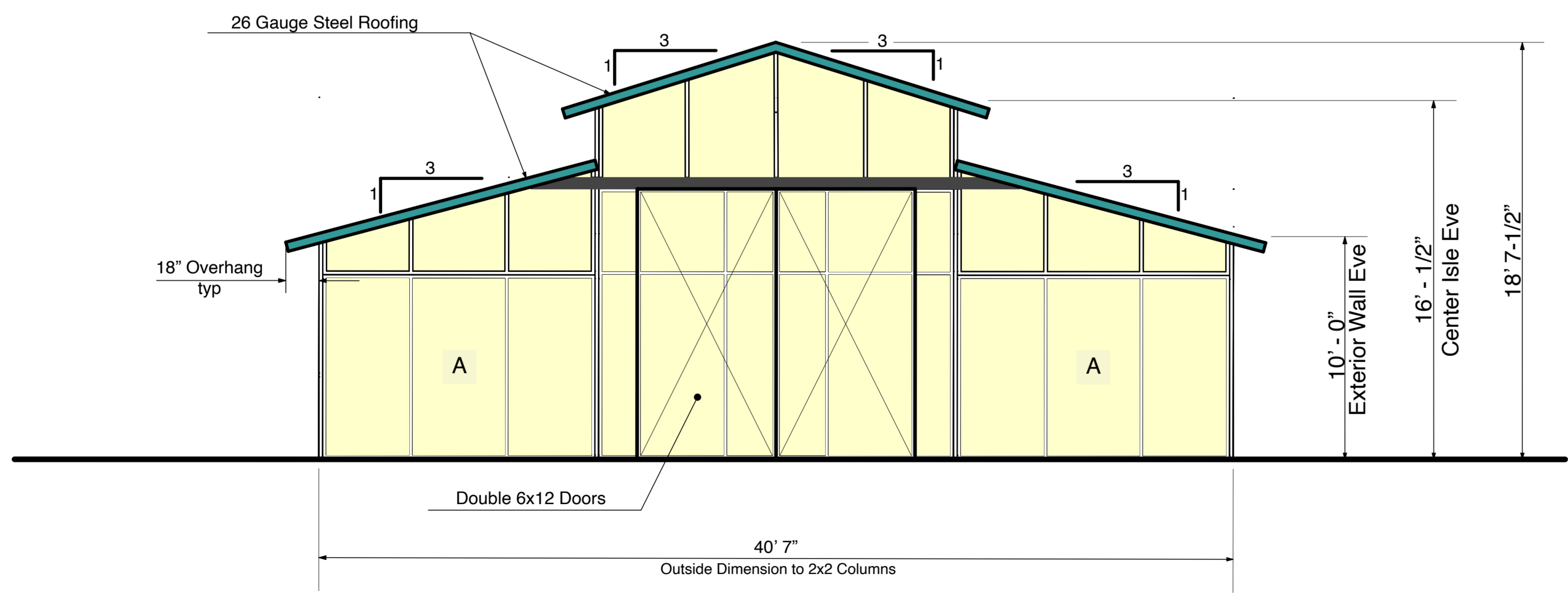
Scale: 1/4" = 1'-0"

WALL PANEL LEGEND

- A 12'-1" x 8'-0" 14 Gauge G90 Steel Exterior Wall Panel

NOTES

1. All trusses and wall panel frames are fabricated with 2x2 - 14 Gauge G90 high strength galvanized steel.
2. Wall panels are 26 gauge painted steel w/ stucco embossing.
3. Roofing panels are 26 gauge painted corrugated steel.
4. Connect wall and gable panels to columns with 1/2" x 3/4" bolts in pre-drilled holes.



SOUTH ELEVATION

Scale: 1/4" = 1'-0"

Project Name & Address:
LACROIX BARN
 13945 Red Rock Road

Owner Name & Address:
 Elizabeth and Ryan LaCroix
 13945 Red Rock Road

Sheet Title:
END ELEVATIONS

Issue Date:
 11/10/21

Scale:
 1/4"=1'-0"

Sheet:
04