

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>125 Boron Lane Single Family Residence</b>			
Project Description: Single family residence , pool, well, water tank, septic system (power will be from photovoltaics).			
Project Address: 125 Boron Lane, Reno NV			
Project Area (acres or square feet): 80 acre lot- disturbance 1.06 ac			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>Lat N 39.7748° Long W119.84754 S344 T21N R19 E, MDM</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
079-430-11	80.52		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: 125 Boron Series, a Separate Series of Jupiter Gulch LLC, Graham Quinn, Manager		Name: Robison Engineering Inc.	
Address: 523 Woodland Road		Address: 846 Victorian Ave	
Kentfield, CA	Zip: 94904	Sparks NV	Zip: 89431
Phone: 4152469004	Fax:	Phone: 775.852.2251	Fax:
Email: jupitergulchllc@gmail.com		Email: michael@robisoneng.com	
Cell:	Other:	Cell: 775.762.4671	Other:
Contact Person: Graham Quinn		Contact Person: Michael S. Smith	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Graham Quinn, Manager of 125 Boron Series, A Separate Series of Jupiter Gulch LLC		Name:	
Address: 523 Woodland Road		Address:	
Kentfield, CA	Zip: 94904		Zip:
Phone: 4152469004	Fax:	Phone:	Fax:
Email: jupitergulchllc@gmail.com		Email:	
Cell: 415.246.9004	Other:	Cell:	Other:
Contact Person: Graham Quinn		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Amendment of Conditions Application Supplemental Information

(All required Information may be separately attached)

## Required Information

1. The following information is required for an Amendment of Conditions:
  - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
  - b. Identify the specific Condition or Conditions that you are requesting to amend.
  - c. Provide the requested amendment language to each Condition or Conditions, and provide both the **existing** and **proposed condition(s)**.

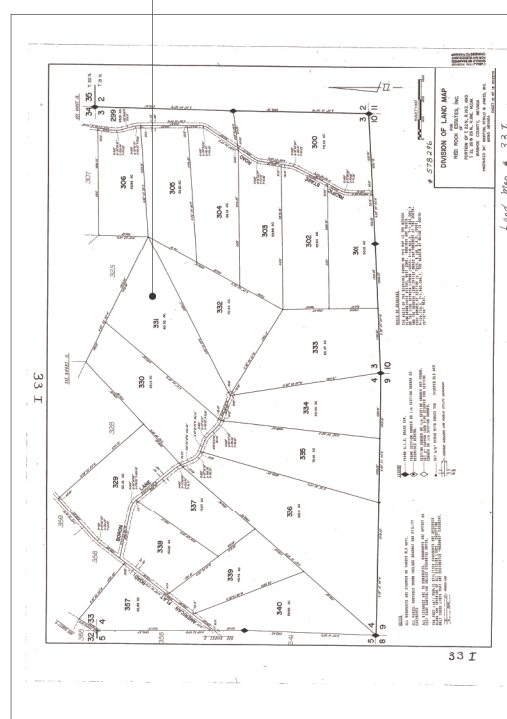
I am requesting an extension of the two years given to vest (be issued a building permit ) for the work associated with the approved S.U.P. Working with engineers to develop plans took longer than anticipated and the project, for a time, was placed on a temporary hold as construction costs skyrocketed in the past two year period. The application is moving its way through the Building Department. The first response to plan check comments were returned May 5, 2023. The vesting period ends July 1 2023. I'm requesting an extension should additional plan check comments arise and require additional back and forth with the County, extending the entitlement period beyond July 1st 2023.

2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

There are no potential impacts to health, safety, or welfare that could result from granting this amendment. The request is to grant an extension on the time needed to vest the previously approved S.U.P. There are no changes to the work.



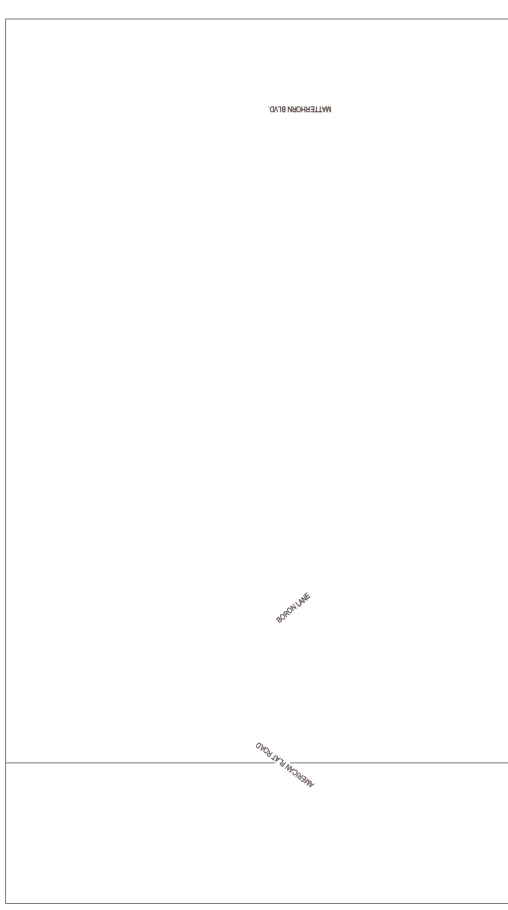
REGIONAL MAP



PARCEL MAP

**SHEET INDEX**

GENERAL	COVER SHEET
A000	PROJECT NARRATIVE
A001	TOPOGRAPHIC SURVEY 123 BORON LANE
SURVEY	CIVIL ADMINISTRATIVE SHEET
C001	OVERALL SITE PLAN
C011	LANDSCAPE PLAN
C012	EROSION CONTROL PLAN
ARCHITECTURAL	OVERALL SITE PLAN
A100	FOUNDATION
A101	FOUNDATION
A102	FOUNDATION
A103	FOUNDATION
A104	FOUNDATION
A105	FOUNDATION
A106	FOUNDATION
A107	FOUNDATION
A108	FOUNDATION
A109	FOUNDATION
A110	FOUNDATION
A111	FOUNDATION
A112	FOUNDATION
A113	FOUNDATION
A114	FOUNDATION
A115	FOUNDATION



VICINITY MAP

**PROJECT INFORMATION**

PROJECT ADDRESS: 125 BORON LANE, RENO, NV 89508  
 ZONING DISTRICT: R-1  
 EXISTING CONDITIONS: VACANT LAND  
 SCOPE OF WORK: SEE PROJECT DESCRIPTION HERE  
 CONSTRUCTION TYPE: V.A.

APPLICABLE CODES: ALL CONSTRUCTION SHALL CONFORM TO THE  
 2018 INTERNATIONAL BUILDING CODE, CHAPTERS 1-15, AND APPENDICES  
 2018 INTERNATIONAL RESIDENTIAL CODE, CHAPTERS 144 AND APPENDICES A, B, C, H, I, K, Q  
 2018 UNIFORM PLUMBING CODE, CHAPTERS 117 AND APPENDICES A, B, D, E, L  
 2018 UNIFORM MECHANICAL CODE, CHAPTERS 111-115  
 2018 INTERNATIONAL FIRE AND SAFETY CODE, CHAPTERS 1-15  
 2018 INTERNATIONAL ELECTRICAL CODE  
 2018 SWIMMING POOL AND SPACADE  
 2018 MECHANICAL CODE  
 2018 NATIONAL ELECTRICAL CODE, PARTS 1-7  
 OTHER MATTERS RELATING TO THE PROVISIONS OF CHAPTER 16, EFFECTIVE JULY 1ST 2019.

**AREAS**  
 LOT AREA: 3,507.457 SQ. FT. / 80.82 ACRES  
 FRONT YARD SETBACK: 10.00 FT.  
 REAR YARD SETBACK: 9.875 SQ. FT.  
 PAVED SURFACE AREA: 6,888 SQ. FT.  
 PARKING (COVERED): 4

FRONT & REAR YARD SETBACKS:  
 SIDE YARD SETBACK: 30'  
 BUILDING HEIGHT LIMIT: 35'

**PROJECT DESCRIPTION/SCOPE OF WORK**

NEW 1.5 SINGLE FAMILY RESIDENCE, DRIVEWAY FROM BORON LANE AND ASSOCIATED UTILITIES INCLUDING AN IN-WEEL SEPTIC TANK AND LEACH FIELD. BELOW GRADE PROPANE TANK, WATER HEATER, AND SPLIT SYSTEM AIR CONDITIONING. EXISTING DRIVEWAY TO BE RECONSTRUCTED. VERTICAL CURB AND SCREENING TREES ALONG WEST AND NORTHWEST OF BUILDING SITE. LANDSCAPE WORK WILL INCLUDE AN IN-POOL OUTDOOR TRANCES ADVANTAGE TO THE RESTRUCTURE. VERTICAL CURB AND SCREENING TREES ALONG WEST AND NORTHWEST OF BUILDING SITE. LANDSCAPE WORK WILL INCLUDE AN IN-POOL THE RESTRUCTURE SHALL BE SPARKLERED AND COMEET NFA 105 STANDARDS AND WILL FEATURE A FIRE TRUCK TURNING ADJACENT TO THE RESIDENCE.

**PROJECT DIRECTORY**

<b>AGENCIES</b> PLANNING & BUILDING DIVISION 100 W. WASHINGTON STREET RENO, NV 89501 TEL: 775.326.6133	<b>ARCHITECT</b> SERIES OF JUPITER GULCH, LLC 100 W. WASHINGTON STREET RENO, NV 89501 TEL: 775.326.6133 CONTACT: GRAHAM QUINN	<b>GENERAL CONTRACTOR</b> T.B.D.
<b>PROPERTY OWNER</b> SERIES OF JUPITER GULCH, LLC 100 W. WASHINGTON STREET RENO, NV 89501 TEL: 775.326.6133 CONTACT: GRAHAM QUINN	<b>MECHANICAL/ELECTRICAL PLUMBING ENGINEER</b> T.B.D.	<b>STRUCTURAL ENGINEER</b> T.B.D.
<b>SOILS</b> ROBERTA LANE SUITE 104 688 ROBERTA LANE SUITE 104 RENO, NV 89501 TEL: 775.330.3333 CONTACT: TADDETTI COOMBEY	<b>MECHANICAL/ELECTRICAL PLUMBING ENGINEER</b> T.B.D.	<b>STRUCTURAL ENGINEER</b> T.B.D.
<b>CIVIL ENGINEER</b> ROBSON ENGINEERING 648 VICTORIAN AVE. SUITE 30 RENO, NV 89501 TEL: 775.762.4971 CONTACT: MICHAEL SMITH msmith@robsoneng.com	<b>MECHANICAL/ELECTRICAL PLUMBING ENGINEER</b> T.B.D.	<b>STRUCTURAL ENGINEER</b> T.B.D.



VIEW FROM THE NORTH WEST LOOKING SOUTH TOWARDS THE NORTH FACADE

**PROJECT NARRATIVE:**

AFTER MANY YEAR OF ANTICIPATION OUR FAMILY WOULD LIKE TO FULFILL A DREAM OF BUILDING A FAMILY RETREAT IN NEVADA'S HIGH DESERT. THE PROPOSED PROJECT SERVES AS A FAMILY RETREAT AND GATHERING PLACE FOR GENERATIONS TO COME. AS THE FAMILY HAS GROWN, THE IMPORTANCE OF A CENTRAL MEETING PLACE HAS BECOME MORE AND MORE APPARENT. THIS REMARKABLE PROPERTY OFFERS A UNIQUE OPPORTUNITY TO IMMERSSE OURSELVES IN THE SITE'S NATURAL BEAUTY.

TO THE EXTENT POSSIBLE, THE PROPOSED PRESERVES THE NATURAL LANDSCAPE AND UTILIZES THE PREVIOUSLY EXISTING GRADED AREAS TO HAVE AS LOW OF AN IMPACT AS POSSIBLE ON THE EXISTING SITE. OUR APPROACH TO THE SITE DESIGN IS A LIGHT TOUCH, AIMED AT MINIMIZING DISTURBANCE WHILE PROVIDE ENOUGH SPACE FOR A LARGE FAMILY. THE FOLLOWING ARE SITE DESIGN MEASURES TAKEN TO ADDRESS COMPATIBILITY WITH THE RURAL CONTEXT:

- THE RESIDENCE UTILIZES EARTHEN MATERIALS AND TEXTURES RESPONDING TO BOTH THE RURAL AGRARIAN AND DESERT CONTEXTS.
- THE RESIDENCE IS ORGANIZED INTO CLUSTERED MASSES OF VARYING SCALES TO MINIMIZE BULK.
- THE RESIDENCE UTILIZES COURTYARDS AND OUTDOOR TERRACES TO BREAK UP THE STRUCTURES AND LET THE LANDSCAPE WEAVE IN.
- THE RESIDENCE SITS BACK ON THE EXISTING BUILDING PAD TO MINIMIZE VISIBILITY AND VIEWS-IN.
- THE RESIDENCE TERRACES ON THE SLOPE TO MINIMIZE VISUAL IMPACT AND TAKE ADVANTAGE OF BELOW GRADE INSULATING PROPERTIES.
- THE RESIDENCE FEATURES FACADES THAT RESPOND TO THEIR UNIQUE SOLAR AND CLIMATIC EXPOSURES (PREVAILING WINDS & SUN EXPOSURE).
- THE RESIDENCE UTILIZES WILD FIRE RESISTANT BUILDING MATERIALS AND LANDSCAPING CONCEPTS.
- THE RESIDENCE EMPLOYS AND NUMBER OF PASSIVE AND ACTIVE GREEN BUILDING STRATEGIES SUCH AS SOLAR SHADING, THERMAL MASS WALLS, SOLAR ENERGY, RAIN WATER MANAGEMENT, AND NATIVE LANDSCAPING REQUIRING LITTLE TO NO SUPPLEMENTAL IRRIGATION.



