

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 7)

SPECIAL USE PERMIT FOR GRADING

(see page 9)

SPECIAL USE PERMIT FOR STABLES

(see page 12)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

3. What is the intended phasing schedule for the construction and completion of the project?

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

Landscaping to fit into the existing surrounding. The home celebrates the natural site and existing topography. See drawings for landscaping. 4 car covered garage parking is provided.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

9. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

--

10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

2. How many cubic yards of material are you proposing to excavate on site?

200 cubic yards of CUT, 1350 cubic yards of FILL.

3. How many square feet of surface of the property are you disturbing?

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

11. Are you planning any berms?

Yes	No	If yes, how tall is the berm at its highest?
-----	----	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

13. What are you proposing for visual mitigation of the work?

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

16. How are you providing temporary irrigation to the disturbed area?

--

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

--

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No	If yes, please attach a copy.
-----	----	-------------------------------

Property Owner Affidavit

Applicant Name: Owner Name GRAHAM QUINN

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, GRAHAM QUINN, MANAGER OF 125 BOWEN SERIES, A SEPARATE SERIES OF JUPITER GULCH LLC,
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 079-00-11 079-430-11

Printed Name GRAHAM QUINN, MANAGER OF 125 BOWEN SERIES, A SEPARATE SERIES OF JUPITER GULCH LLC

Signed 

Address _____

Subscribed and sworn to before me this _____ day of _____.

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: _____

SEE ATTACHED JURAT

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

California Jurat Certificate

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Marin

} s.s.

Subscribed and sworn to (or affirmed) before me on this 5th day of May

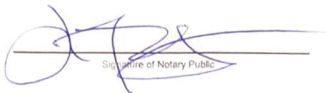
2021, by Graham Quinn and

Name of Signer (1)

proved to me on the basis of

Name of Signer (2)

satisfactory evidence to be the person(s) who appeared before me.


Signature of Notary Public



For other required information (Notary Name, Commission No. etc.)

Seal

OPTIONAL INFORMATION

Although the information in this section is not required by law, it could prevent fraudulent removal and reattachment of this jurat to an unauthorized document and may prove useful to persons relying on the attached document

Description of Attached Document

The certificate is attached to a document titled/for the purpose of

containing _____ pages, and dated _____

Additional Information

Method of Affiant Identification

Proved to me on the basis of satisfactory evidence:
 form(s) of identification credible witness(es)

Notarial event is detailed in notary journal on:

Page # _____ Entry # _____

Notary contact: _____

Other

Affiant(s) Thumbprint(s) Describe: _____



[Tax Search](#)

[Checkout](#)

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
07943011	Active	5/4/2021 1:40:25 AM

Current Owner:
JUPITER GULCH LLC
125 BORON SERIES
523 WOODLAND RD
KENTFIELD, CA 94904

SITUS:
125 BORON LN
WCTY NV

Taxing District
4000

Geo CD:

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2020	\$521.52	\$521.52	\$0.00	\$0.00	\$0.00
2019	\$496.56	\$496.56	\$0.00	\$0.00	\$0.00
2018	\$473.82	\$473.82	\$0.00	\$0.00	\$0.00
2017	\$454.72	\$454.72	\$0.00	\$0.00	\$0.00
2016	\$443.20	\$443.20	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:

P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:

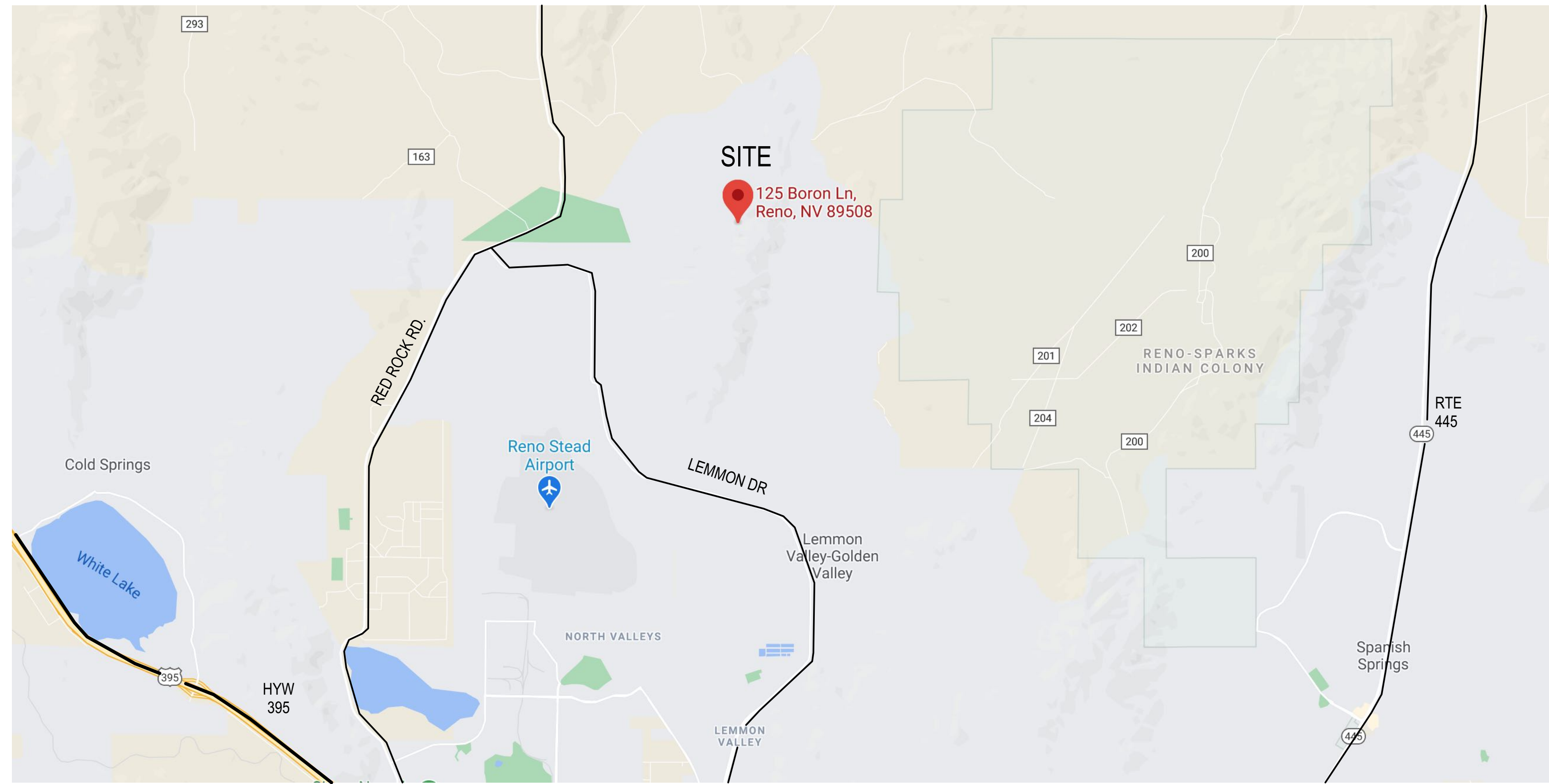
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

[Payment Information](#)

[Special Assessment District](#)

[Installment Date Information](#)

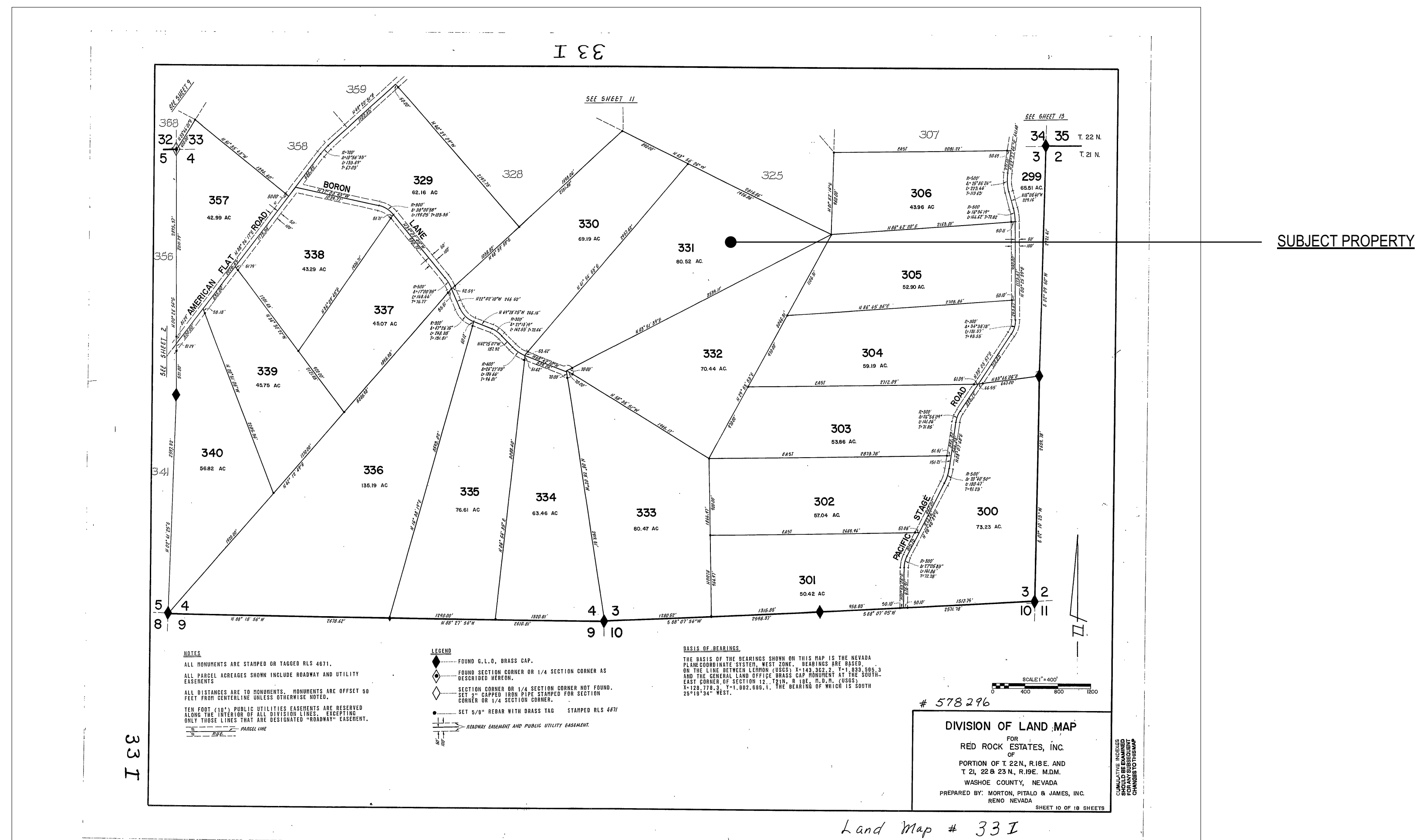
[Assessment Information](#)