VIEW FROM THE NORTH WEST LOOKING SOUTH TOWARDS THE RESIDENCE AND THE LOWER POOL AREA



VIEW FROM THE NORTH EAST LOOKING SOUTH, WEST OVER POOL AREA TOWARDS THE TERRACED RESIDENCE

THE BUILDING'S ENVELOPE IS WELL WITHIN THE AS-OF-RIGHT ALLOWANCE. BELOW ARE KEY METRICS:

- HIGHEST BUILDING HEIGHT AS MEASURED BY BC : 22'-6" IN NE CORNER
- BUILDING'S CLOSEST DISTANCE TO A SETBACK : 182'-4" FEET FROM SIDE YARD SETBACK
- GROSS BUILDING AREA: 9,973 SQUARE FEET
- PAVED SURFACE AREA (EXCLUDING GRAVEL DRIVE): 6,936 SQUARE FEET
- COVERED PARKING: 4 SPACES
- DISTURBED AREA: 1.06 ACRES
- CUT: 200 CUBIC YARDS
- FILL: 1350 CUBIC YARDS

THIS PROJECT REPRESENTS A COMMITMENT TO THE REGION BY BUILDING A CONTEMPORARY, OFF GRID RESIDENCE THAT RESPONDS NOT TO AN EXISTING ARCHITECTURAL "STYLE" BUT RATHER THE LAND. THE SITE'S VIEWS, CLIMATE, AND EXISTING CONDITIONS HAVE INFORMED THE PROJECT'S DESIGN AND KEEPS IT IN HARMONY WITH ITS SURROUNDINGS..



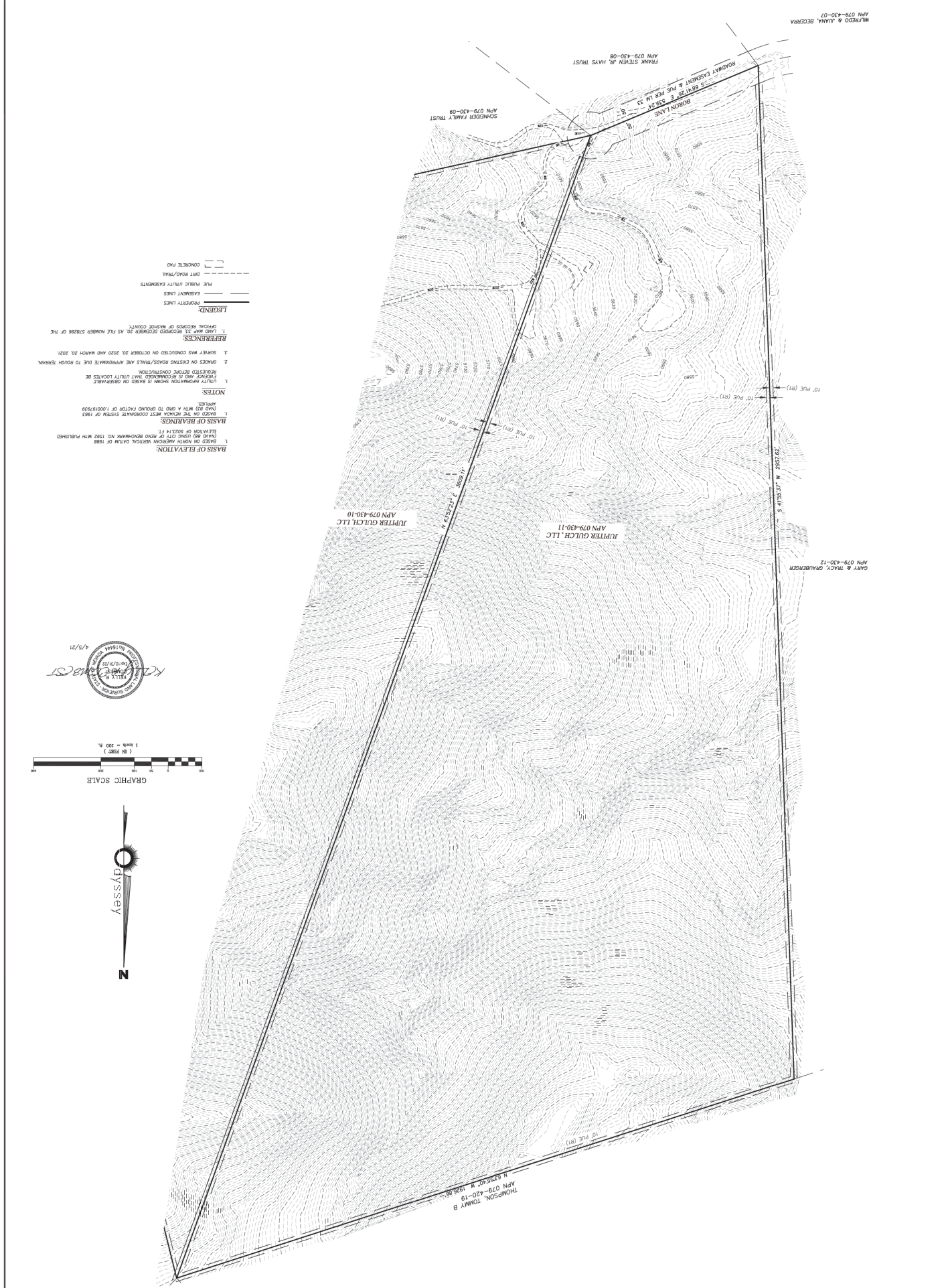
VIEW FROM THE WEST LOOKING SOUTH TOWARDS THE RESIDENCE



VIEW FROM THE NORTH LOOKING SOUTH TOWARDS THE ENTRY COURT AND GARAGE

125 BORON LANE  
TOPOGRAPHIC SURVEY  
RENO WASHOE COUNTY NEVADA

REV.	DATE	DESCRIPTION



**LEGEND**

- CONCRETE PAD
- DIRT ROAD
- PUBLIC UTILITY EASEMENTS
- EASEMENT LINES
- PROPERTY LINES

**REFERENCES**

- LAND MAP 13 RECORDED DECEMBER 20, AS FILE NUMBER 38986 OF THE ORIGINAL RECORDS OF WASHOE COUNTY.
- SURVEY WAS CONDUCTED ON OCTOBER 20, 2020 AND MARCH 20, 2021.
- GRADES ON EXISTING ROADS/PAVES ARE APPROXIMATE DUE TO ROUGH TERRAIN.
- PROPOSED UTILITY LOCATIONS ARE INDICATED BY DASHED LINES.

**NOTES**

- UTILITY INFORMATION SHOWN IS BASED ON OBSERVED INFORMATION AND IS PROVIDED FOR YOUR INFORMATION ONLY.
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**BASIS OF ELEVATION**

- BASED ON WASHINGTON NATIONAL DATUM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.00007938.
- BASED ON THE NATIONAL GRID COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.00007938.
- ELEVATION OF 5021.14 FT.

**BASIS OF BEARINGS**

- BASED ON THE NATIONAL GRID COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.00007938.
- BASED ON THE NATIONAL GRID COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.00007938.
- ELEVATION OF 5021.14 FT.

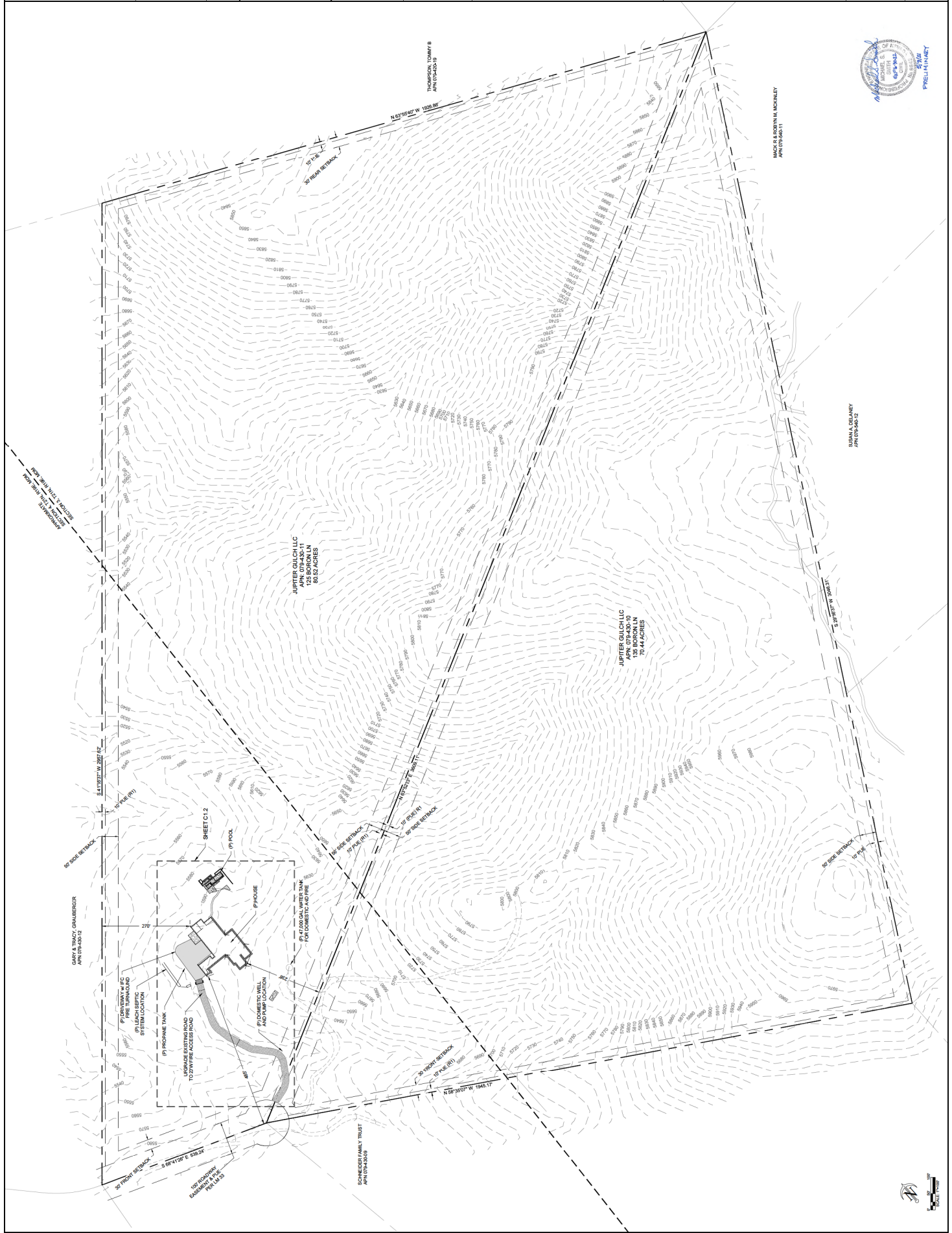


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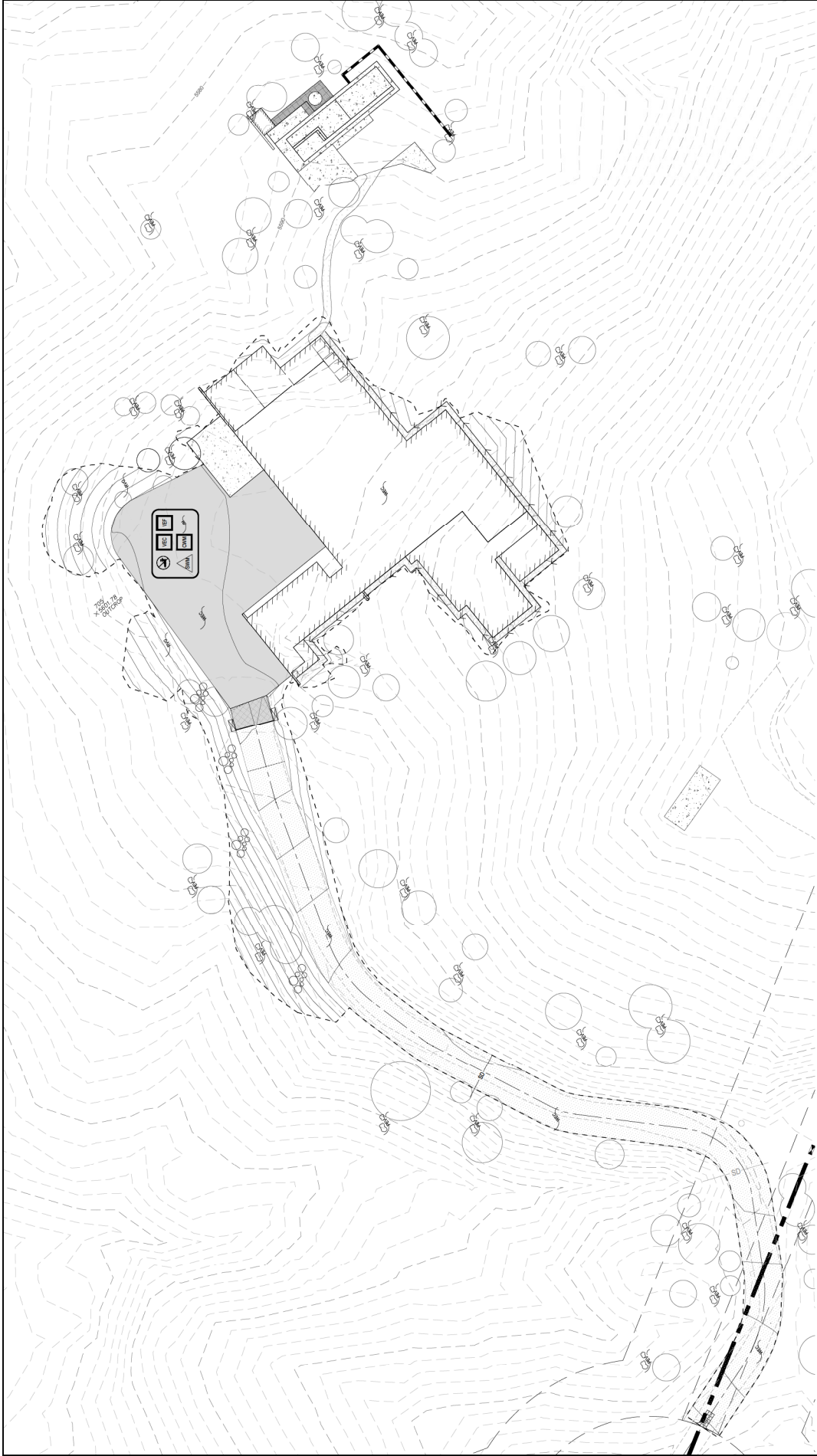
OVERALL  
SITE PLAN

**C1.1**  
SHEET 2 OF 4









REFERS TO CIVIL TITLE SHEET C1.2 FOR  
EROSION AND SEDIMENT CONTROL NOTES.

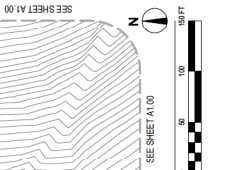
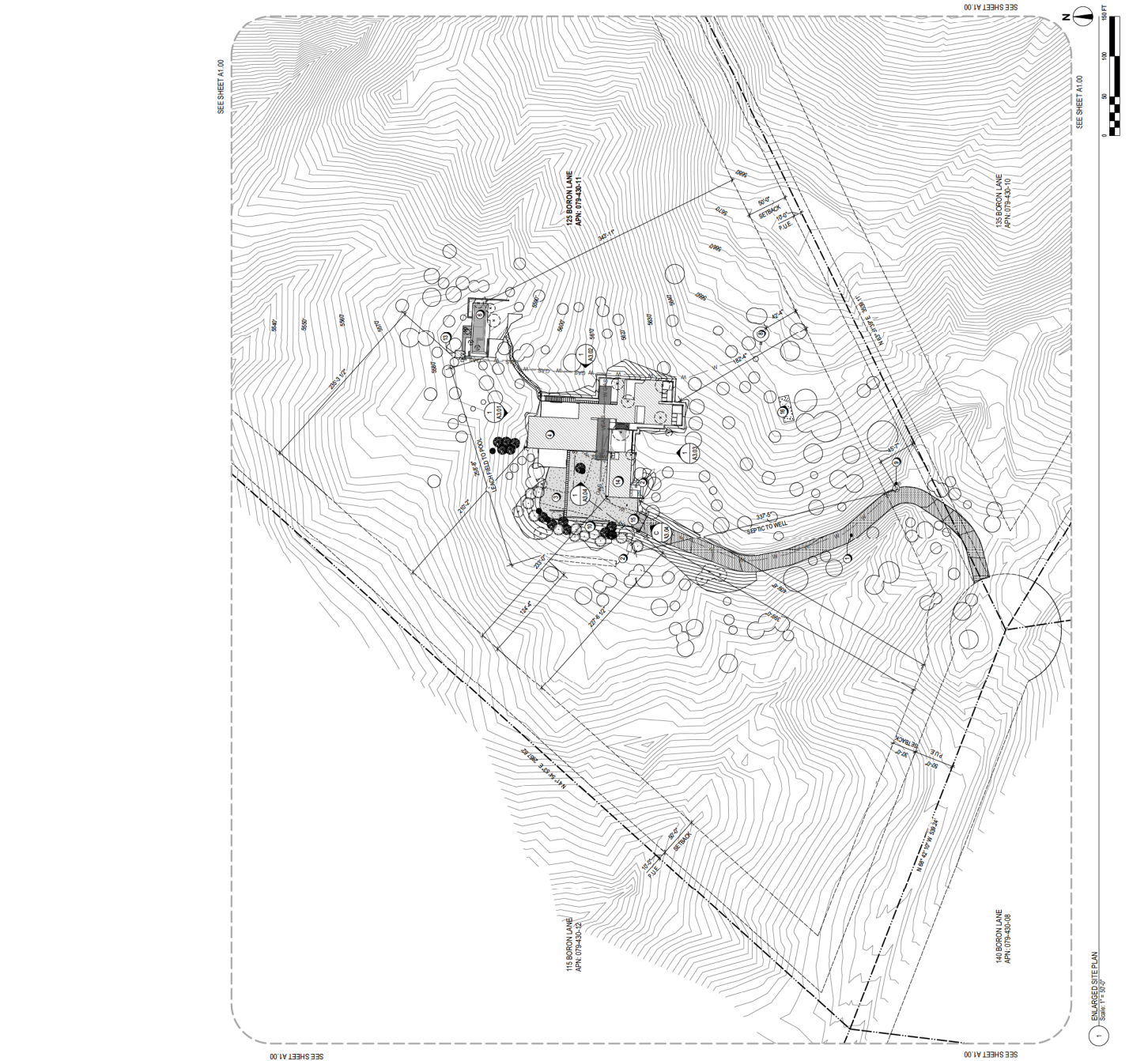
BMP NAME	BMP NUMBER	BMP SYMBOL	BMP NAME	BMP NUMBER	BMP SYMBOL	BMP NAME	BMP NUMBER	BMP SYMBOL	BMP NAME	BMP NUMBER	BMP SYMBOL
SOIL AND COMPLETION WARE	0M1		STORMWATER OUTLET	0P1		SEDIMENTATION	0R1		STREET PROTECTION	0Q1	
SWEEPING OPERATIONS	0M4		STOCKPILE MANAGEMENT	0M3		RESERVE PILE	0E1		MATERIAL STORAGE AND USE	0M5	
VEHICLE WASHING	0M6		VEHICLE TRACKS	0M7		VEHICLE TRACKS	0M7				
VEHICLE TRACKS	0M7		VEHICLE TRACKS	0M7							

REFERS TO CIVIL TITLE SHEET C1.2 FOR  
EROSION AND SEDIMENT CONTROL NOTES.

BMP NAME	BMP NUMBER	BMP SYMBOL	BMP NAME	BMP NUMBER	BMP SYMBOL
SEDIMENTATION	0R1		STREET PROTECTION	0Q1	
STREET PROTECTION	0Q1				

PRELIMINARY



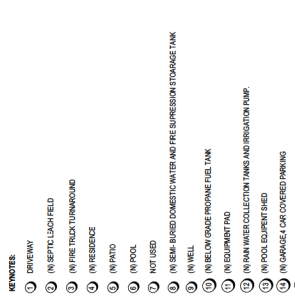


1 ENLARGED SITE PLAN  
SCALE 1" = 20'

- GENERAL NOTES:**
1. SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITIES. THESE ITEMS SHOWN ON THIS PLAN ARE FOR INFORMATION PURPOSES ONLY.
  2. SEE MECHANICAL AND ELECTRICAL PLANS FOR COORDINATION PURPOSES ONLY.
  3. SEE CIVIL PLANS FOR DRIVEWAY AND UTILITY INFORMATION.
  4. SEE CIVIL PLANS FOR SEPTIC DESIGN.
  5. AV CORROSION GAS LINES, AND GAS METER SHOWN SCHEMATICALLY. CONTRACTOR TO CORROSION AND LOCATE THEM IN THE FIELD.
  6. SEE IRRIGATION PLANS FOR IRRIGATION DESIGN AND EQUIPMENT.
  7. SEE SURVEY FOR (B) UTILITIES AND TOPOGRAPHY.
  8. FOR SLOPES AND FINISH ELEVATION POINTS, SEE CIVIL DRAWINGS & A102.
  9. APPLY TO TOP OF 2" X 4" WALKWAY CHAIR BLOCK AT ALL WALKWAY EDGES.
  10. SEE EXISTING CURB AND GUTTER TO DETERMINE EXISTING CURB AND GUTTER LOCATION.
  11. APPLY EXISTING CURB AND GUTTER TO ARCHITECT FOR APPROVAL PRIOR TO ORDER.
  12. SEE EXISTING CURB AND GUTTER TO ARCHITECT FOR APPROVAL PRIOR TO ORDER.
  13. POOL AND PAVEMENT HAVE AN INTRACTABLE POOL OVER COMING W/IRC ACC A205 AND PAVEMENT POOL COVER THAT MEETS THE ASTM F-3919-14 STANDARD. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
  14. 300 SQUARE FEET SPACE TO BE MAINTAINED AROUND NEW STRUCTURE PRIOR TO AND DURING CONSTRUCTION.
  15. PLANS SHALL PROVIDE A 3' DEFERRIBLE SPACE ZONE. THIS INCLUDES THE REMOVAL OF VEGETATION AND COMBUSTIBLE MATERIAL FROM BENCHTOP DECKS, REMOVAL OF 2X6 BRUSH AND WOODY DEBRIS NEAR STRUCTURES, MAINTENANCE OF BRIGATED GRASS WITHIN 10' OF STRUCTURES, MAINTENANCE OF GRASS WITHIN 5' OF DRIVEWAY, TREE TRUNKS OR "CUMBER" OF TREES TO BE MAINTAINED TO A MIN. CLEAR BETWEEN TREE CANOPIES AND ROOFS, MOWING ANNUAL DRY GRASSES WITHIN 10' OF STRUCTURES, CONTRACTOR USE GAS POWERED EQUIPMENT EARLY IN THE MORNING OR LATE AFTERNOON, MAINTAIN A MINIMUM CLEARANCE OF 6" TO ANY POWER LINES, MAINTAIN 10' FROM ANY POWER LINES TO ALL STRUCTURES, FORTH IN AN IDEAL COUNTY CODE SECTION 18-43.04 US IRRIGATION STANDARDS.
  16. MAINTAIN 15' SEPARATION BETWEEN UTILITY AND (N) 4" (E) TREES.
  17. MAINTAIN 15' SEPARATION BETWEEN UTILITY AND (N) 4" (E) TREES.
  18. CONCRETE CONTROLS TO BE VERIFIED BY ARCHITECT IN FIELD PRIOR TO SAW AS APPLICABLE. SEE ARCHITECTER PLAN FOR OUTDOOR LOW VOLTAGE WIRING RELATED TO ANY SECURITY CAMERAS, AND SPACERS.

**KEYNOTES:**

1. (N) DRIVEWAY
2. (N) SEPTIC LAGOON FIELD
3. (N) FIRE TRUCK TURNAROUND
4. (N) RESIDENCE
5. (N) PATIO
6. (N) POOL
7. (N) NOT USED
8. (N) SEMI-BURIED DOMESTIC WATER AND FIRE SUPPRESSION STORAGE TANK
9. (N) WELL
10. (N) BELOW GRADE PROPANE FUEL TANK
11. (N) EQUIPMENT PAD
12. (N) TRANSDUCER COLLECTION TANKS AND IRRIGATION PUMP
13. (N) POOL EDGEMENT BED
14. (N) GARAGE CAR COVERED PARKING
15. (N) VEHICULAR ENTRY GATE
16. (E) CONCRETE PAD TO BE BUILT

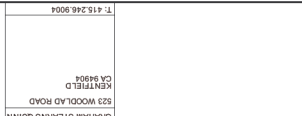


ISSUE	DATE
S.U.P.	2021.05.10
JOB CODE	JUPITER GULCH
REVISIONS	
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G.S.

**SITE PLAN  
ENLARGED-A**



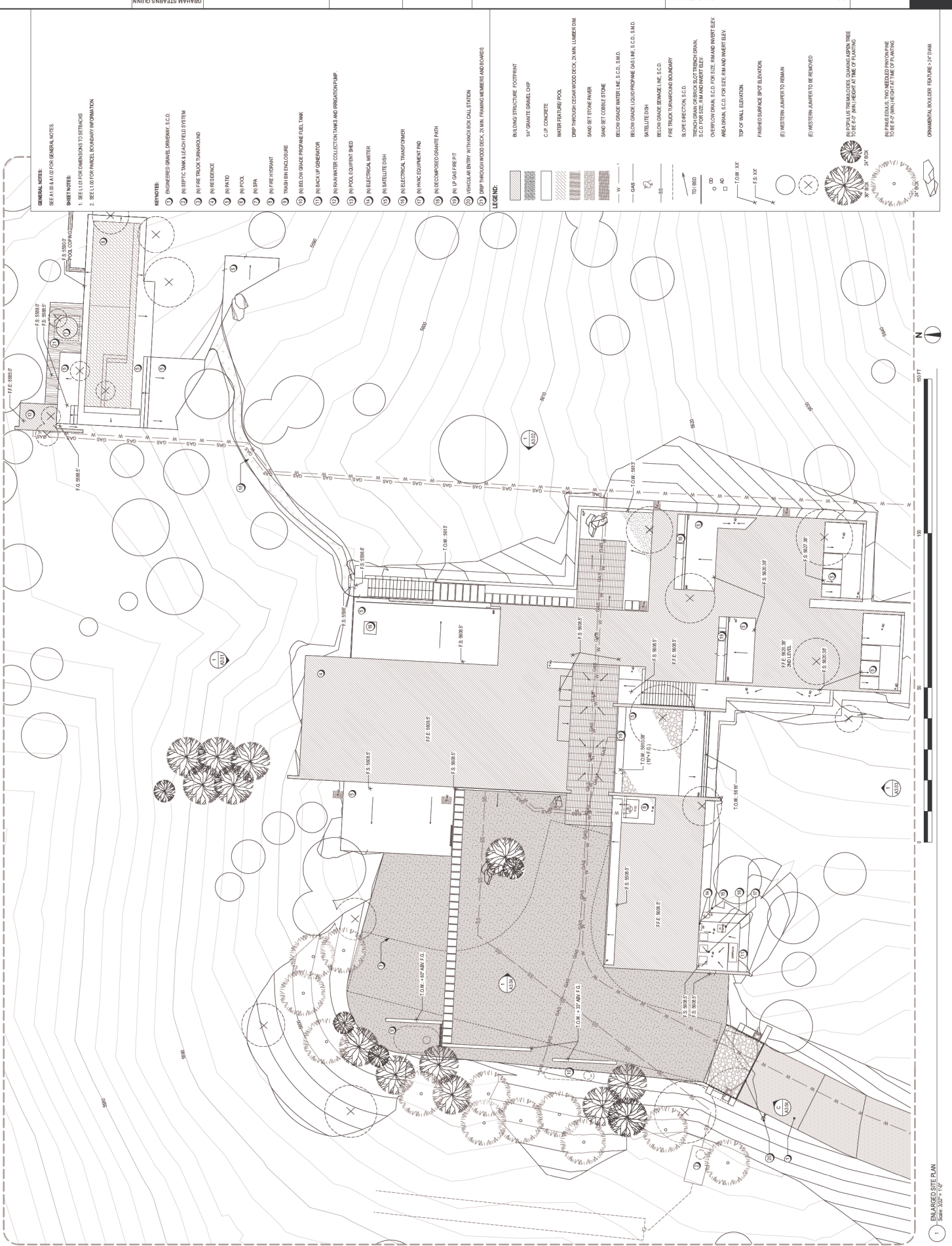


**GENERAL NOTES:**  
 SEE A1.01 FOR GENERAL NOTES  
**SWITCHES:**  
 1. SEE LIGHT FIXTURE DIMENSIONS TO DETACHES  
 2. SEE LUG FOR PANEL BOUNDARY INFORMATION