REGIONAL MAP



VICINITY MAP



PARCEL MAP

SHEET INDEX

GENERAL	
A0.00	COVER SHEET
A0.01	PROJECT NARRATIVE
SURVEY	
1	TOPOGRAPHIC SURVEY 123 BORON LANE
CIVIL	
C1.0	CIVIL ADMINISTRATIVE SHEET
C1.1	OVERALL SITE PLAN
C1.2	GRADING AND UTILITY PLAN
C3.1	EROSION CONTROL PLAN
ARCHITECTURAL	
A1.00	OVERALL SITE PLAN
A1.01	SITE PLAN ENLARGED- A
A1.02	SITE PLAN ENLARGED- B
A1.03	SITE LIGHTING PLAN
A3.00	MATERIALS LEGEND
A3.01	EXTERIOR ELEVATION NORTH
A3.02	EXTERIOR ELEVATION EAST
A3.03	EXTERIOR ELEVATION SOUTH
A3.04	EXTERIOR ELEVATION WEST
L1.00	LANDSCAPE PLAN
L3.00	IRRIGATION PLAN
L3.10	IRRIGATION NOTES AND CALCS.
L3.11	IRRIGATION DETAILS
L3.12	IRRIGATION DETAILS

PROJECT INFORMATION

PROJECT ADDRESS:	125 BORON LANE, RENO NV 89508
ASSESSOR'S PARCEL #:	079-430-11
ZONING DISTRICT:	GR
PROJECT TYPE:	SINGLE FAMILY RESIDENCE
EXISTING CONDITIONS:	VACANT LAND
SCOPE OF WORK:	SEE PROJECT DESCRIPTION HERE
BUILDING OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-A

APPLICABLE CODES: ALL CONSTRUCTION SHALL CONFORM TO THE:

- 2018 INTERNATIONAL BUILDING CODE, CHAPTERS 1-35, AND APPENDICES
- 2018 INTERNATIONAL RESIDENTIAL CODE, CHAPTERS 1-44 AND APPENDICES A, B, C, G, H, J, K, Q
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 UNIFORM PLUMBING CODE, CHAPTERS 1-17 AND APPENDICES A, B, D, E, I, L
- 2018 UNIFORM MECHANICAL CODE, CHAPTERS 1-17
- 2018 INTERNATIONAL MECHANICAL CODE CHAPTERS 1-15
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE
- 2018 SWIMMING POOL AND SPA CODE
- 2018 NFPA 54 & 58 CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2017 NATIONAL ELECTRIC CODE
- 2018 NORTHERN NEVADA AMENDMENTS BY NORTHERN NEVADA CHAPTER OF INTERNATIONAL CODE COUNCIL AND OTHER MATTERS RELATING TO THE PROVISIONS OF CHAPTER 10, EFFECTIVE JULY 1ST 2019

AREAS	
LOT AREA:	3,507,451.2 SQ.FT. / 80.52 ACRES
LOT COVERAGE (BUILDING & PAVING FOOTPRINT):	16,391 SQ.FT.
PROPOSED GROSS BUILDING AREA:	9,973 SQ.FT.
PAVED SURFACE AREA:	6,836 SQ.FT.
PARKING (COVERED):	4

FRONT & REAR YARD SETBACKS:	30'
SIDE YARD SETBACK:	50'
BUILDING HEIGHT LIMIT:	35'

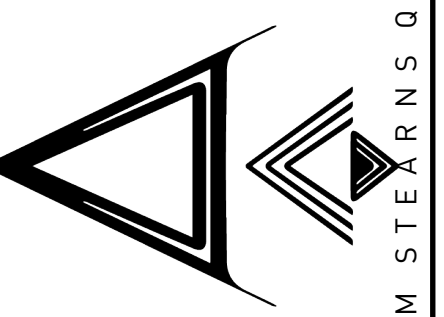
PROJECT DESCRIPTION/SCOPE OF WORK

NEW (N) SINGLE FAMILY RESIDENCE, DRIVEWAY FROM BORON LANE, AND ASSOCIATED UTILITIES INCLUDING A (N) WELL, SEPTIC TANK AND LEACH FIELD, BELOW GRADE PROPANE TANK, WATER STORAGE TANK, FIRE HYDRANT, AND SOLAR PHOTOVOLTAIC ROOF ARRAY WITH ON SITE BATTERY STORAGE AND A PROPANE BACKUP GENERATOR. LANDSCAPE WORK WILL INCLUDE A (N) POOL, OUTDOOR TERRACES ADJACENT TO THE RESIDENCE, VEHICULAR GATE, AND SCREENING TREES ALONG WEST AND NORTHWEST OF BUILDING SITE.

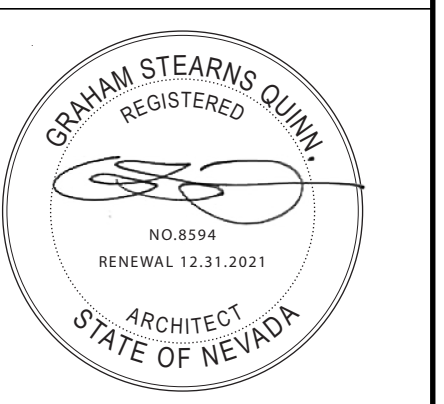
THE RESIDENCE SHALL BE SPRINKLERED AND TO MEET NFPA 13D STANDARDS AND WILL FEATURE A FIRE TRUCK TURNAROUND ADJACENT TO THE RESIDENCE.

PROJECT DIRECTORY

AGENCIES WASHOE PLANNING & BUILDING DIVISION 1001 E. NINTH STREET RENO, NV 89512 TEL. 775.328.6133	ARCHITECT GRAHAM STEARNS QUINN 523 WOODLAND ROAD KENTFIELD, CA 94904 TEL. 415.246.9004 CONTACT: GRAHAM QUINN	PROPERTY OWNER 125 BORON SERIES, A SEPARATE SERIES OF JUPITER GULCH LLC CONTACT: GRAHAM QUINN, MANAGER 523 WOODLAND ROAD KENTFIELD, CA 94904 TEL. 415.246.9004	GENERAL CONTRACTOR T.B.D.
SURVEYOR ODYSSEY ENGINEERING INC. 895 ROBERTA LANE SUITE 104 SPARKS, NV 89431 TEL. 775.359.3303 CONTACT: RUSTY COOMBEST	GEOTECH WESTEX CONSULTING ENGINEERS LLC P.O. BOX 18871 RENO, NV 89511 TEL: 775.771.9539 CONTACT: BLAKE CARTER	MECHANICAL/ELECTRICAL/PLUMBING ENGINEER T.B.D.	
CIVIL ENGINEER ROBISON ENGINEERING COMPANY INC. 846 VICTORIAN AVE. SUITE 20 SPARKS, NV 89431 TEL. 775.762.4671 CONTACT: MICHAEL SMITH michael@robisoneng.com	STRUCTURAL ENGINEER T.B.D.		



GRAHAM STEARNS QUINN
 523 WOODLAND ROAD
 KENTFIELD
 CA 94904
 T: 415.246.9004



125 BORON LANE
 RENO, NV 89508
 APN# 079-430-11

ISSUE	DATE
SUP	2021/05/10
JOB CODE	21_BORON
REVISIONS	

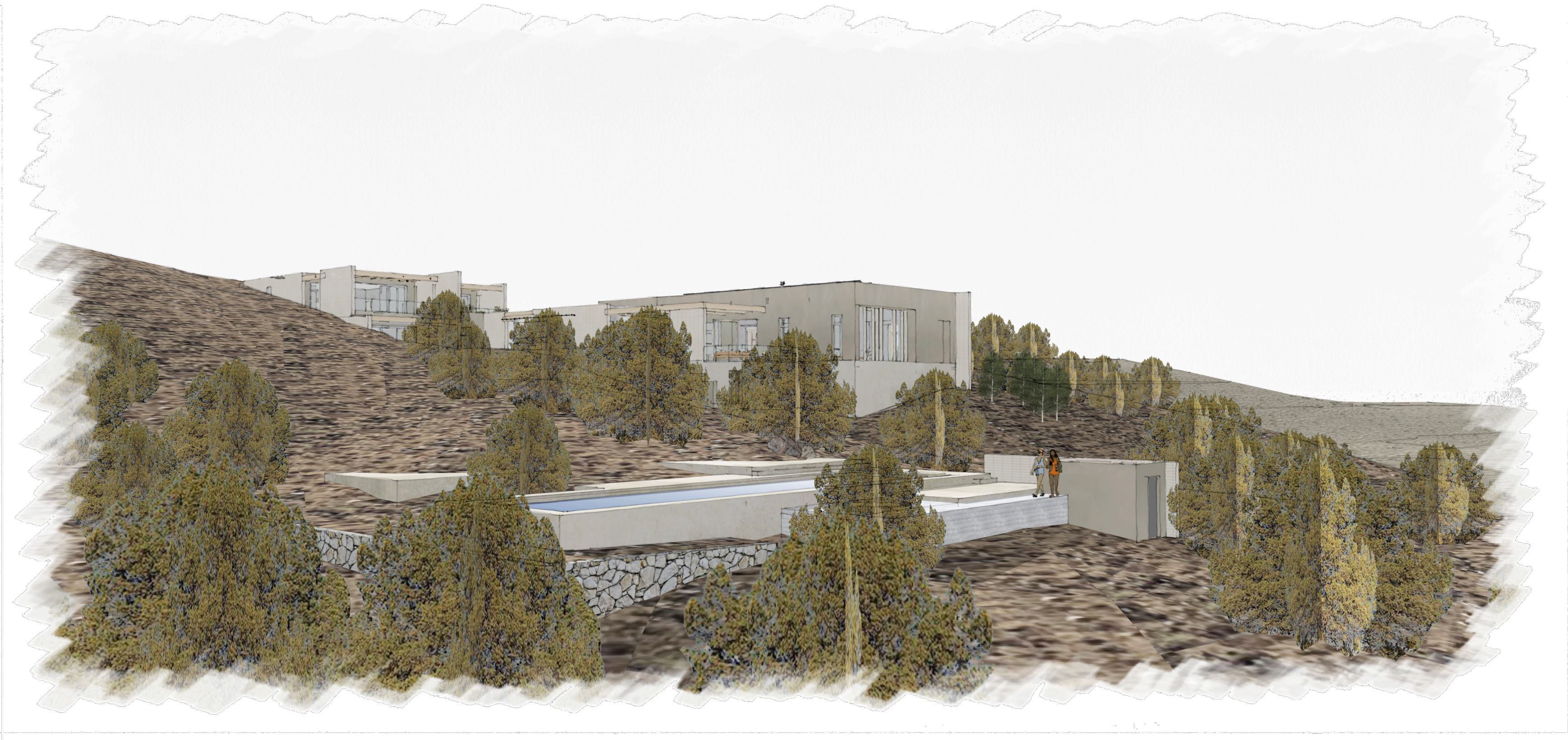
DRAWN BY
 GO

COVER SHEET

A0.00



VIEW FROM THE NE LOOKING SOUTH TOWARDS THE NORTH FACADE



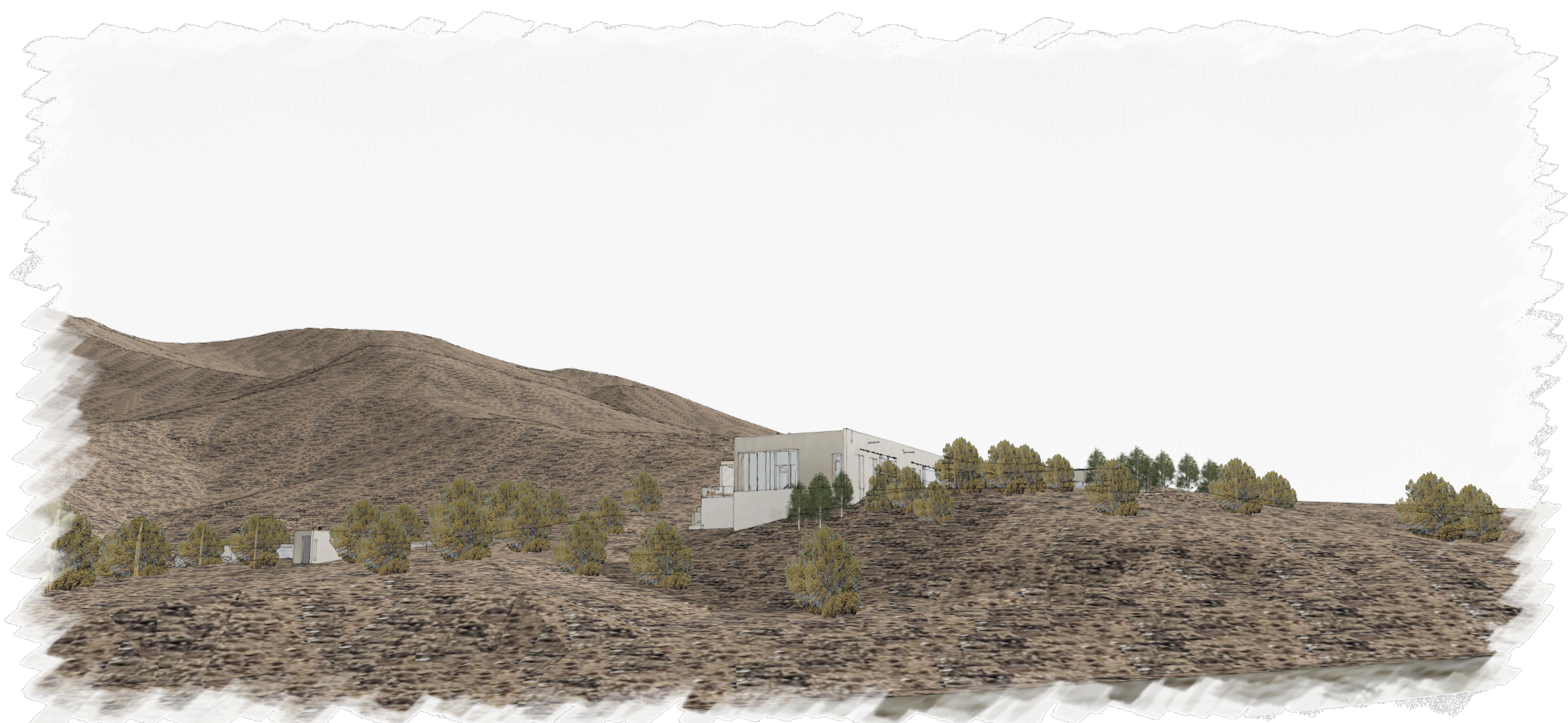
VIEW FROM THE NORTH EAST LOOKING SOUTH WEST OVER POOL AREA TOWARDS THE TERRACED RESIDENCE

PROJECT NARRATIVE:

AFTER MANY YEAR OF ANTICIPATION OUR FAMILY WOULD LIKE TO FULFILL A DREAM OF BUILDING A FAMILY RETREAT IN NEVADA'S HIGH DESERT. THE PROPOSED PROJECT SERVES AS A FAMILY RETREAT AND GATHERING PLACE FOR GENERATIONS TO COME. AS THE FAMILY HAS GROWN, THE IMPORTANCE OF A CENTRAL MEETING PLACE HAS BECOME MORE AND MORE APPARENT. THIS REMARKABLE PROPERTY OFFERS A UNIQUE OPPORTUNITY TO IMMERGE OURSELVES IN THE SITE'S NATURAL BEAUTY.

TO THE EXTENT POSSIBLE, THE PROPOSED PRESERVES THE NATURAL LANDSCAPE AND UTILIZES THE PREVIOUSLY EXISTING GRADED AREAS TO HAVE AS LOW OF AN IMPACT AS POSSIBLE ON THE EXISTING SITE. OUR APPROACH TO THE SITE DESIGN IS A LIGHT TOUCH, AIMED AT MINIMIZING DISTURBANCE WHILE PROVIDE ENOUGH SPACE FOR A LARGE FAMILY. THE FOLLOWING ARE SITE DESIGN MEASURES TAKEN TO ADDRESS COMPATIBILITY WITH THE RURAL CONTEXT:

- THE RESIDENCE UTILIZES EARTHEN MATERIALS AND TEXTURES RESPONDING TO BOTH THE RURAL AGRARIAN AND DESERT CONTEXTS.
- THE RESIDENCE IS ORGANIZED INTO CLUSTERED MASSES OF VARYING SCALES TO MINIMIZE BULK.
- THE RESIDENCE UTILIZES COURTYARDS AND OUTDOOR TERRACES TO BREAK UP THE STRUCTURES AND LET THE LANDSCAPE WEAVE IN.
- THE RESIDENCE SITS BACK ON THE EXISTING BUILDING PAD TO MINIMIZE VISIBILITY AND VIEWS-IN.
- THE RESIDENCE TERRACES ON THE SLOPE TO MINIMIZE VISUAL IMPACT AND TAKE ADVANTAGE OF BELOW GRADE INSULATING PROPERTIES.
- THE RESIDENCE FEATURES FACADES THAT RESPOND TO THEIR UNIQUE SOLAR AND CLIMATIC EXPOSURES (PREVAILING WINDS & SUN EXPOSURE).
- THE RESIDENCE UTILIZES WILD FIRE RESISTANT BUILDING MATERIALS AND LANDSCAPING CONCEPTS.
- THE RESIDENCE EMPLOYS AND NUMBER OF PASSIVE AND ACTIVE GREEN BUILDING STRATEGIES SUCH AS SOLAR SHADING, THERMAL MASS WALLS, SOLAR ENERGY, RAIN WATER MANAGEMENT, AND NATIVE LANDSCAPING REQUIRING LITTLE TO NO SUPPLEMENTAL IRRIGATION.



VIEW FROM THE NORTH WEST LOOKING SOUTH TOWARDS THE RESIDENCE AND THE LOWER POOL AREA

THE BUILDING'S ENVELOPE IS WELL WITHIN THE AS-OF-RIGHT ALLOWANCE. BELOW ARE KEY METRICS:

HIGHEST BUILDING HEIGHT AS MEASURED BY IBC :	22'-6" IN NE CORNER
BUILDING'S CLOSEST DISTANCE TO A SETBACK:	182'-4" FEET FROM SIDE YARD SETBACK
GROSS BUILDING AREA:	9,973 SQUARE FEET
PAVED SURFACE AREA (EXCLUDING GRAVEL DRIVE):	6,936 SQUARE FEET
COVERED PARKING:	4 SPACES
DISTURBED AREA:	1.06 ACRES
CUT:	200 CUBIC YARDS
FILL:	1350 CUBIC YARDS

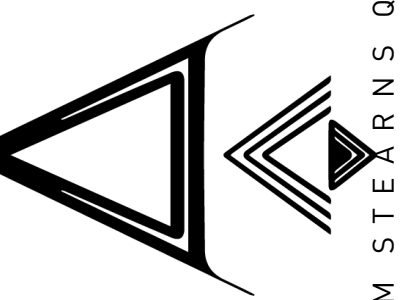
THIS PROJECT REPRESENTS A COMMITMENT TO TO THE REGION BY BUILDING A CONTEMPORARY, OFF GRID RESIDENCE THAT RESPONDS NOT TO AN EXISTING ARCHITECTURAL "STYLE" BUT RATHER THE LAND. THE SITE'S VIEWS, CLIMATE, AND EXISTING CONDITIONS HAVE INFORMED THE PROJECT'S DESIGN AND KEEPS IT IN HARMONY WITH ITS SURROUNDINGS..



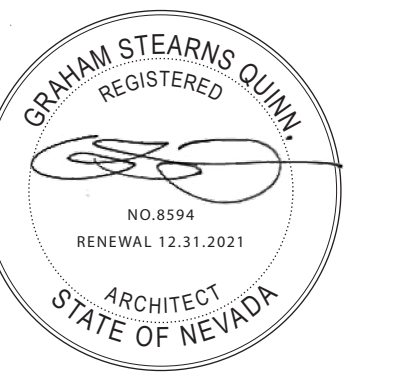
VIEW FROM THE WEST LOOKING SOUTH TOWARDS THE RESIDENCE



VIEW FROM THE NORTH LOOKING SOUTH TOWARDS THE ENTRY COURT AND GARAGE



GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94904
T: 415-246-9104



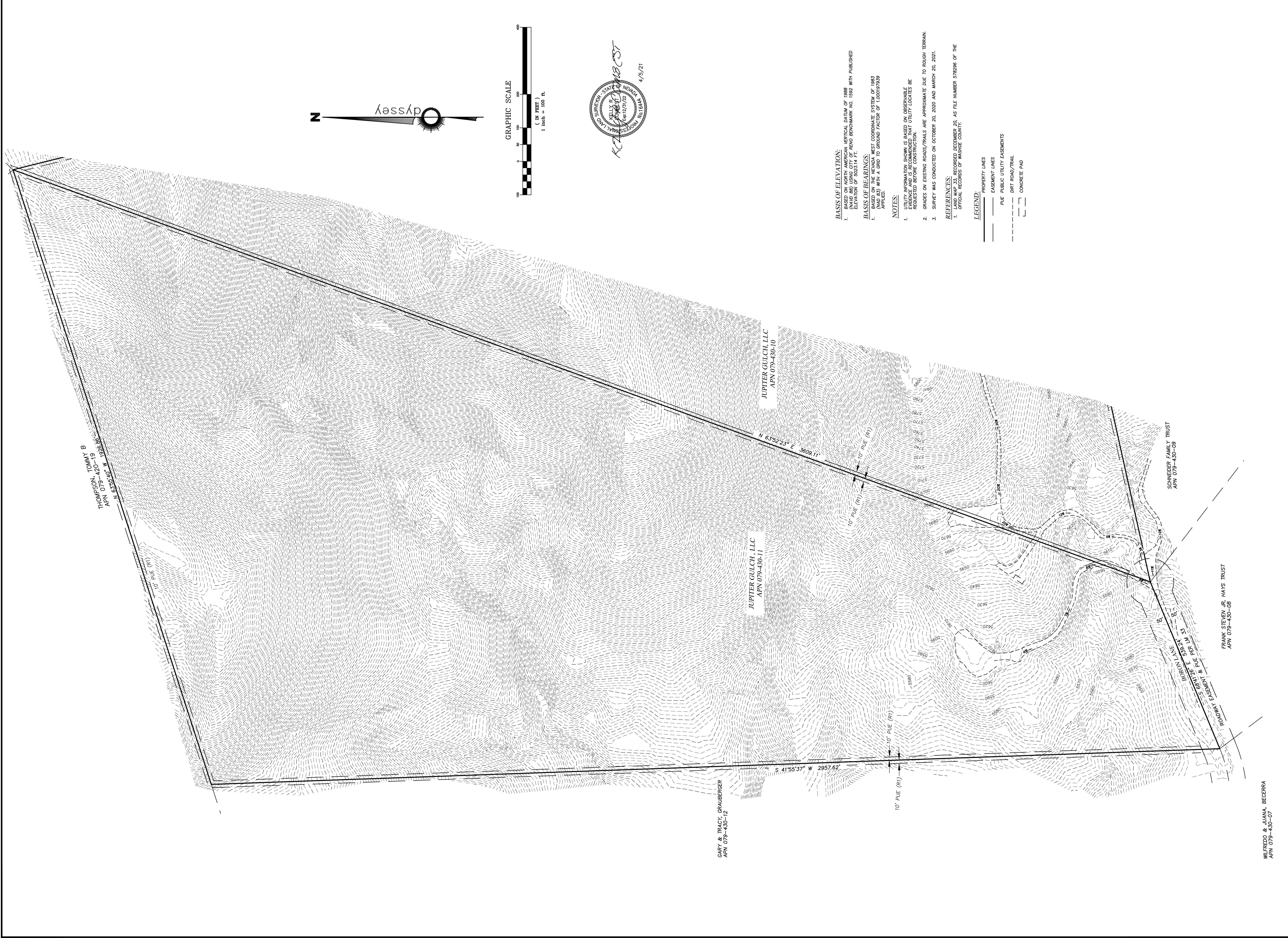
125 BORON LANE
RENO, NV 89508
APN# 079-430-11