- KEYNOTES:**
- (1) ENGINEERED GRAVEL DRIVEWAY S.C.D.
  - (2) IN SPECIFIC TANK LOGIC FIELD SYSTEM
  - (3) IN FIRE TRUCK TURNAROUND
  - (4) IN RESIDENCE
  - (5) IN PATIO
  - (6) IN POOL
  - (7) IN SPA
  - (8) IN FIRE HYDRANT
  - (9) TRASH BIN ENCLOSURE
  - (10) IN BELOW GRADE PROPANE FUEL TANK
  - (11) IN BACKUP GENERATOR
  - (12) IN MAIN WATER COLLECTION TANKS AND IRRIGATION PUMP
  - (13) IN POOL COVERT BRGD
  - (14) IN ELECTRICAL METER
  - (15) IN SATELLITE DISH
  - (16) IN ELECTRICAL TRANSFORMER
  - (17) IN HVAC EQUIPMENT PAD
  - (18) IN UNRECORDED DRIVEWAY
  - (19) IN LP GAS FREIGHT
  - (20) VEHICULAR ENTRY WITH WOODEN CALL STATION
  - (21) DRIP THROUGH WOOD DECK, 2X4 MIN. FRAMING MEMBERS AND BOUNDS

ISSUE	DATE
SUP	2021.03.10
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PROJECT	
DESCRIPTIONS	
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A	
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DRAWN BY  
 GCS  
**SITE PLAN  
 ENLARGED-B**



**GENERAL NOTES:**  
SEE A1.01.G FOR GENERAL NOTES.

**SMART NOTES:**  
1. SEE LIGHT FIXTURE DIMENSIONS TO SETBACKS  
2. SEE LIGHT FOR PARCEL BOUNDARY INFORMATION  
3. SEE LIGHT FOR SITE DESIGN INFORMATION  
4. ALL OUTDOOR LIGHTING TO BE WIRED TO A PHOTOCELL OR ASTRONOMICAL TIME CLOCK  
5. ALL OUTDOOR LIGHTING TO BE LED, HIGH EFFICACY FIXTURES ON 12V PARALLEL WIRING  
6. ALL REMOTE TRANSFORMERS TO BE INVEHICLED, WATERPROOF, HALTS BELOW GROUND SURFACE AND PROTECTED FROM VANDALISM. REVIEW ALL LOCATIONS IN THE FIELD AND CONTACT PAUL TO OBTAIN CONSULT

**PROJECT LEGEND:**

SYMBOL	TYPE	DESCRIPTION
FX	FIXTURE TYPE	STRUCTURE
ZX	FIXTURE TYPE	STRUCTURE
F1	FIXTURE TYPE	UPWARD LIGHTING
F2	FIXTURE TYPE	WALL A STEP DOWN LIGHTING
F3	FIXTURE TYPE	LINEAR STRIP LIGHT
F4	FIXTURE TYPE	WALL UNDER DOWNLIGHT
F5	FIXTURE TYPE	INGRADE UP LIGHT
F6	FIXTURE TYPE	STAKE MOUNT UP LIGHT
F7	FIXTURE TYPE	INTEGRATED BENCH UP LIGHT
F8	FIXTURE TYPE	POOL LIGHT
F9	FIXTURE TYPE	SIDE WALL MOUNTED

**LEGEND:**

- BUILDING STRUCTURE FOOTPRINT
- BELOW GRADE SENSITIVE S.C.D.
- BELOW GRADE WATERLINE S.C.D.
- BELOW GRADE GAS LINE S.M.D.
- WESTERN JAWERS TO BE REMAIN
- WESTERN JAWERS TO BE REMOVED
- IN POPULAR TREES/SHRUBS DURING ASPEN TREE TO BE CUT - MAIN PORTION AT TIME OF PLANTING
- IN POPULAR TREES/SHRUBS DURING ASPEN TREE TO BE CUT - MAIN PORTION AT TIME OF PLANTING

**ISSUE**      **DATE**

SUP            2021/03/10

JUPITER GROUND      **REVISIONS**

A	
A	
A	
A	
A	

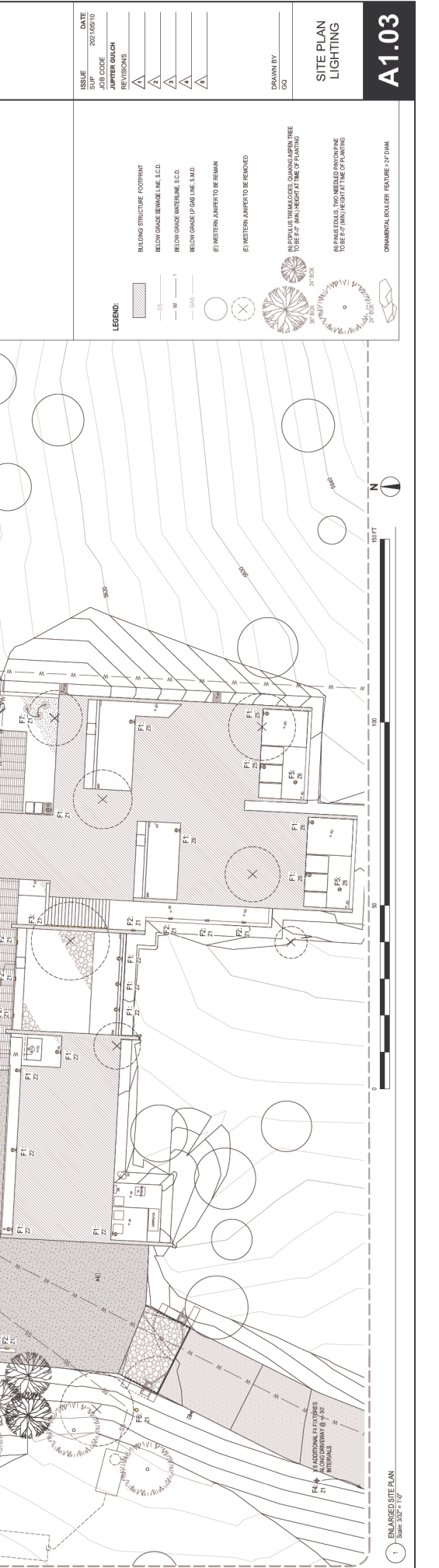
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**SITE PLAN LIGHTING**

GRAHAM STEARNS QUINN  
1515 268 9004  
KENTFIELD  
CALIFORNIA  
E223 WOODLAND ROAD  
GRAHAM STEARNS QUINN

STATE OF CALIFORNIA  
COUNTY OF SAN DIEGO  
PLANNING AND ZONING DEPARTMENT  
APPROVED  
MAY 11 2021

ORNAMENTAL BOLLARDS FEATURE 2" DIA.



**GENERAL NOTES:**  
 SEE A-1.0 TO A-1.3 FOR GENERAL NOTES.

**SHRUB NOTES:**  
 1. SEE A-1.0 FOR TREE FEATURE DIMENSIONS TO SUBSOILS  
 2. SEE A-1.0 FOR PARCEL BOUNDARY INFORMATION  
 3. SEE A-1.0 AND S.C.D. FOR SITE DESIGN INFORMATION, GRADING AND DRAINAGE  
 4. HATCHES ARE REPRESENTATIONAL ONLY.

GRAHAM STEARNS QUINN  
 4375 WOODLAND ROAD  
 SUITE 100  
 LAKELAND, FL 33607  
 T: 813.248.9004

SYMBOL	LANDSCAPE COVERAGE LEGEND:	DESCRIPTION	SPFC	TOTAL AREA
[Symbol]	ENGINEERED GRAVEL	ENGINEERED GRAVEL	10.00 SQ.FT.	10.00 SQ.FT.
[Symbol]	C/P CONCRETE	C/P CONCRETE	5.86 SQ.FT.	5.86 SQ.FT.
[Symbol]	CERAMIC OVER INTERLOCKED BASE	CERAMIC OVER INTERLOCKED BASE	5.86 SQ.FT.	5.86 SQ.FT.
[Symbol]	CONCRETE OVER INTERLOCKED BASE	CONCRETE OVER INTERLOCKED BASE	54 SQ.FT.	54 SQ.FT.
[Symbol]	SAND SET STONE PAVEMENT	SAND SET STONE PAVEMENT	1.06 SQ.FT.	1.06 SQ.FT.
[Symbol]	DRIP TRAY/GRASSING	DRIP TRAY/GRASSING	202 SQ.FT.	202 SQ.FT.
[Symbol]	POOL SPA	POOL SPA	699 SQ.FT.	699 SQ.FT.
[Symbol]	"TERRAZZO" GRANITE STONE	"TERRAZZO" GRANITE STONE	5.34 SQ.FT.	5.34 SQ.FT.
[Symbol]	STRAW & SEED REGENERATION AREA	STRAW & SEED REGENERATION AREA	25.90 SQ.FT.	25.90 SQ.FT.

COMMON NAME:	LAWN SPECIES (USDA ZONES)
WINTERGRASS	1.00
PERENNIAL GRASS	2.00
PERENNIAL GRASS	4.00
PERENNIAL GRASS	2.00
PERENNIAL GRASS	0.50
PERENNIAL GRASS	0.50
PERENNIAL GRASS	2.00
PERENNIAL GRASS	0.50
PERENNIAL GRASS	0.25
PERENNIAL GRASS	0.25
PERENNIAL GRASS	0.25
PERENNIAL GRASS	1.25
PERENNIAL GRASS	2.00

**LEGEND:**

- Building Structure Footprint
- Site Wall
- Below Grade Sewer Line, S.C.D.
- Below Grade Water Line, S.C.D.
- Below Grade Gas Line, S.M.D.
- Western Lumber to be Remain
- Western Lumber to be Removed

**ORBITAL BOLLARDS FEATURE - 2" DIA.**

**IN-PERIL TREES:** DIMENSIONS DURING ASPEN TREE FOR C/P PLAN (NOT AT TIME OF PLANTING)

**IN-PERIL TREES:** DIMENSIONS DURING ASPEN TREE TO BE C/P PLAN (NOT AT TIME OF PLANTING)





ISSUE	DATE
S/J/P	2021/05/10
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**IRRIGATION PLAN**

**L3.00**

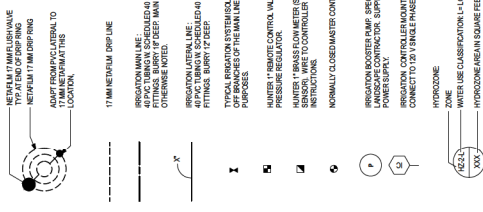
**GENERAL NOTES:**

- SEE ALL L&L'S FOR GENERAL NOTES
- SEE L1 FOR SITE FEATURE DIMENSIONS TO SETBACKS
- SEE L1 FOR RAVEL BOUNDARY INFORMATION
- SEE L1 AND S.C.D. FOR SITE DESIGN INFORMATION, GRADING AND DRAINAGE
- INDICATE REPRESENTATIONAL ONLY
- SEE L1 FOR PLANTING PLAN
- SEE L1 FOR WATER USE CALCULATIONS
- SEE L1 AND L2 FOR IRRIGATION EQUIPMENT AND SPECIFICATIONS
- IRRIGATION LINES TO COMPLY WITH WASHOE COUNTY STANDARDS IN SECTION 10.0.4.01

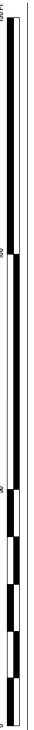
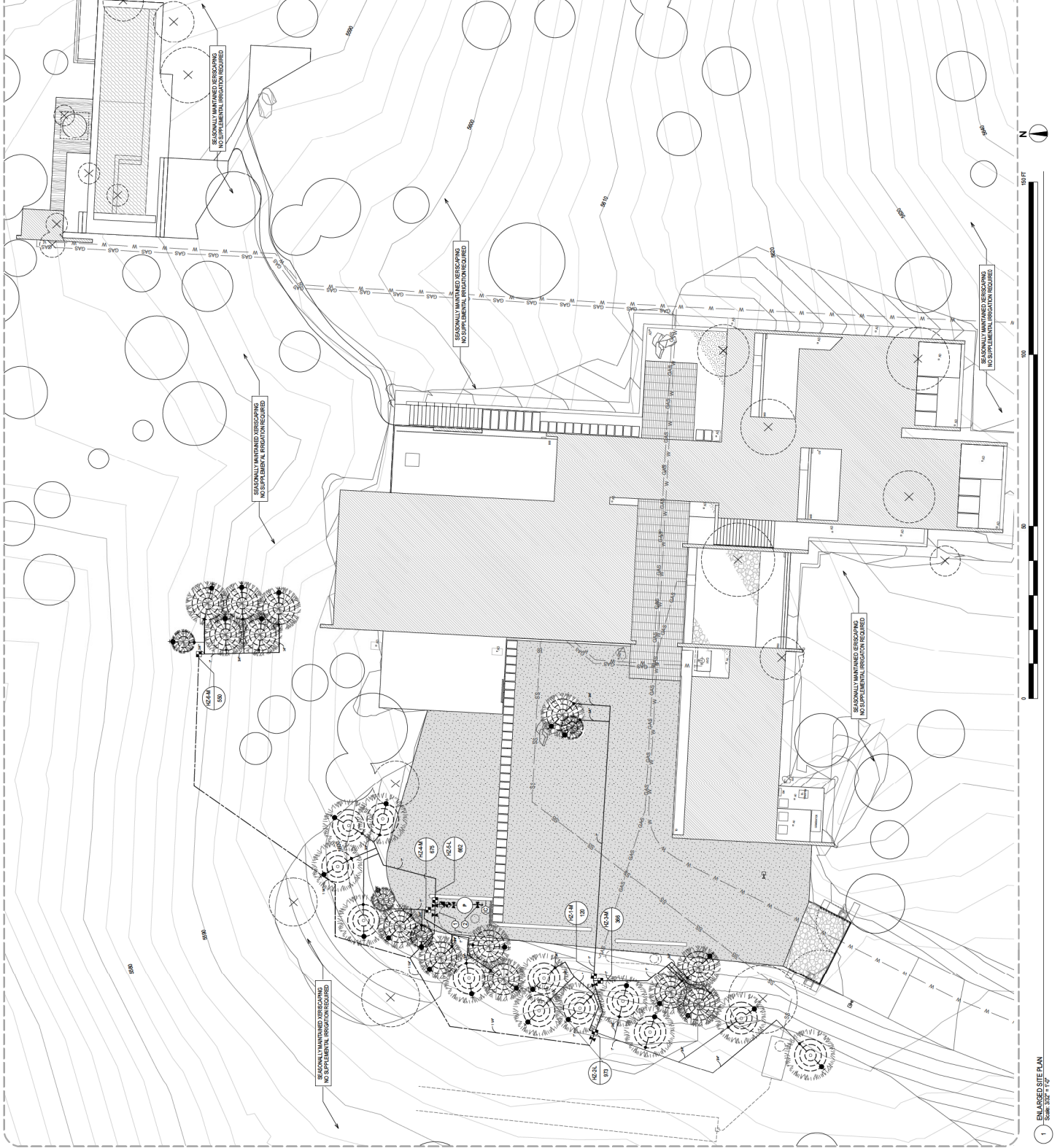
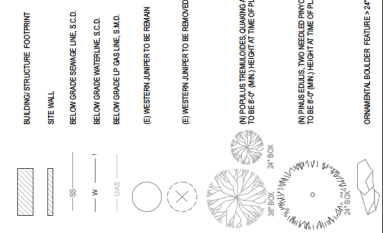
**KEY NOTES:**

- IRRIGATION WATER HARVESTING STORAGE TANK
- IN LINE IRRIGATION BACKFLOW PREVENTER AS SEED

**IRRIGATION LEGEND:**



**LEGEND:**



ENLARGED SITE PLAN  
 Scale: 1/8" = 1'-0"

# IRRIGATION WATER USE CALCULATIONS

**MAXIMUM AVAILABLE WATER AVAILABLE**

MAWA = (Soil - Res.) - Evapotranspiration (ET) + Precipitation (P)

MAWA = (0.25 - 0.05) - (0.05) + (0.05) = 0.20 inches

MAWA = 0.20 inches x 43,560 sq ft/acre x 12 inches/foot = 1051.2 gallons/acre

MAWA = 1051.2 gallons/acre x 10 acres = 10,512 gallons

MAWA = 10,512 gallons x 7.48 gallons/gallon = 77,808 gallons

MAWA = 77,808 gallons

MAXIMUM AVAILABLE  
ESTIMATED TOTAL WATER USE

= 77,808 GALLONS YEAR  
= 66,798 GALLONS YEAR

**ETW - Evapotranspiration (ET) - (mm/day)**

ETW = (Soil - Res.) - (Soil - Res.) + (Soil - Res.)

ETW = (0.25 - 0.05) - (0.05) + (0.05) = 0.20 inches

ETW = 0.20 inches x 43,560 sq ft/acre x 12 inches/foot = 1051.2 gallons/acre

ETW = 1051.2 gallons/acre x 10 acres = 10,512 gallons

ETW = 10,512 gallons x 7.48 gallons/gallon = 77,808 gallons

ETW = 77,808 gallons

# IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGNOSTIC AND INDICATIVE OF THE PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT MAY BE REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DISCREPANCY WITH CONTRACT DOCUMENTS, PLANT INSTALLATION WORK ACCORDING TO NOTIFICATION AND APPROVAL OF THE OWNERS AUTHORIZED CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE CONDUIT OR BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE OWNER OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH AS DESCRIBED IN NOTES DURING THE MAINTENANCE PERIOD. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES INPUTTING DATA TO MATERIAL WATER REQUIREMENTS (MOISTURE AND SLOPE), SWA, PAGES AND WIND EXPOSURES, ETC.
- 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER ELECTRICAL SERVICE TO THE IRRIGATION CONTROLLER LOCATIONS) TO BE PROVIDED UNDER FINAL CONNECTION FROM ELECTRICAL SERVICE STUB-OUT TO CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURERS INSTRUCTIONS.
- THE IRRIGATION CONTRACTOR SHALL PROVIDE A METHOD FOR INSULATING WIRES MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR TO VERIFY THE CORRECTNESS OF THE WIRING PER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- IRRIGATION CONTROL WIRES SHALL BE COPPER, SOLID-CORE, COLOR CODED SPARE WIRES SHALL BE #18 AWG WITH A RED INSULATING JACKET.
- INSTALL 3 RED SPARE CONTROL WIRES (OF SAME QUANTITY AS UNUSED CONTROLLER STATIONS - WHICH EVER IS GREATER) ALONG THE ENTIRE WIRE ROUTING LOOP 3/8" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SPlicing OF LOW VOLTAGE WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A MINIMUM OF 12" EXCESS WIRE IN EACH VALVE BOX. WIRE SHALL BE TIGHTENED EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTACT WITH SLEEVE AND CONDUIT.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BLACK BOLT DOWN, NON-IRREG ACCEPTABLE VALVE BOX MANUFACTURERS INCLUDE CARSON-BROOKS' NDS PRO SERIES, OR APPROVED EQUAL.
- INSTALL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE AT MULTIPLE VALVE BOX GROUPS. INSTALL EACH BOX AN EQUAL PROVIDE 2" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING, OR LANDSCAPE FEATURE.
- VALVE LOCATIONS SHOWN ARE DIAGNOSTIC. INSTALL IN GROUND COVERS/SHUB AREAS (NOT IN LAWN AREA).
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST IRRIGATION HEADS TO OPERATE AT THE DESIGN PRESSURE AND TO PROVIDE OVER POSSIBLE SELECT THE BEST DEGREE OF ARC AND RADIUS TO FIT THE VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHER WISE NOTED ON THE DRAWINGS.
- INSTALL A 1/2" O.D. SERIES, OR APPROVED EQUAL, SPRING LOADED CHECK VALVE IN SPRINKLER RISER OR BUMBLER ASSEMBLY WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
- SOLVENT CEMENT AND PRIMER FOR SOLVENT WELD JOINTS SHALL BE THROUGHOUT USE. PIPE JOINT COMPOUND SHALL BE NON-HARDENING. FITTINGS, CEMENT SHALL BE MAINTAINED AT PROPER CONSISTENCY. THREADED CONNECTIONS IN WATER CARRYING PIPE. PERFORMANCE SHALL BE SAME AS FERMATEX NO. 51.
- ALL ARTICLES AND SERVICES INSTALLED UNDER THIS CONTRACT SHALL MEET OR EXCEED THE SAFETY AND HEALTH ACT OF 1970, TOGETHER WITH ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL ERRECT AND MAINTAIN BARRICADES, GUARDS, WARNING SIGNS, AND LIGHTS AS NECESSARY FOR THE PROTECTION OF THE PUBLIC OR WORKMEN.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION, AND THE NATIONAL ELECTRIC CODE, THE NATIONAL PLUMBING CODE, AND THE NATIONAL ELECTRICAL CODE. THE CONTRACTOR SHALL ERRECT AND MAINTAIN BARRICADES, GUARDS, WARNING SIGNS, AND LIGHTS AS NECESSARY FOR THE PROTECTION OF THE PUBLIC OR WORKMEN.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAWN AND INSTALLATION OF THE PLANT MATERIALS TO BE COVERED IN ACCORDANCE WITH THESE DRAWINGS, AND THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM OF PLANT MATERIALS INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE STATION NUMBER, ATTACH LABEL TO CONTROL WIRE. THE LABEL SHALL INDICATE IDENTIFICATION NUMBER OF VALVE CONTROLLER AND APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FILL AND REPAIR ALL DEPRESSIONS AND REPLACE ALL NECESSARY LAWN AND PLANTING DUE TO THE SETTLEMENT OF IRRIGATION FOR ONE YEAR OR MORE. THE CONTRACTOR SHALL ALSO GUARANTEE ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FURNISHED BY HIM TO BE FREE OF ALL DEFECTS AND TO BE REPLACED AT HIS EXPENSE, AT ANY TIME WITHIN ONE YEAR OR AS AGREED AFTER INSTALLATION IS ACCEPTED, ANY AND ALL DEFECTIVE PARTS THAT MAY BE FOUND.
- WHEN WORK IS COMPLETED, ALL EXCESS MATERIALS AND SUCH OTHER THINGS AS MAY BE REQUIRED TO BE REMOVED FROM THE SITE, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- UNSIIZED LATERAL LINE PIPE LOCATED DOWN STREAM OF TAPPING SHALL BE 7.5" IN SIZE (TYPICAL).
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE OR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF 1/2" ABOVE EQUIPMENT SIZE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:  

1"	0-6 GPM	1.25"	13-20 GPM
1.5"	6-12 GPM		

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IRRIGATION  
NOTES  
AND CALCS.

L3.10

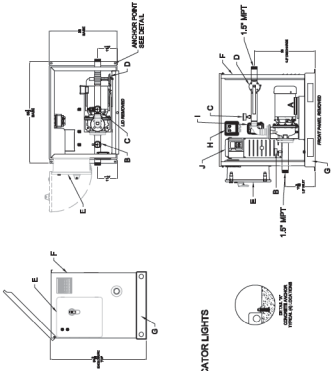
GRHAM STEARNS QUINN  
2323 WOODLAND ROAD  
KENTFIELD  
CA 94920  
TEL: 415.888.8000



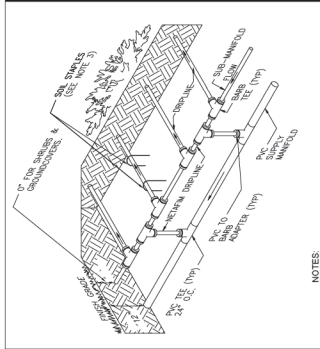


**PUMP STATION SPECIFICATIONS:**  
 NAME: 2250 BRACK ROAD RESIDENCE  
 ADDRESS: 2250 BRACK ROAD, KENTFIELD, CA 94024  
 STATION TOTAL PERFORMANCE: 20GPM @ 65PSI  
 PUMP HORSEPOWER:  
 PUMP NO. 51P (800RPPM)  
 MIN SUGGESTED CIRCUIT BREAKER: 60AMP  
 POWER REQUIREMENTS: 240V, 60HZ, 1PHZ, 42 FLA

**STATION COMPONENTS:**  
 A PUMP AND MOTOR  
 B INLET PRESSURE / VACUUM GAUGE  
 C DISCHARGE PRESSURE / VACUUM GAUGE  
 D DISCHARGE ISOLATION VALVE  
 E HIGH VOLTAGE DISCONNECT PANEL W/ RIN AND FAULTED INDICATOR LIGHTS  
 F 150 AMP 240V 1PH 42 FLA SW (UNPAINTED)  
 G STAINLESS STEEL BASE (UNPAINTED)  
 H HOA SWITCHES FOR MANUAL AND AUTOMATIC CONTROL  
 I 150 AMP 240V 1PH 42 FLA SW (UNPAINTED)  
 J VARIABLE FREQUENCY DRIVE

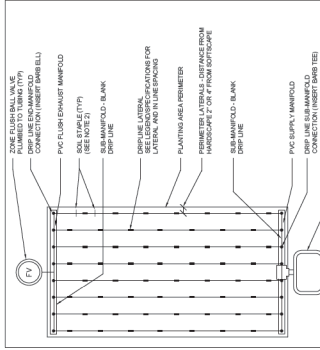


9 PUMP SPECIFICATION



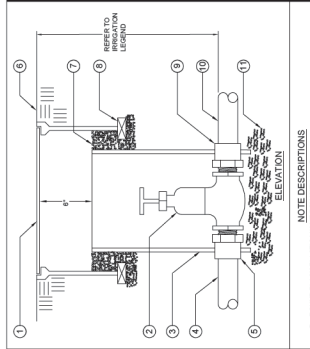
**NOTE:**  
 1. ALL FITTINGS TO BE USED SHALL BE AS MANUFACTURED.  
 2. ALL FITTINGS TO BE USED SHALL BE AS MANUFACTURED.  
 3. STABLE DRAINAGE AT 0.01 OR AS NECESSARY TO ENSURE SECURITY ON GRADE.  
 4. METAL DRAINAGE SHALL BE TO THE STREET.  
 5. CHECK VALVE IN EACH DRAINER SHALL HOLD BACK 10 FEET OF WATER.  
 6. TYPICAL 10" x 12"

1 END FEED ON-SURFACE DRIP MANIFOLD  
 SCALE: NONE  
 PLAN SYMBOL: [Symbol]



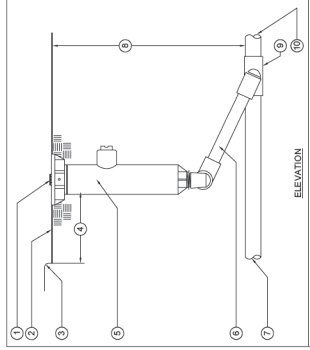
**NOTE:**  
 1. REMOTE CONTROL VALVE AND ISOLATION VALVE TO BE USED FOR CONTRACTION.  
 2. ISOLATION VALVE TO BE USED FOR CONTRACTION.  
 3. ALL FITTINGS TO BE USED SHALL BE AS MANUFACTURED.  
 4. INITIAL DRAINAGE PANELS TO DRAINAGE JAIL.