ISSUE DATE
SUP 2021/05/10
JOB CODE
21_BORON
REVISIONS

DRAWN BY
GO

PROJECT
NARRATIVE

A0.01



BASIS OF ELEVATION:
 1. BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD 83) USING CITY OF RENO BENCHMARK NO. 1582 WITH PUBLISHED ELEVATION OF 5023.14 FT.

BASIS OF BEARINGS:
 1. BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.00019339 APPLIED.

NOTES:
 1. UTILITY INFORMATION SHOWN IS BASED ON OBSERVABLE EVIDENCE AND IS RECOMMENDED THAT UTILITY LOCATES BE REQUESTED BEFORE CONSTRUCTION.
 2. GRADES ON EXISTING ROADS/TRAILS ARE APPROXIMATE DUE TO ROUGH TERMINI.
 3. SURVEY WAS CONDUCTED ON OCTOBER 20, 2020 AND MARCH 20, 2021.

REFERENCES:
 1. LAND MAP 33, RECORDED DECEMBER 20, AS FILE NUMBER 576296 OF THE OFFICIAL RECORDS OF WASHOE COUNTY.

LEGEND:
 ——— PROPERTY LINES
 - - - EASEMENT LINES
 - - - PUE PUBLIC UTILITY EASEMENTS
 - - - DIRT ROAD/TRAIL
 [] CONCRETE PAD

889 ROBERTA LANE, SUITE 104, SPARKS, NV 89431 (775) 398-3300 FAX: (775) 398-3301 ODYSSEY RENO.COM		DATE: APRIL 2021		REV.	DATE	DESCRIPTION	BY	APP'D
 odyssey ENGINEERING INCORPORATED		SCALE HORIZ. = 100'		DRAWN BY: RC				
		VERT. = 100'		DESIGNED BY:				
		JOB No. X		CHECKED BY:				
SHEET 1 OF 1		125 BORON LANE TOPOGRAPHIC SURVEY SITE PLAN		RENO WASHOE COUNTY NEVADA				

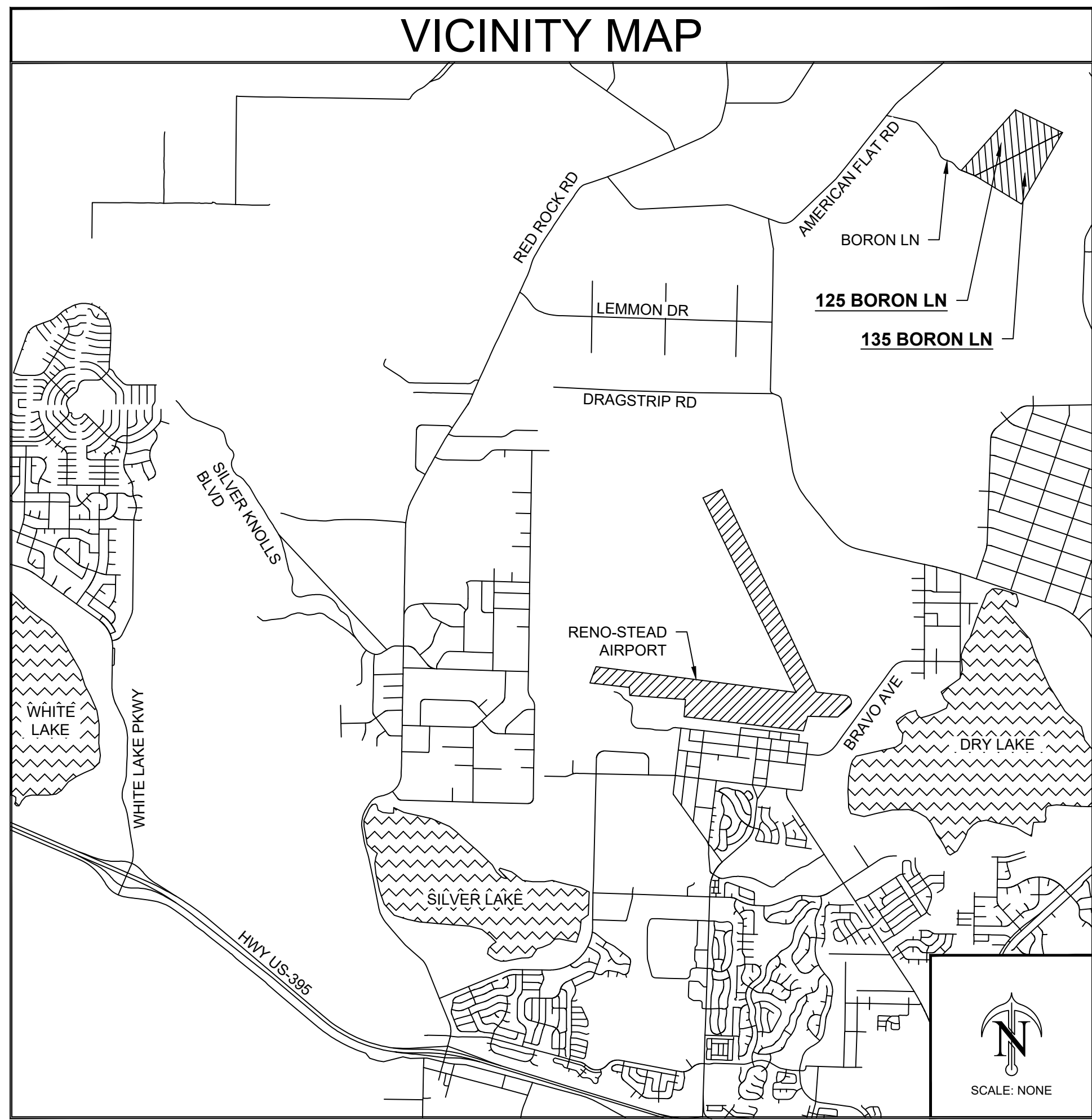
SINGLE FAMILY RESIDENCE SPECIAL USE PERMIT - CIVIL IMPROVEMENT PLANS FOR JUPITER GULCH LLC 125 & 135 BORON LN WASHOE COUNTY, NEVADA

APPROVALS

PROJECT SUMMARY	
JURISDICTION:	WASHOE COUNTY
COUNTY:	WASHOE COUNTY, NV
APN:	079-430-11
ADDRESS:	125 AND 135 BORON LN
ZONING:	GR
FEMA FLOOD ZONE:	X PER FIRM PANEL 3231C2850G
PROJECT SUMMARY:	CIVIL DESIGN FOR NEW SINGLE FAMILY RESIDENCE - GRADING, ACCESS, UTILITIES INCLUDING SEPTIC AND WELL
PROJECT ACREAGE:	1.15

SHEET LIST	
CIVIL	TITLE SHEET
C1.0	OVERALL SITE PLAN
C1.2	GRADING, UTILITY PLAN & PROFILE
C1.3	EROSION & SEDIMENT CONTROL PLAN

PROJECT AUTHORITY			
CIVIL ENGINEER	SURVEYOR	OWNER	GEOTECHNICAL ENGINEER
ROBISON ENGINEERING COMPANY	ODYSSEY ENGINEERING, INC.	125 BORON SERIES	WESTEX CONSULTING ENGINEERS, LLC
MICHAEL SMITH, PE, PLS	RUSTY COMBEST, PLS	A SEPARATE SERIES OF JUPITER GULCH LLC	BLAKE CARTER, PE
846 VICTORIAN AVE, SUITE 20	895 ROBERTA LN #104	GRAHAM QUINN, MANAGER	P.O. BOX 18871
SPARKS, NV 89431	SPARKS, NV 89431	523 WOODLAND ROAD	RENO, NV 89511
(775) 852-2251 X709	(775) 359-3303	KENTFIELD, CA 94904	(775) 771-9539
michael@robisoneng.com	rusty@odysseyreno.com	(415) 246-9004	blake@westexconsulting.com
		jupitergulchllc@gmail.com	



NOTES

GENERAL NOTES:

- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE BELIEVED TO BE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, AND ORDINANCES OR STANDARDS SPECIFIED BY THE PERMITTING JURISDICTION. IN THE EVENT OF A CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND PERMITTING STANDARDS, PROMPTLY NOTIFY ENGINEER, OR ADOPT THE MORE CONSERVATIVE STANDARD CONSISTENT WITH THE INTENT OF THE PLANS. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR BEARS SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.
- IF THE CONTRACTOR(S) OBSERVES ANY CONDITION ON THE SITE WHICH CONFLICTS WITH THE INFORMATION SHOWN HEREON, THEY SHALL CONTACT ROBISON ENGINEERING AT 775-852-2251 X 0 FOR RESOLUTION.
- THE ENGINEER SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER.
- IN THE EVENT ELECTRONIC FILES (CAD, ETC) ARE PROVIDED BY ROBISON ENGINEERING, AN INDEMNIFICATION AGREEMENT IS IMPLIED BY THAT USE, AND IF THERE IS ANY CONFLICT BETWEEN ELECTRONIC DATA AND THE STAMPED/PERMIT PLAN SET, THE STAMPED DRAWINGS SHALL GOVERN AND DIRECT THE WORK. IT IS THE SOLE RESPONSIBILITY OF THE CLIENT TO ACQUIRE APPROVED PLANS FROM THE GOVERNING JURISDICTION.
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- CONTACT "USA NORTH 811" BY CALLING THAT NUMBER (8-1-1) NO LESS THAN 2 WORKING DAYS BEFORE EXCAVATION IS PROPOSED TO BEGIN.
- THERE ARE NO EXISTING HABITATIONS OR MOBILE HOME PARKS WITHIN 1000 FT OF THE PROPOSED RESIDENCE.
- THERE ARE NO KNOWN POST-HOLENE FAULTS WITHIN OR NEAR THE SITE.
- THERE ARE NO WETLANDS OR FLOODPLAINS WITHIN THE PROJECT SITE.
- THIS PLAN COMPLIES WITH APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.
- THERE ARE NO SIGNIFICANT HYDROLOGICAL RESOURCES ON THE SITE.
- ALL EXCESS CUT WILL BE USED ON-SITE. THERE WILL BE NO OFF-HAUL.
- MAXIMUM DEPTH OF CUT: 7.8'
- MAXIMUM DEPTH OF FILL: 3.1'
- LIGHTING PLAN - SEE ARCHITECTURAL.