2 END FEED ON-SURFACE DRIP LAYOUT  
 SCALE: NONE  
 PLAN SYMBOL: [Symbol]



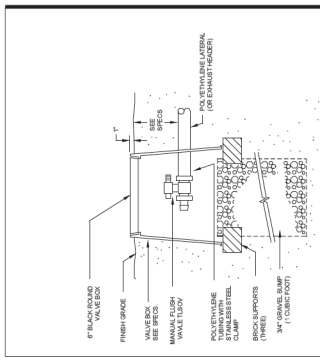
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 5. ISOLATION VALVE TO BE USED FOR CONTRACTION.  
 6. ISOLATION VALVE TO BE USED FOR CONTRACTION.  
 7. ISOLATION VALVE TO BE USED FOR CONTRACTION.  
 8. ISOLATION VALVE TO BE USED FOR CONTRACTION.  
 9. ISOLATION VALVE TO BE USED FOR CONTRACTION.  
 10. ISOLATION VALVE TO BE USED FOR CONTRACTION.

5 ISOLATION VALVE  
 SCALE: NONE  
 PLAN SYMBOL: [Symbol]



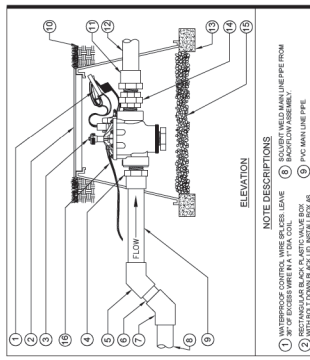
**NOTE DESCRIPTIONS:**  
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 2. NOZZLE REFER TO IRRIGATION LEGEND.  
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 4. NOZZLE REFER TO IRRIGATION LEGEND.  
 5. NOZZLE REFER TO IRRIGATION LEGEND.  
 6. NOZZLE REFER TO IRRIGATION LEGEND.  
 7. NOZZLE REFER TO IRRIGATION LEGEND.  
 8. NOZZLE REFER TO IRRIGATION LEGEND.  
 9. NOZZLE REFER TO IRRIGATION LEGEND.  
 10. NOZZLE REFER TO IRRIGATION LEGEND.

6 4" POP-UP NOZZLE AT TURF  
 SCALE: NONE  
 PLAN SYMBOL: [Symbol]



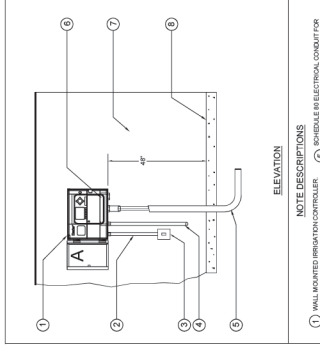
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 3. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 4. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 5. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 6. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 7. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 8. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 9. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 10. 1/2" PIPING TO BE USED FOR CONTRACTION.

3 MANUAL FLUSH VALVE (ON DRIP LINE)  
 SCALE: NONE  
 PLAN SYMBOL: [Symbol]



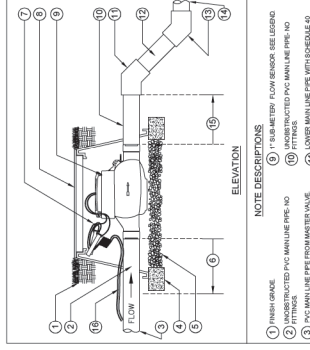
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 6. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 7. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 8. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 9. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 10. 1/2" PIPING TO BE USED FOR CONTRACTION.

7 MASTER CONTROL VALVE  
 SCALE: NONE  
 PLAN SYMBOL: [Symbol]



**NOTE DESCRIPTIONS:**  
 1. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 2. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 3. 1/2" PIPING TO BE USED FOR CONTRACTION.  
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 5. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 6. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 7. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 8. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 9. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 10. 1/2" PIPING TO BE USED FOR CONTRACTION.

4 EXTERIOR MOUNTED CONTROLLER  
 SCALE: NONE  
 PLAN SYMBOL: [Symbol]



**NOTE DESCRIPTIONS:**  
 1. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 2. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 3. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 4. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 5. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 6. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 7. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 8. 1/2" PIPING TO BE USED FOR CONTRACTION.  
 9. 1/2" PIPING TO BE USED FOR CONTRACTION.  
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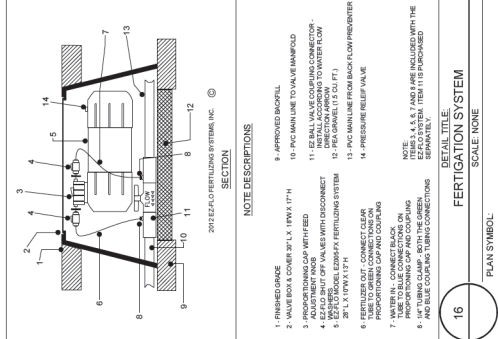
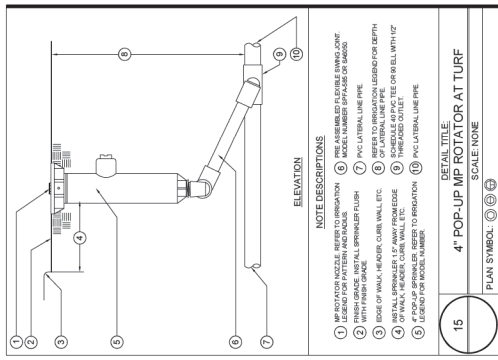
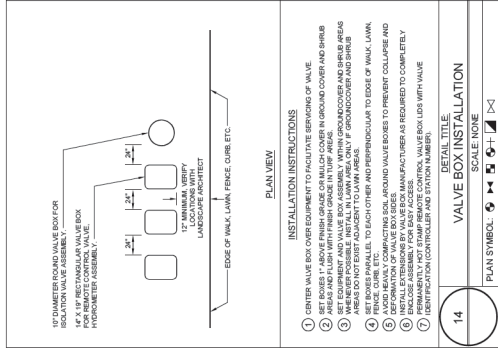
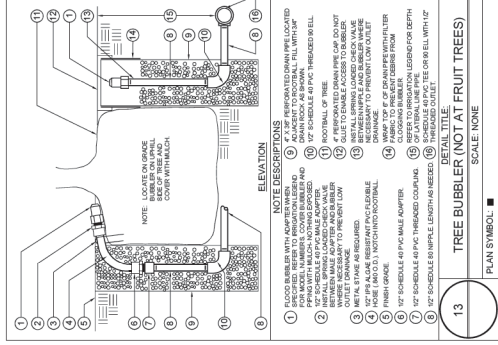
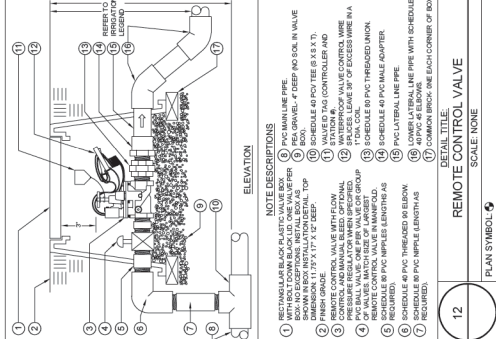
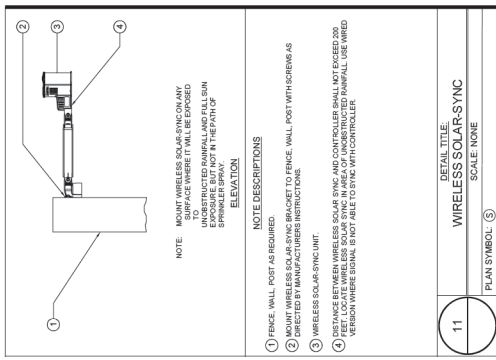
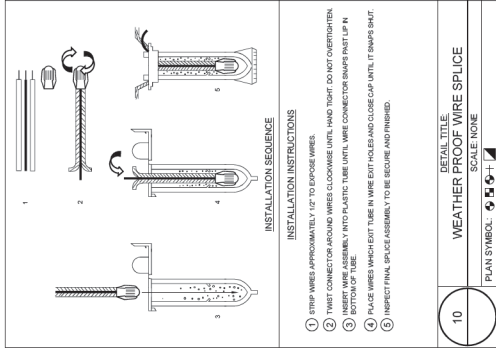
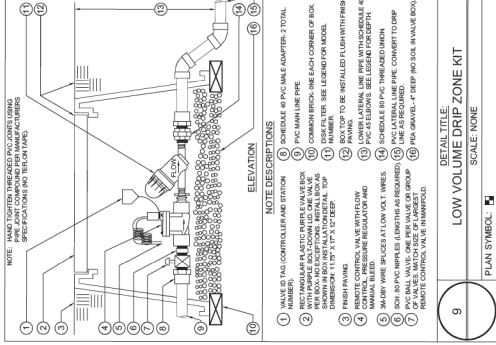
8 SUB-METER FLOW SENSOR  
 SCALE: NONE  
 PLAN SYMBOL: [Symbol]



ISSUE	DATE
SUP	2021/03/10
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IRRIGATION DETAILS



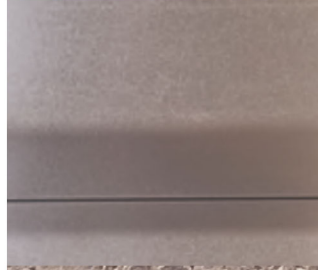


EXTERIOR MATERIALS SELECTED TO COMPLEMENT THE SITE'S NATURAL SURROUNDINGS



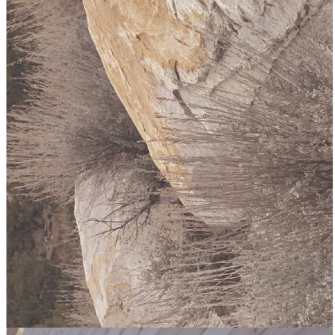
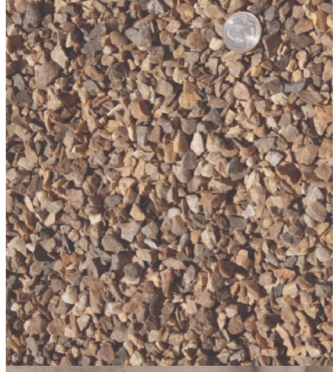
**BUILDING FINISH MATERIALS--SEE EXTERIOR ELEVATIONS FOR LOCATIONS**

- (F1) SMOOTH TROWEL CEMENT PLASTER
- (F2) GROUND FACE CONCRETE MASONRY BLOCK
- (F3) GALVANIZED METAL
- (F4) ALASKAN YELLOW CEDAR
- (F5) CAST IN PLACE COLORED CONCRETE



**SITWORK FINISH MATERIALS--SEE SITE PLAN AND LANDSCAPE PLAN FOR LOCATIONS**

- (S1) 3" X18" BUSH HAMMERED GRANITE PAVEMENT COBBLE
- (S2) TRINITY OR EQUIVALENT 1/4" - 3/8" GRAVEL CHIP
- (S3) 2X ALASKAN YELLOW CEDAR DECKING
- (S4) ROCKERY WALLS AND FIELD BOULDERS



GRAHAM STEARNS QUINN, AIA  
 523 WOODLAND ROAD  
 KENNESAW, WA 98148  
 TEL: 415.248.9004



125 BORON LANE  
 RENO, NV 89508  
 APN# 079-430-11

ISSUE \_\_\_\_\_ DATE \_\_\_\_\_  
 SUP \_\_\_\_\_ 2021/06/10  
 JOB CODE \_\_\_\_\_  
 21 BORON  
 REVISIONS \_\_\_\_\_

DRAWN BY \_\_\_\_\_  
 GSD

**MATERIALS  
 LEGEND**

**A3.00**

GRAHAM STEARNS QUINN, AIA  
 523 WOODLAND ROAD  
 COLUMBIETTA, IL 62424  
 T: 618.246.9004



125 BORON LANE  
 RENO, NV 89508  
 APN# 079-430-11

ISSUE DATE  
 SUP 2021.06.10  
 JOB CODE 21 BORON  
 REVISIONS

DRAWN BY  
 GD

EXTERIOR  
 ELEVATION  
 NORTH

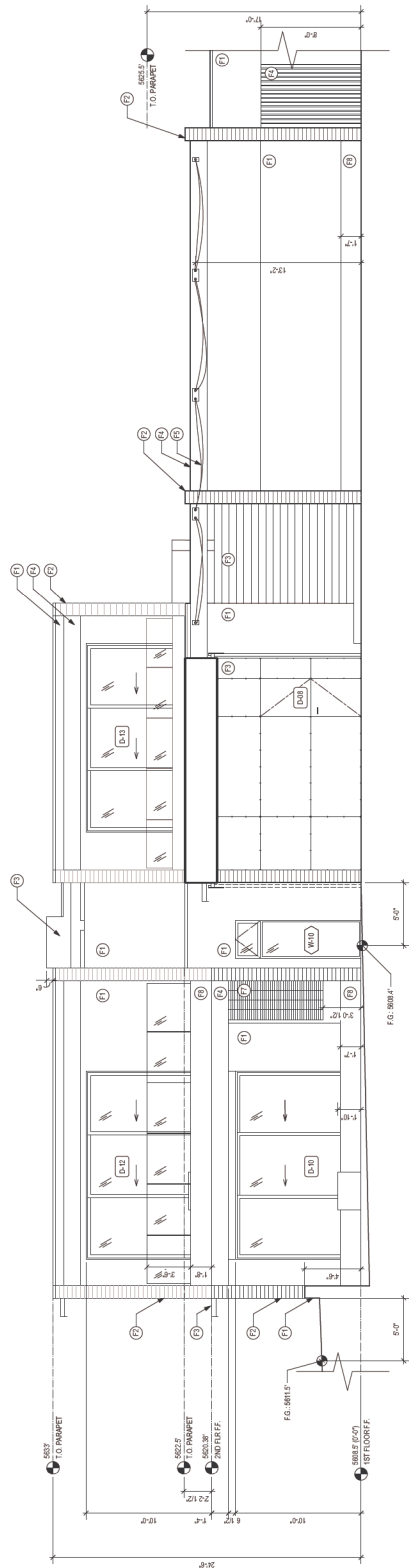
A3.01

GENERAL NOTES

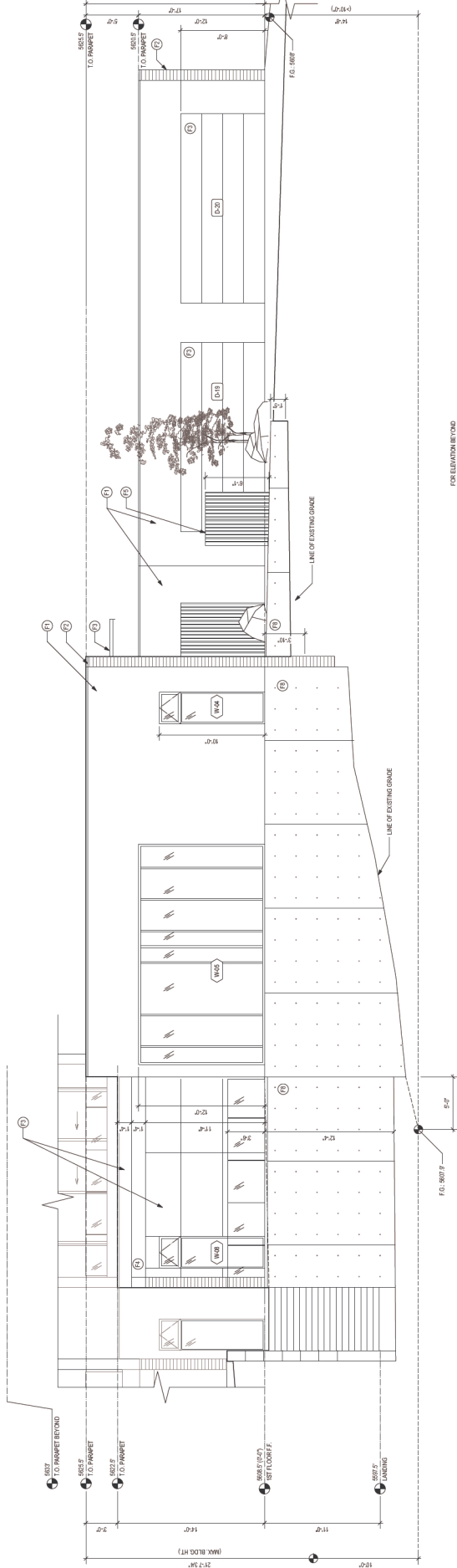
1. DIMENSIONS SHOWN ARE REFERENCED ONLY. U.S.
2. SLOPE FOR PROPOSED FIN, GRADES AND TOP OF WALL/ELEVATIONS
3. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. UNLESS
4. SPECIFIED, FINISHES TO BE SET IN RESULT AND CLASSIFIED INTO INTERIORS, EXTERIORS, AND SAFETY
5. SEE NOTES ON PLAN AND WINDOW SCHEDULE EXPRESS, RESTRICTIONS, AND SAFETY
6. SEE ENERGY REPORT FOR INSULATION VALUES
7. ALL GLAZING TO BE TEMPERED SAFETY GLASS.
8. ALL GLAZING TO BE TREATED WITH AN ANTI-REFLECTIVE COATING
9. ALL SCREEN AND GLAZING TO BE ENGINEERED OR A 20 LBS. FT. LOAD AT ANY POINT
10. ALL WINDOW AND GLAZING TO BE PRESSURE TREATED (PT)
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FINISH MATERIAL IDENTIFICATION LEGEND:

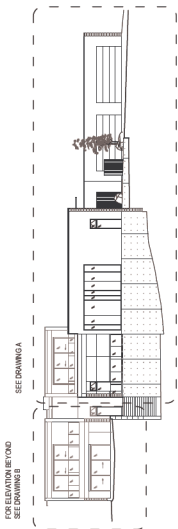
- (1) SMOOTH TROWEL GYPSUM PLASTER
- (2) CONCRETE MASONRY UNIT 4" X 8"
- (3) GALVANIZED STEEL
- (4) ALASKAN YELLOW CEDAR
- (5) FABRIC SOLAR SHADE CANOPY
- (6) CAST GLASS BLOCK
- (7) ALASKAN YELLOW CEDAR SIDING
- (8) C.I.P. COLURED CONCRETE



B NORTH ELEVATION BREEZEWAY  
 Scale: 1/4" = 1'-0"



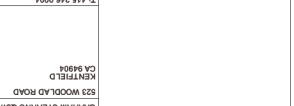
A NORTH ELEVATION  
 Scale: 1/4" = 1'-0"



1 OVERALL NORTH ELEVATION  
 Scale: 1/8" = 1'-0"

GRAHAM STEARNS QUINN M.A.

1523 WOODLAND ROAD  
CLARK COUNTY  
RENO, NV 89502  
TEL: 754-285-9004



125 BORON LANE  
RENO, NV 89508  
APN# 079-430-11

ISSUE	DATE
SUP	2/27/2021
JOB CODE	21 BORON
REV	
REVISIONS	

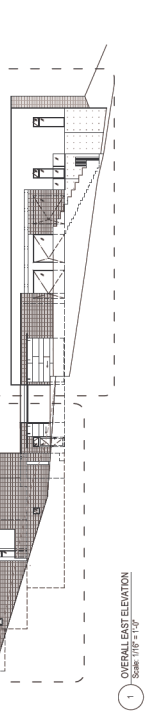
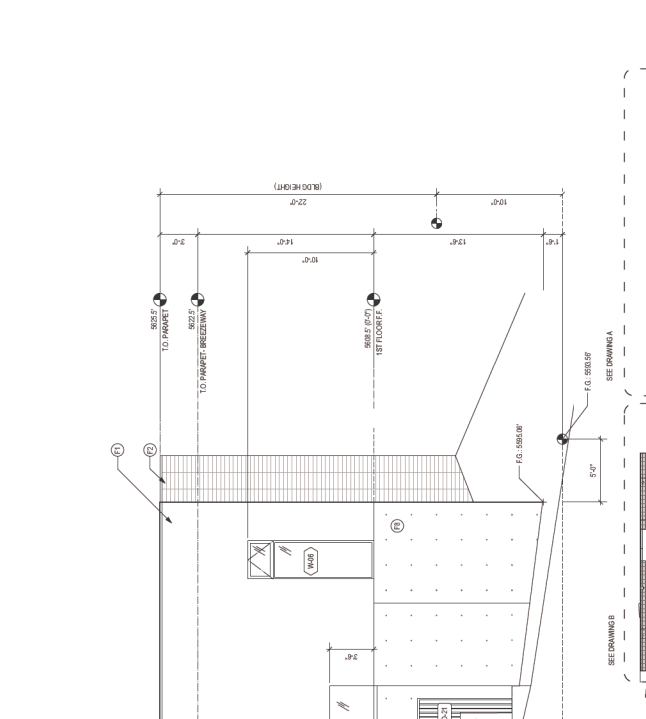
DRAWN BY: GD

EXTERIOR  
ELEVATION -  
EAST

A3.02

- GENERAL NOTES:**
1. ALL DIMENSIONS SHOWN ARE MEASUREMENTS UNLESS OTHERWISE NOTED.
  2. SCAFFOLDING FOR PROPOSED FIN, GUTTERS AND TOP OF WALL ELEVATIONS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND REMOVED IMMEDIATELY UPON COMPLETION OF ALL WORK.
  3. ALL FINISH SURFACES SHALL BE CLEAN, UNIFORM AND CONFORM TO ALL APPLICABLE SPECIFICATIONS.
  4. SEE NOTES ON PLAN AND WINDOW SCHEDULE FOR EXPANSION, RESTRICTIONS AND SAFETY.
  5. REFER TO SCHEDULE FOR INSULATION VALUES AND INSTALLATION DETAILS.
  6. ALL GLAZING TO BE TEMPERED SAFETY GLASS.
  7. ALL GLAZING TO BE EMBLEMED WITH MANUFACTURER'S MARK.
  8. ALL SCREENS AND GRATES TO BE ENGINEERED ORA 200 LB. FT. LOAD AT ANY POINT.
  9. ALL ROOFING TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
  10. ALL WORK SUBJECT TO CONTRACT DOCUMENTS TO BE PRESERVE (TREATED P.T.) AND CONFORM TO GRA 514.2.0.
  11. ALL WORK SUBJECT TO CONTRACT DOCUMENTS TO MEET VULNERABILITY REQUIREMENTS.
  12. AREAS OF NEW EXTERIOR WALL COVERING TO BE 1/4" FIRE RATED GYPSUM BOARD OVER INSULATION.
  13. ALL ROOFING TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
  14. WINDOWS TO PROVIDE NATURAL LIGHT TO ALL FLOOR PLANS.
  15. ALL EXTERIOR WALLS SHALL BE FINISHED WITH A 1/2" MINIMUM FINISH OVER ALL EXISTING SURFACES.
  16. ALL EXISTING WINDOWS TO HAVE MINIMUM GLASS WITHIN 6" OF GRADE (OR FIN. DECK).
  17. ALL EXISTING WINDOWS SHALL NOT BE MORE THAN 24" LOWER THAN THE DOORS.
  18. ALL GLAZING SHALL BE TEMPERED SAFETY GLASS.
  19. ALL FINISHES TO BE MAINTAINED AT ALL TIMES.
  20. SEE LANDSCAPE DRAWINGS AND SITE PLAN FOR NEW AND EXISTING PLANTINGS.

- FINISH MATERIAL IDENTIFICATION LEGEND:**
- (A) SMOOTH TRIMMEL GYPSUM PLASTER
  - (B) CONCRETE MASONRY UNIT - 4" X 8"
  - (C) GALVANNEED STEEL
  - (D) ALASKAN YELLOW CEDAR
  - (E) FABRIC SOLAR SHADE CANOPY
  - (F) CAST GLASS BLOCK
  - (G) ALASKAN YELLOW CEDAR SIDING
  - (H) C.I.P. COURED CONCRETE



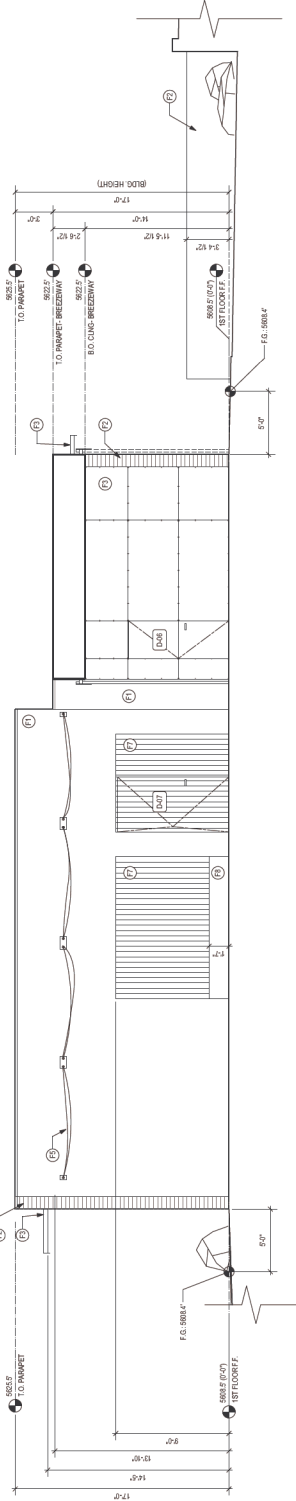
**8 EAST ELEVATION - SOUTH**  
Scale: 1/8" = 1'-0"

**1 OVERALL EAST ELEVATION**  
Scale: 1/8" = 1'-0"

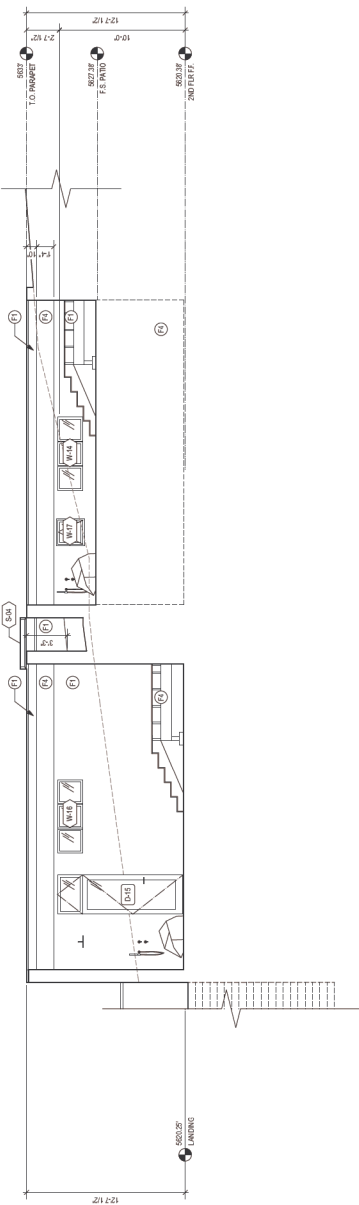
**A EAST ELEVATION - NORTH**  
Scale: 1/8" = 1'-0"

- GENERAL NOTES**
1. DIMENSIONS SHOWN ARE REFERENCE ONLY. U.S. CUSTOMARY UNITS SHALL PREVAIL OVER METRIC UNITS.
  2. SCALE FOR PROPOSED FIN, GRADES AND TOP OF WALL ELEVATIONS SHALL BE 1/8" = 1'-0".
  3. ALL FINISHES SHALL BE SHOWN ON THE DRAWING. FINISHES NOT SHOWN SHALL BE AS SHOWN ON THE DRAWING.
  4. SEE NOTES ON PLAN AND WINDOW SCHEDULE EXPRESS, RESTRICTORS AND SAFETY.
  5. SEE ENERGY REPORT FOR INSULATION VALUES.
  6. ALL GLAZING TO BE TEMPERED SAFETY GLASS.
  7. ALL GLAZING TO BE TYPED TO THE DRAWING.
  8. ALL SCREEN AND GLAZING TO BE ENGINEERED ORA 300 LB. FT. LOAD AT ANY POINT.
  9. ALL SCREEN AND GLAZING TO BE ENGINEERED ORA 300 LB. FT. LOAD AT ANY POINT.
  10. ALL WORK IN REDD CONTACT THE CONSULTANT TO MEET VAPOR EXPOSURE REQUIREMENTS AND COMPLY TO U.S.A.S.D.
  11. AREAS OF NEW EXTERIOR WALL COVERING TO BE FIRE RATED.
  12. AREAS OF NEW EXTERIOR WALL COVERING TO BE FIRE RATED.
  13. AREAS OF NEW EXTERIOR WALL COVERING TO BE FIRE RATED.
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  15. AREAS OF NEW EXTERIOR WALL COVERING TO BE FIRE RATED.
  16. AREAS OF NEW EXTERIOR WALL COVERING TO BE FIRE RATED.
  17. ALL EXTERIOR LANSING SHALL NOT BE MORE THAN 2" LOWER THAN THE DOORS.
  18. ALL EXTERIOR LANSING SHALL NOT BE MORE THAN 2" LOWER THAN THE DOORS.
  19. ALL EXTERIOR LANSING SHALL NOT BE MORE THAN 2" LOWER THAN THE DOORS.
  20. ALL EXTERIOR LANSING SHALL NOT BE MORE THAN 2" LOWER THAN THE DOORS.