EROSION AND SEDIMENT CONTROL NOTES:

- TOTAL DISTURBANCE AREA IS EXPECTED TO EXCEED 1 ACRE, THEREFORE A SITE-SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS ANTICIPATED TO BE REQUIRED. THE CONTRACTOR SHALL BE AWARE OF AND EXERCISE DUE EFFORT TO CONFORM TO AT LEAST:
 - THE STATE OF NEVADA GENERAL PERMIT NVR100000
 - THE TRUCKEE MEADOWS CONSTRUCTION SITE BMP HANDBOOK
 - WASHOE COUNTY STORMWATER PROTECTION ORDINANCES AND STANDARDS
 ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.

PROJECT NOTES:

- ALL CONSTRUCTION NOT OTHERWISE DETAILED OR SPECIFIED SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY WASHOE COUNTY.
- IT IS THE INTENT OF THESE SPECIFICATIONS AND IMPROVEMENT PLANS THAT THE WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION. IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR RESOLUTION.
- SUBMITTALS, INCLUDING SHOP DRAWINGS, MANUFACTURER'S DATA SHEETS, MATERIAL AND COLOR SAMPLES, AND DELIVERED MATERIALS OR PRODUCTS (ROOFING, ETC.), WITHOUT EXCEPTION, SHALL BE OFFERED FOR REVIEW AND APPROVAL TO OWNER PRIOR TO THEIR INCORPORATION INTO THE PROJECT. WHERE QUANTITATIVE JUDGEMENT IS REQUIRED (E.G. MATERIALS WITH SPECIFIED STRENGTH, WEIGHT, LONGEVITY, CLASSIFICATION, ETC.) THESE MATERIALS' SPECIFICATIONS SHALL BE PROVIDED TO THE PROFESSIONAL AUTHORITY (E.G. PLUMBING, CIVIL ENGINEER, ETC.) RESPONSIBLE FOR THEIR SUITABILITY FOR THE SPECIFIED USE.
- THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS, TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL NOTIFY ALL ENTITIES INVOLVED (PUBLIC AND PRIVATE) 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, AND PROVIDE 48 HOURS PRIOR NOTICE FOR ALL SURVEYING AND INSPECTIONS DURING CONSTRUCTION.
- THE WORK IN THIS CONTRACT INCLUDES ALL ON-SITE AND OFF-SITE WORK SHOWN ON THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED.
- THE CONTRACTOR SHALL, AT ALL TIMES DURING CONSTRUCTION, PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE, INCLUDING, BUT NOT LIMITED TO, PAVEMENT, CURBS & GUTTER, SIDEWALK, LANDSCAPING, SIGNAGE, STORM & SANITARY SEWERS, AND ALL UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR OF ANY IMPROVEMENTS (EXISTING OR PROPOSED) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES EMERGENCY ACCESS TO THE PROJECT SITE TO THE SATISFACTION OF THE FIRE CONTROL AGENCY.
- ALL QUANTITIES SUPPLIED WITH THESE PLANS ARE APPROXIMATE AND USED FOR PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT QUANTITY TAKE-OFFS FOR BIDDING AND CONSTRUCTION PURPOSES.

TOPOGRAPHIC MAP NOTES:

- THIS MAP IS PREPARED TO ILLUSTRATE TOPOGRAPHY AND FEATURES FOR ARCHITECTURAL AND ENGINEERING PLANNING AND DESIGN ONLY: NO INFORMATION SHALL BE CONSTRUED TO REPRESENT A FORMAL SURVEY OF THE SUBJECT PROPERTY, OR TO RENDER ANY OPINION THEREON.
- BASIS OF ELEVATION: BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) USING CITY OF RENO BENCHMARK NO. 15592 WITH PUBLISHED ELEVATION OF 5023.14 FT.
- BASIS OF BEARINGS: BASED ON THE NEVADA WEST COORDINATE SYSTEM OF 1983 (NAD 83) WITH A GRID TO GROUND FACTOR OF 1.000197939 APPLIED.

GRADING NOTES:

- ALL EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH WASHOE COUNTY STANDARDS.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND MAINTAIN CONFORMANCE WITH SECTION 40.030 OF WASHOE COUNTY AIR POLLUTION PROVISIONS.
- CONTRACTOR SHALL CAREFULLY INSPECT DETAILS, THE CONTEXT OF PLANS, AND MAKE APPROPRIATE CONFIRMING MEASUREMENTS AGAINST EXISTING CONDITIONS PRIOR TO SETTING SUBGRADE, AND SHALL COORDINATE WITH SURVEYOR TO SET ELEVATION AND LOCATION CONTROL PROPERLY TO ESTABLISH SUBGRADE PRIOR TO FINAL SURFACE TREATMENTS.
- ALL NATURAL VEGETATION OUTSIDE OF DISTURBANCE LIMITS TO BE PRESERVED; ADDITIONAL DISTURBANCE NOT PART OF PLANNED LANDSCAPING SHALL BE STABILIZED, BROADCAST AND RAKED DURING OCTOBER-NOVEMBER OR HYDROSEEDING IN COORDINATION WITH, AND SUBJECT TO APPROVAL BY PROPERTY OWNER.
- USE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES AND EXISTING ROADS.
- THE CONTRACTOR SHALL NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND ONLY AFTER A PRE-CONSTRUCTION MEETING BETWEEN OWNER, ENGINEER OF RECORD, MATERIALS TESTING LABORATORY, AND GENERAL CONTRACTOR HAS OCCURRED.
- THE INSPECTION AND TESTING OF SOILS AND ALL OTHER MATERIALS SHALL BE IN CONFORMANCE WITH WASHOE COUNTY ORANGE BOOK STANDARDS AND SITE SPECIFIC SOILS REPORT AS APPLICABLE. THIRD PARTY TESTING AGENCY SHALL BE NOTIFIED 24 HOURS PRIOR TO REQUIRED TESTING.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION DEPARTMENT SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE DETERMINED BY CONSULTATION WITH THE APPROPRIATE JURISDICTION.

EARTHWORK SUMMARY:

DISTURBED AREA:	1.06 ACRES
CUT:	200 CY
FILL:	1350 CY

REFERENCES:

- MAP - DIVISION OF LAND MAP FOR RED ROCK ESTATES INC NO LM 33 SHEET 1 RECORDED AS DOCUMENT NUMBER 578296 ON 20 DEC 1978 WASHOE COUNTY RECORDS.
- GEOTECHNICAL INVESTIGATION REPORT - SINGLE FAMILY RESIDENCE AT 125 BORON LANE, APN 079-490-11, WASHOE COUNTY NEVADA, BY WESTEX CONSULTING ENGINEERS DATED 22 MARCH 2021.

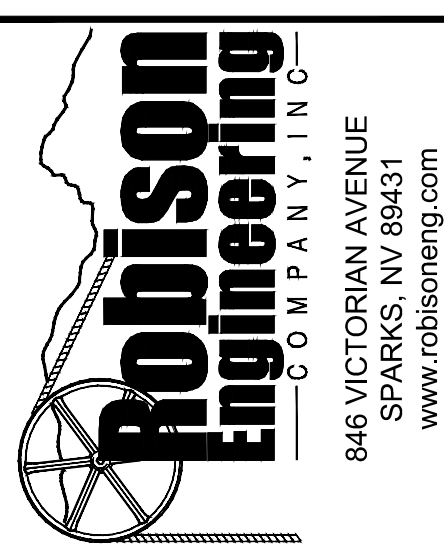
LEGEND

--- SUBJECT PL --- ADJACENT PL --- SETBACK --- EASEMENT (E) ROAD CL (P) ROAD CL ---4540--- (E) MAJOR CONTOUR ---4539--- (E) MINOR CONTOUR ---4540--- (P) MAJOR CONTOUR ---4539--- (P) MINOR CONTOUR	--- E --- (E) ELECTRICAL --- E --- (P) ELECTRICAL --- SS --- (E) SANITARY SEWER --- SS --- (P) SANITARY SEWER --- SD --- (E) STORM DRAIN --- SD --- (P) STORM DRAIN --- W --- (E) WATER LINE --- W --- (P) WATER LINE --- G --- (E) GAS LINE --- G --- (P) GAS LINE	--- (E) RETAINING WALL --- (P) RETAINING WALL --- (E) FLOW LINE --- (P) FLOW LINE (E) AC (P) AC (E) PCC (P) PCC (E) STRUCTURE (P) STRUCTURE (P) PROPANE TANK (E) TREE, UNO
--	--	---

ABBREVIATIONS

AC ASPHALT CONCRETE APN ASSESSOR'S PARCEL NO. BSW/BOW BACK OF WALK CMP CORRUGATED METAL PIPE COTG CLEAN OUT TO GRADE CL CENTER LINE CY CUBIC YARDS (E) EXISTING (P) EXISTING GRADE FDC FIRE DEPT. CONNECTION FFC FRONT FACE OF CURB FFE FINISH FLOOR ELEVATION FG FINISH GRADE FH FIRE HYDRANT	FL FLOW LINE HDPE HIGH DENSITY POLYETHYLENE IE INVERT ELEVATION LF LINEAR FEET MDD MAXIMUM DRY DENSITY NDOT NV DEPT. OF TRANSPORTATION OHE OVERHEAD ELECTRICAL (P) PROPOSED PCC PORTLAND CEMENT CONCRETE PIV PRESSURE INDICATOR VALVE POC POINT OF CONNECTION PUE PUBLIC UTILITY EASEMENT PVC POLYVINYL CHLORIDE ROW RIGHT-OF-WAY	SD STORM DRAIN SDR STD. DIMENSION RATIO SF SQUARE FEET SS SANITARY SEWER SWPPP STORMWATER POLLUTION PREVENTION PLAN TC TOP OF CURB TW TOP OF WALL TYP TYPICAL UNO UNLESS NOTED OTHERWISE YH YARD HYDRANT
---	--	---