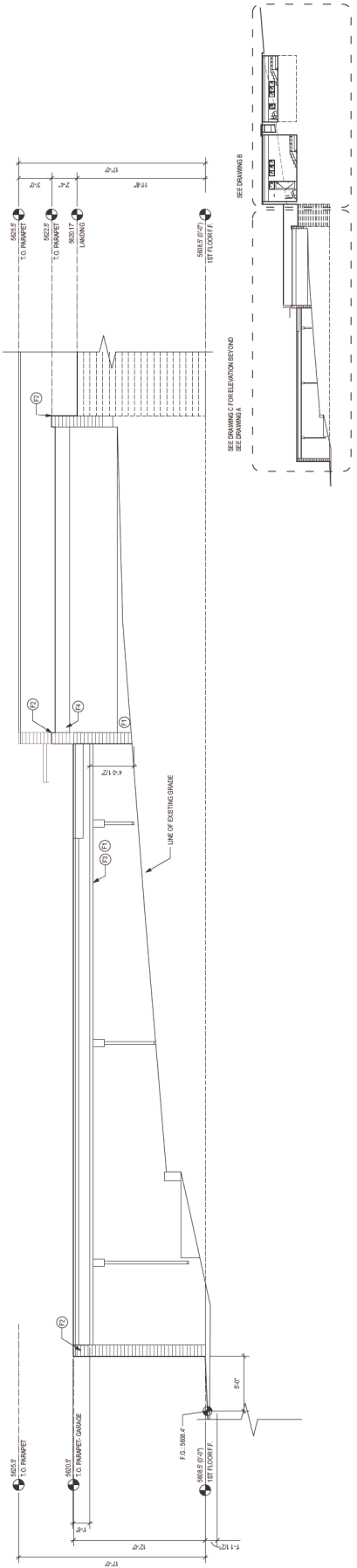
- FINISH MATERIAL IDENTIFICATION LEGEND:**
- (R) SMOOTH TRIMEL GHEBRT PLASTER
  - (C) CONCRETE MASONRY UNIT 4" X 8"
  - (D) GALVANNEZ STEEL
  - (A) ASIAN YELLOW CEDAR
  - (F) FABRIC SOLAR SHADE CANOPY
  - (G) CAST GLASS BLOCK
  - (H) ASIAN YELLOW CEDAR SIDING
  - (V) C.I.P. COLURED CONCRETE



C SOUTH ELEVATION-BREEZEWAY  
Scale: 1/8" = 1'-0"



B SOUTH ELEVATION-PARTIAL BEDROOMS  
Scale: 1/8" = 1'-0"



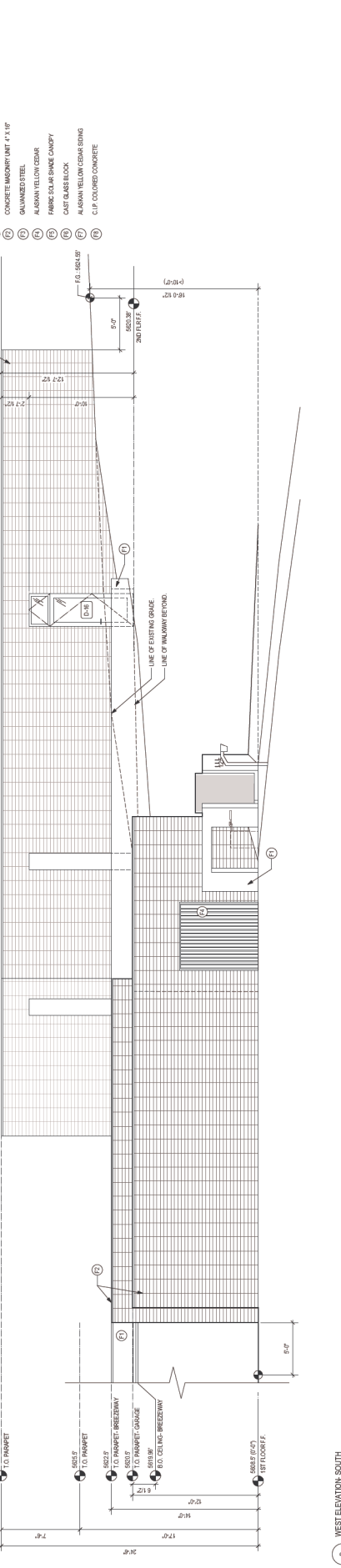
A OVERALL SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



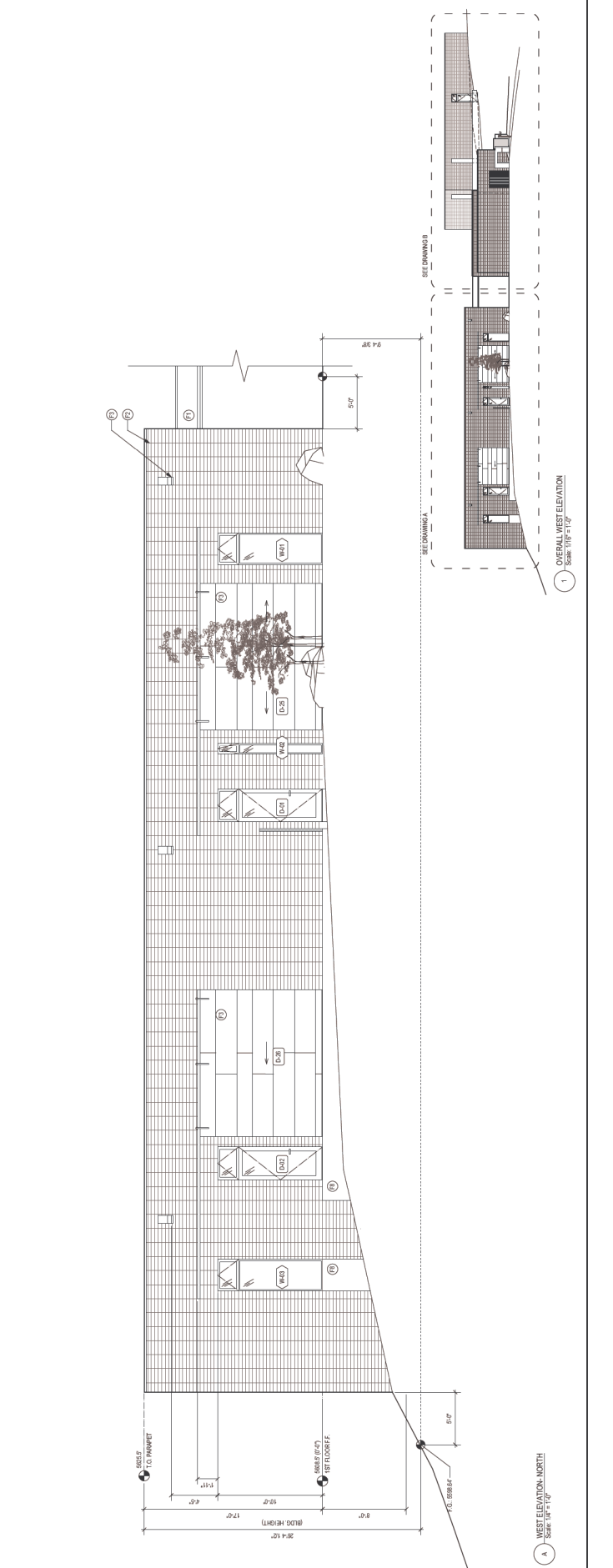
GRAHAM STEARNS QUINN  
523 WOODLAND ROAD  
CARRISSEL  
T: 752.262.9004

- GENERAL NOTES**
1. REFER TO ALL DRAWINGS FOR DIMENSIONS ONLY. U.S. UNITS.
  2. SCHEDULE FOR PROPOSED FINISHES AND TOP OF WALL ELEVATIONS.
  3. REFER TO ALL DRAWINGS FOR DIMENSIONS AND FINISHES. CONSTRUCTION FINISHES TO BE SET IN RESULT AND CLASSIFIED INTO INTERIOR/EXTERIOR ASSEMBLY.
  4. SEE NOTES ON PLAN AND WINDOW SCHEDULE EXPRESS, RESTRICTIONS, AND SAFETY.
  5. SEE ENERGY REPORT FOR INSULATION VALUES.
  6. ALL GLAZING TO BE TEMPERED SAFETY GLASS.
  7. ALL GLAZING TO BE TEMPERED SAFETY GLASS.
  8. ALL SCREEN AND GLAZES TO BE ENGINEERED ORA 300 LB. FT. LOAD AT ANY POINT.
  9. ALL SCREEN AND GLAZES TO BE ENGINEERED ORA 300 LB. FT. LOAD AT ANY POINT.
  10. ALL WORK SUBJECT CONTRACT TO CONSOLE TO BE PRESERVE (TREATED P.T.).
  11. ALL WORK SUBJECT CONTRACT TO CONSOLE TO BE PRESERVE (TREATED P.T.).
  12. AREAS OF NEW EXTERIOR WALL COVERING TO BE 1/4" FIRE RATED Gypsum Board (GWB) OVER 5/8" FIBERGLASS INSULATION (FIB) WITH 1/2" EXTERIOR FINISH.
  13. ALL EXTERIOR WALLS TO HAVE MINIMUM R-15 INSULATION.
  14. ALL EXTERIOR WALLS TO HAVE MINIMUM R-15 INSULATION.
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  20. ALL EXTERIOR WALLS TO HAVE MINIMUM R-15 INSULATION.

- FINISH MATERIAL IDENTIFICATION LEGEND:**
- (A) SMOOTH TRIMMEL GYPSUM PLASTER
  - (B) CONCRETE MASONRY UNIT 4" X 8"
  - (C) GALVANNEED STEEL
  - (D) ALASKAN YELLOW CEDAR
  - (E) FABRIC SOLAR SHADE CANOPY
  - (F) CAST GLASS BLOCK
  - (G) ALASKAN YELLOW CEDAR SIDING
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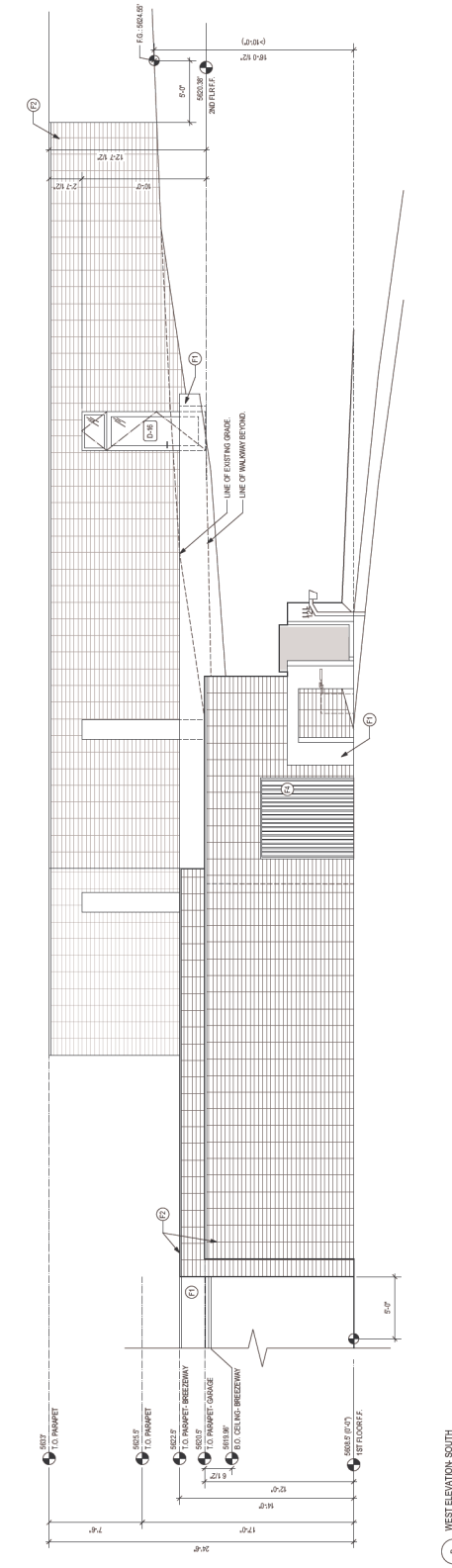
WEST ELEVATION SOUTH  
SCALE: 1/8" = 1'-0"



WEST ELEVATION NORTH  
SCALE: 1/8" = 1'-0"



ENTRY GATE ELEVATION  
SCALE: 1/8" = 1'-0"



OVERALL WEST ELEVATION  
SCALE: 1/8" = 1'-0"