GRAHAM STEARNS QUINN
 523 WOODLAND ROAD
 KENTFIELD
 CA 94904
 T: 415.246.9004



125 BORON LANE
 RENO, NV 89508
 APN# 079-430-11

ISSUE	DATE
JOB CODE	21_BORON
REVISIONS	
SUP	2021-05-10



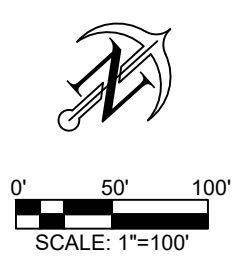
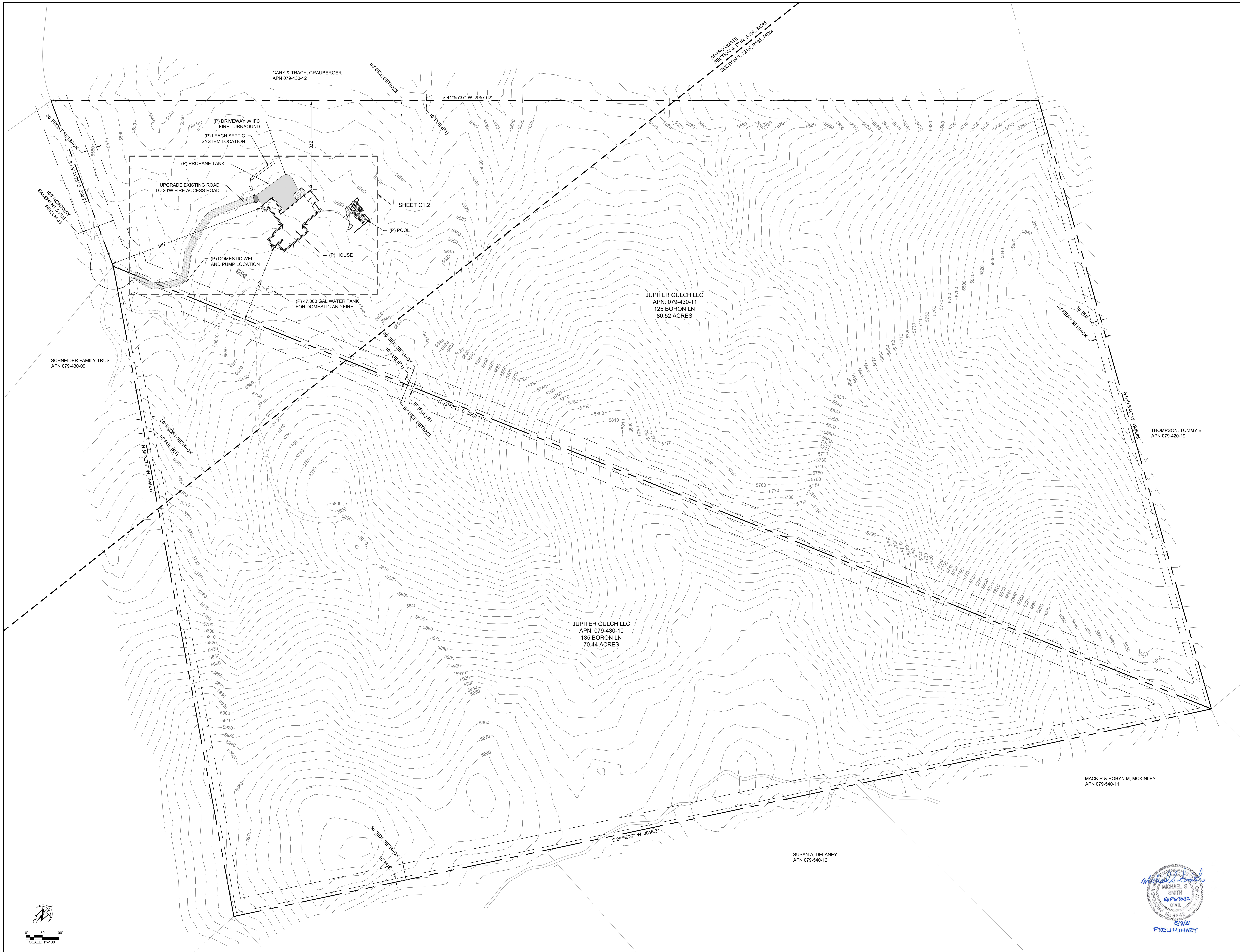
MICHAEL S. SMITH
 6/16/2022
 CIVIL
 No. 8542
 5/9/21
 PRELIMINARY

DRAWN BY: LJD
CHECKED: MSS

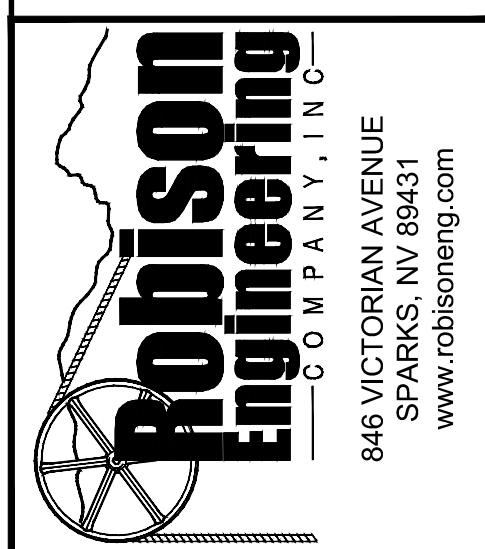
TITLE SHEET

C1.0

SHEET 1 OF 4



GRAHAM STEARNS QUINN
 523 WOODLAD ROAD
 KENTFIELD
 CA 94904
 T: 415.246.9004

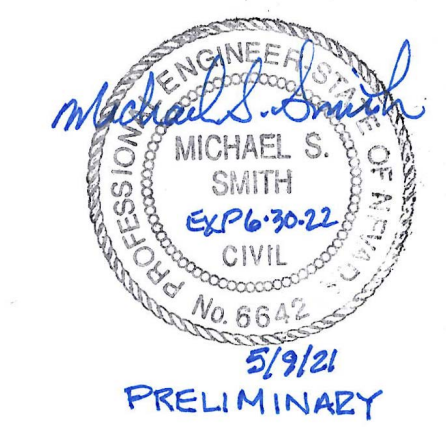


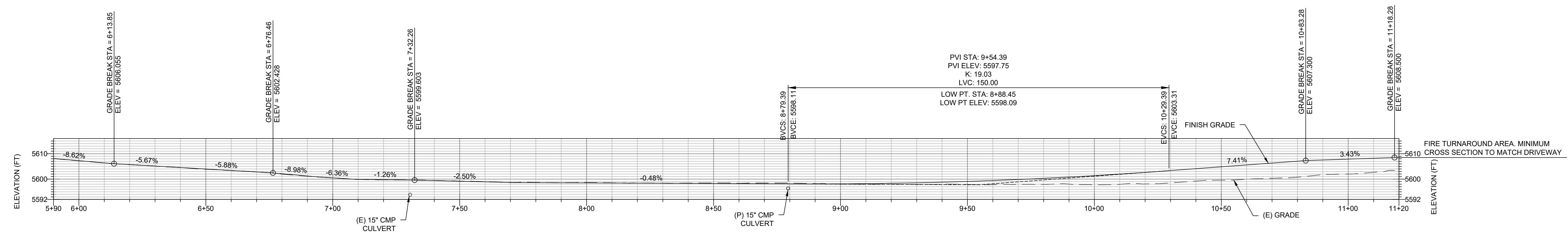
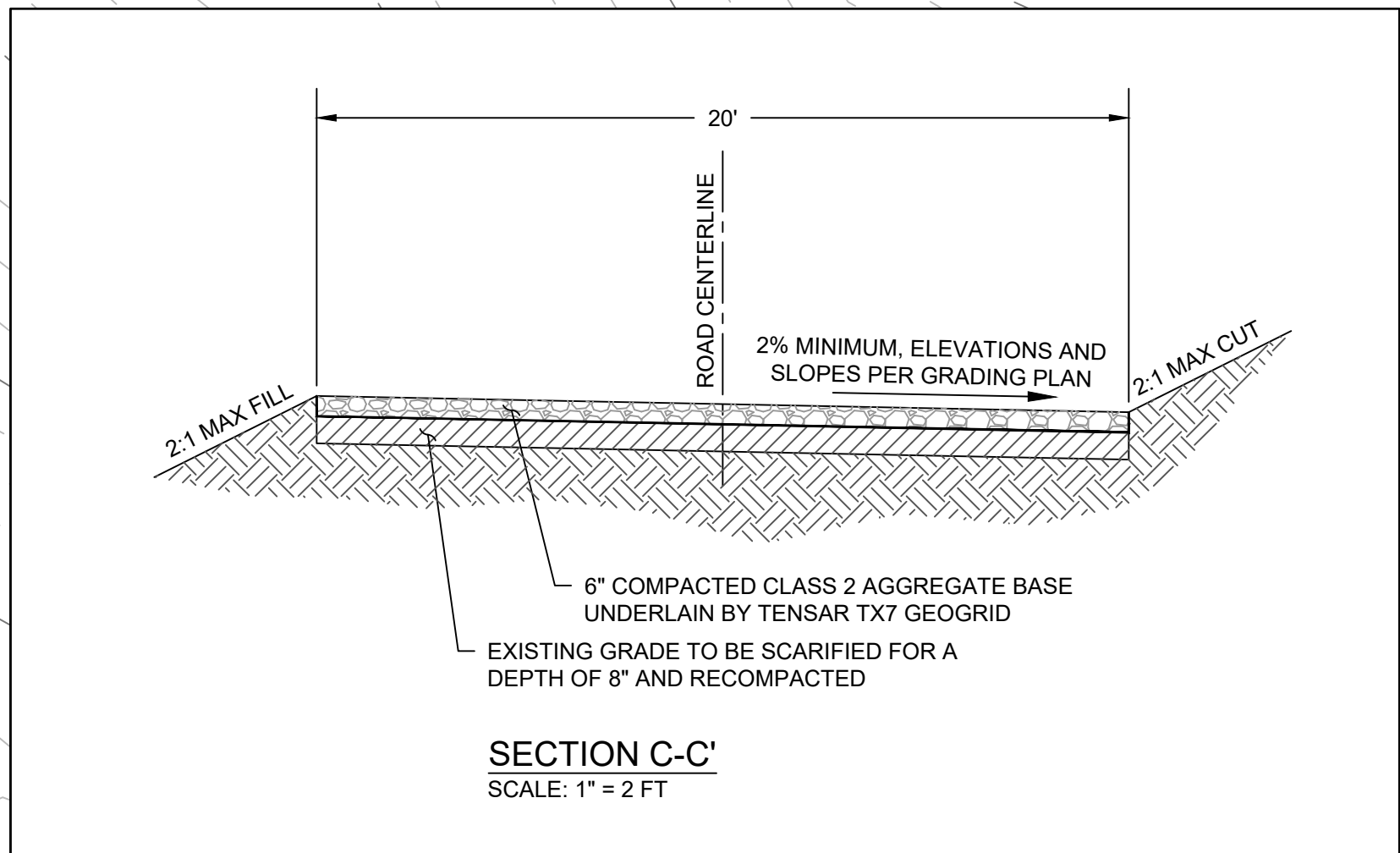
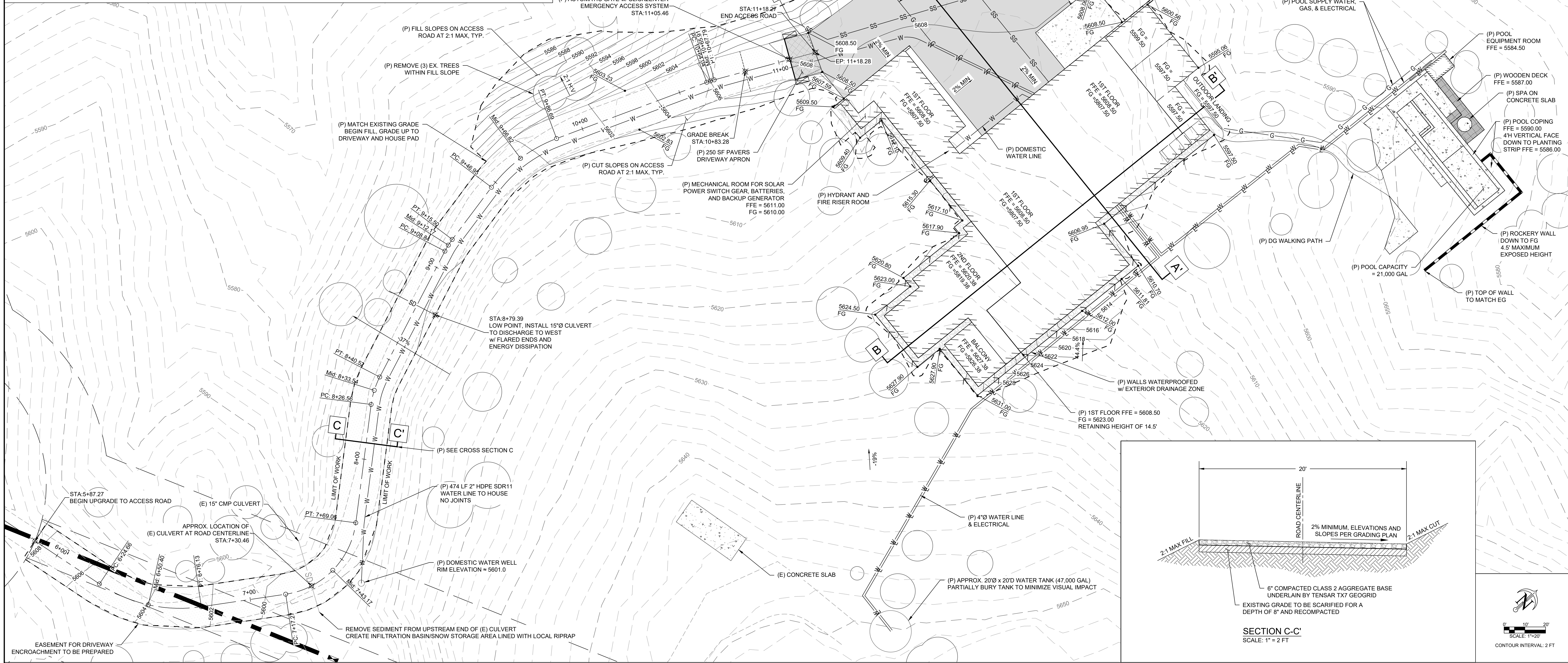
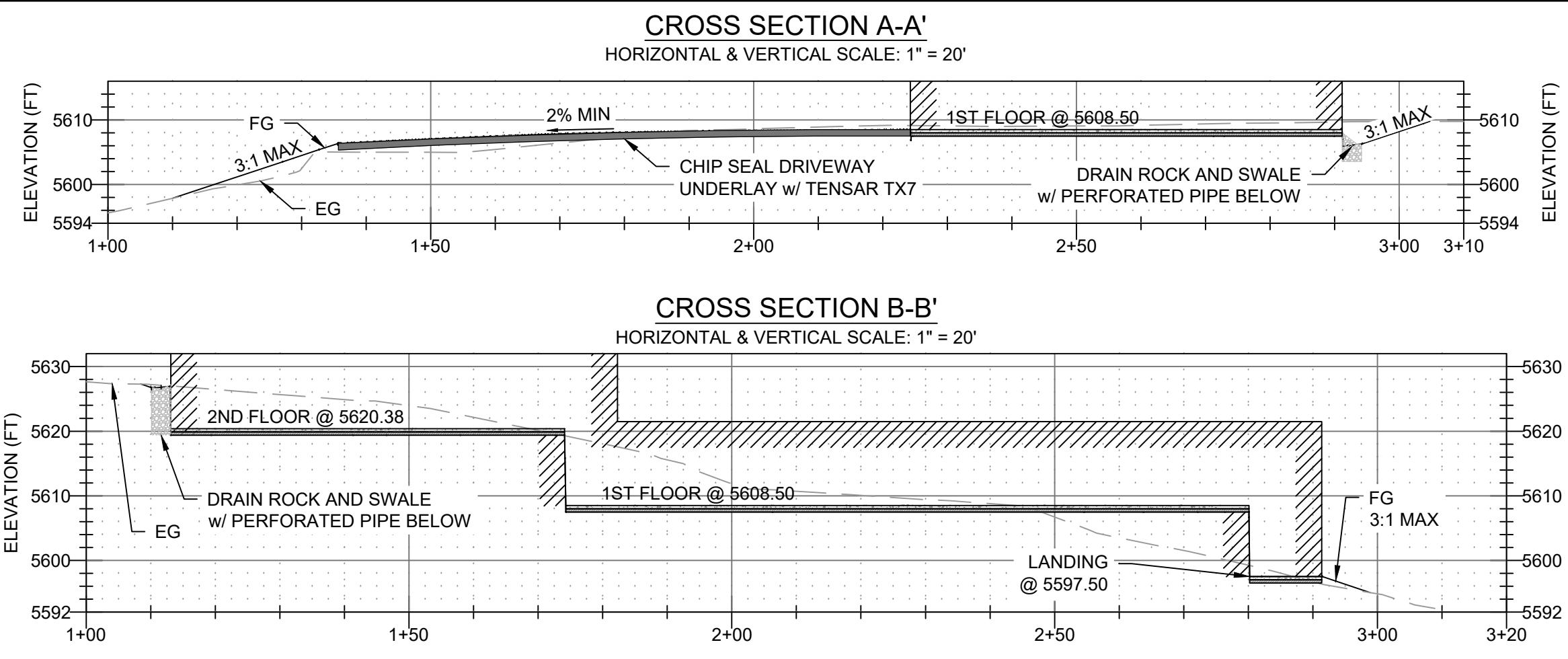
125 BORON LANE
 RENO, NV 89508
 APN# 079-430-11

ISSUE	DATE
JOB CODE	21_BORON
REVISIONS	2021-05-10 SUP SUBMITTAL
DRAWN BY:	LJD
CHECKED:	MSS

OVERALL SITE PLAN

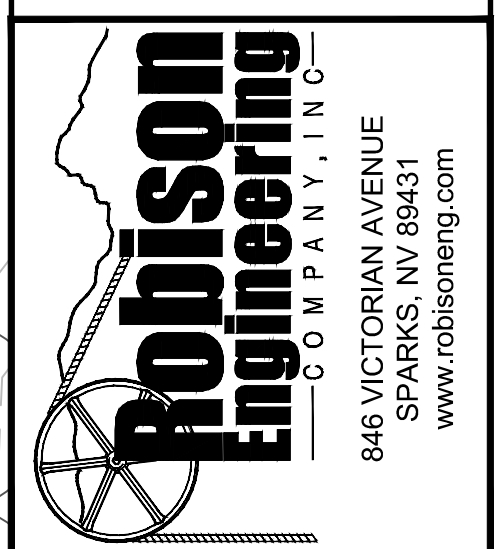
C1.1
 SHEET 2 OF 4





ROAD PROFILE
VERTICAL & HORIZONTAL SCALE: 1" = 20'

GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94904
T: 415.246.9004



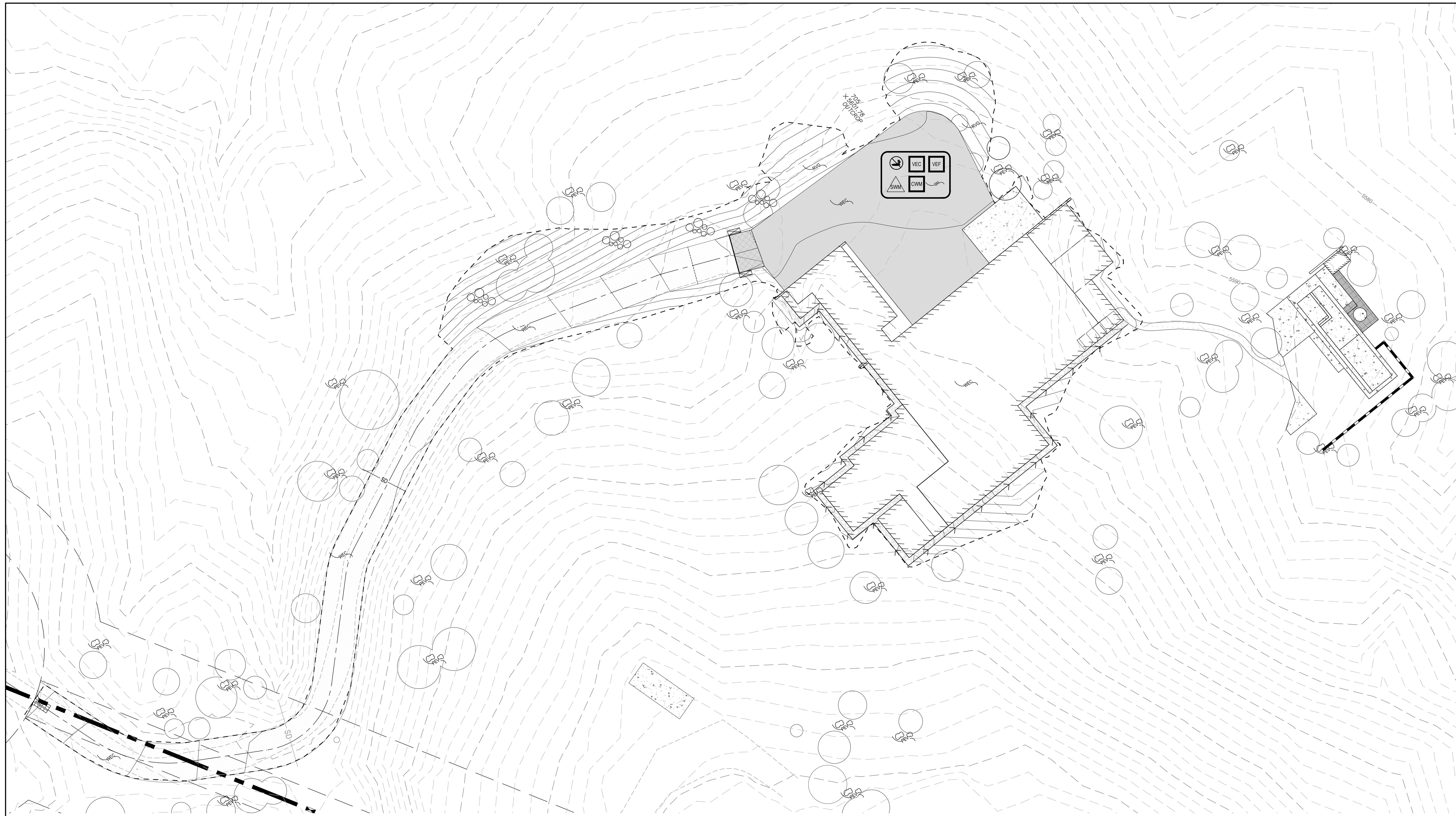
125 BORON LANE
RENO, NV 89508
APN# 079-430-11

ISSUE	DATE
JOB CODE	
21_BORON	
REVISIONS	
2021-05-10 SUP SUBMITTAL	

DRAWN BY: LJD
CHECKED: MSS



GRADING,
UTILITY PLAN
& PROFILE
C1.2
SHEET 3 OF 4



BMP NAME	BMP NUMBER	MAP SYMBOL
TEMPORARY DIVERSION DIKES AND DITCHES	RC-2	TDD
CHECK DAMS	RC-3	CD
TEMPORARY SLOPE DRAINS	RC-4	TSD
PRESERVING EXISTING VEGETATION	EC-1	USE
SLOPE TERRACING AND TRACKING	EC-2	USE
MULCHING	EC-3	USE
SOIL BINDERS	EC-4	USE
WIND EROSION AND DUST CONTROL	EC-5	USE
ROLLED EROSION CONTROL PRODUCTS	EC-6	USE
RIP RAP	EC-7	USE

BMP NAME	BMP NUMBER	MAP SYMBOL
SAND BAG BARRIERS	SC-3	USE
GRAVEL FILTER BERM	SC-4	USE
SILT FENCES	SC-5	USE
TEMPORARY SEDIMENT TRAPS	SC-6	USE
SEDIMENT RETENTION BASINS	SC-7	USE
CONSTRUCTION SITE ENTRANCES AND EXITS	SC-8	USE
CONSTRUCTION EXIT TIRE WASH	SC-9	USE
STABILIZED CONSTRUCTION ROADWAY	SC-10	USE
TEMPORARY STREAM CROSSING	DP-1	USE

BMP NAME	BMP NUMBER	MAP SYMBOL	USE
SOLID AND DEMOLITION WASTE MANAGEMENT	GM-3	USE	USE
DEWATERING OPERATIONS	GM-4	USE	
STREET SWEEPING	GM-5	USE	
SPILL PREVENTION AND CONTROL	GM-6	USE	USE
VEHICLE AND EQUIPMENT	GM-7	USE	USE
VEHICLE AND EQUIPMENT MAINTENANCE AND FUELING	GM-8	USE	USE
HANDLING AND DISPOSAL OF CONCRETE AND CEMENT	GM-9	USE	USE
MATERIAL DELIVERY, HANDLING, STORAGE AND USE	GM-10	USE	USE

BMP NAME	BMP NUMBER	MAP SYMBOL	USE
STORMDRAIN OUTLET PROTECTION	DP-2	USE	
STORMDRAIN INLET PROTECTION	DP-3	USE	
STOCKPILE MANAGEMENT	GM-2	USE	
REVEGETATION	EC-8	USE	USE
FIBER ROLLS	SC-1	USE	
BRUSH AND ROCK FILTERS	SC-2	USE	

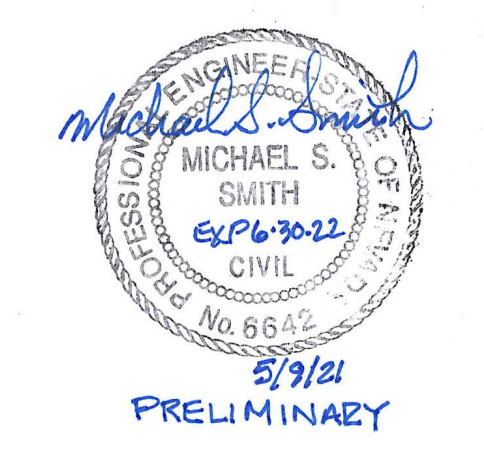
***REFER TO CIVIL TITLE SHEET C1.0 FOR EROSION AND SEDIMENT CONTROL NOTES.

GRAHAM STEARNS QUINN
 523 WOODLAD ROAD
 KENTFIELD
 CA 94904
 T: 415.246.9004

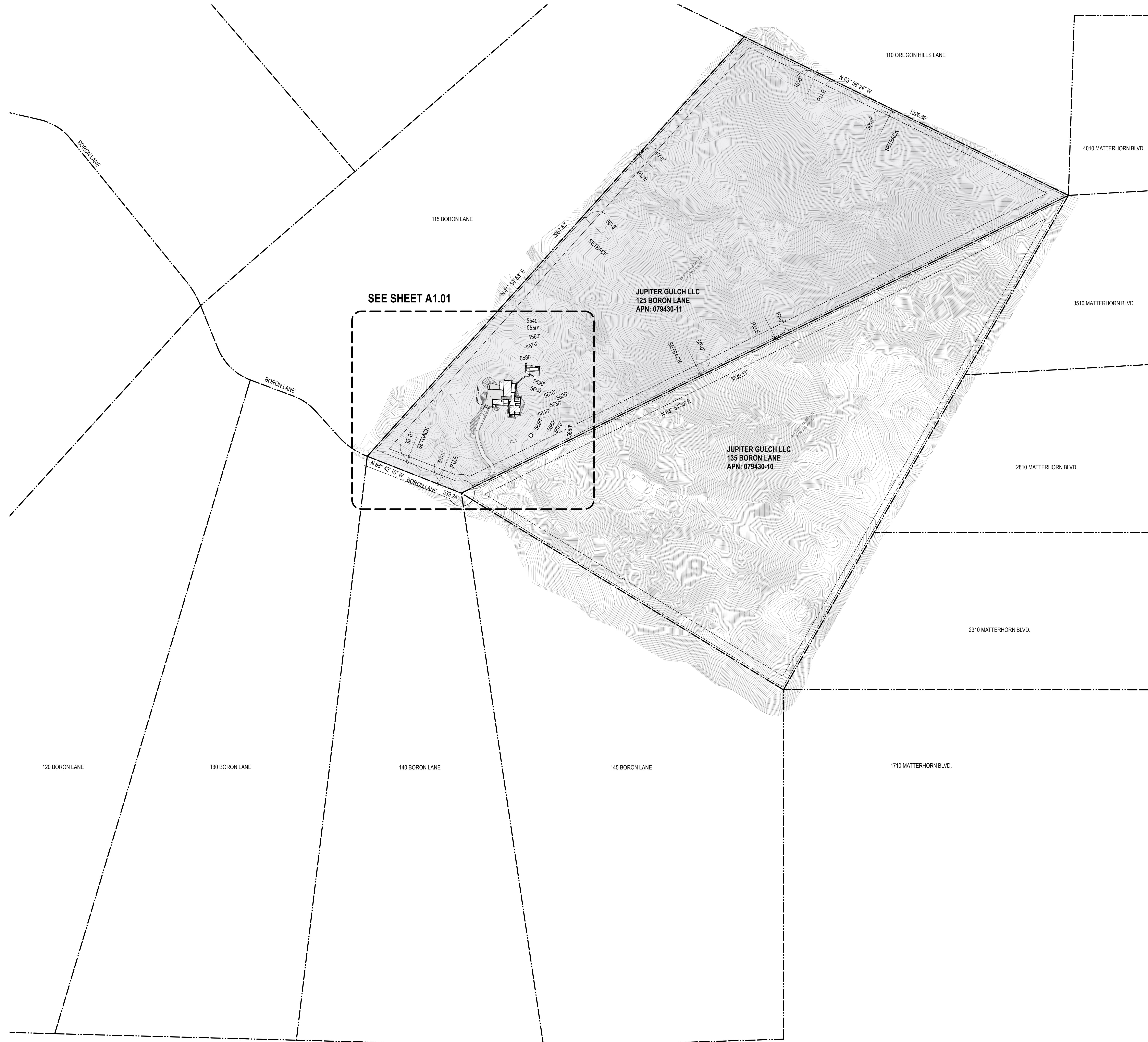
Robison Engineering
 COMPANY, INC.
 848 VICTORIAN AVENUE
 SAN FRANCISCO, CA 94133
 www.robisoneg.com

125 BORON LANE
RENO, NV 89508
 APN# 079-430-11

ISSUE	DATE
JOB CODE	
21_BORON	
REVISIONS	
2021-05-10 SUP SUBMITTAL	
DRAWN BY: LJD	
CHECKED: MSS	



EROSION AND SEDIMENT CONTROL PLAN
C1.3
 SHEET 4 OF 4

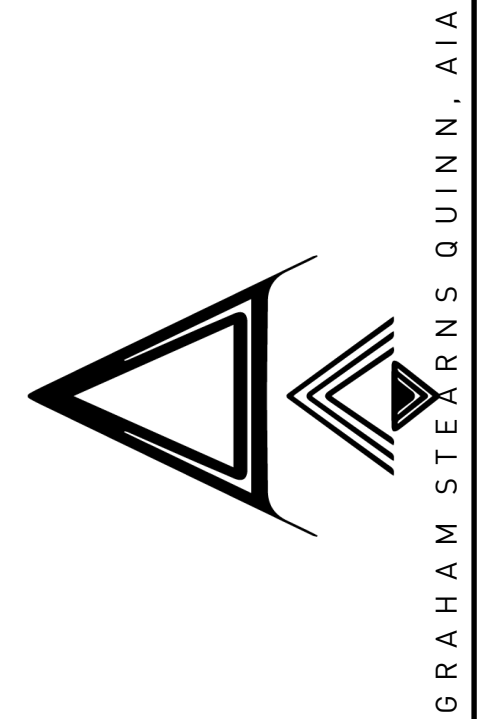


- GENERAL NOTES:**
- SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITIES. THESE ITEMS SHOWN ON SITE PLAN AND LANDSCAPE PLANS FOR COORDINATION PURPOSES ONLY.
 - TOPO LINES SHOWN AT 2' INCREMENTS.
 - SS&E MECHANICAL DRAWINGS FOR OUTDOOR MECHANICAL EQUIPMENT LAYOUT AS APPLICABLE.
 - SEE CIVIL DRAWINGS FOR SEPTIC DESIGN.
 - AV CONDUIT, GAS LINES, AND GAS METER SHOWN SCHEMATICALLY. CONTRACTOR TO COORDINATE AND LOCATE IN THE FIELD.
 - SEE PLANTING PLAN A1.01 & A1.02 FOR ALL PLANTINGS AND (E) TREES TO REMAIN.
 - SEE IRRIGATION PLANS FOR IRRIGATION DESIGN AND EQUIPMENT
 - SEE SURVEY FOR (E) UTILITIES AND TOPOGRAPHY
 - FOR SLOPES AND FINISH ELEVATION POINTS, SEE CIVIL DRAWINGS & A1.02
 - SEE A1.03, LIGHTING SHEET, FOR OUTDOOR LIGHTING.
 - APPLY 4" DEPTH OF 1/4"-3/8" GRANITE CHIP MULCH AT ALL PLANTED AREAS.
 - PROVIDE AN ACCESSIBLE, MANUAL GAS SHUT OFF VALVE AND KEY FOR ALL GAS APPLIANCES. SUBMIT CUT SHEET TO ARCHITECT FOR APPROVAL PRIOR TO ORDER.
 - POOL AND SPA SHALL HAVE A RETRACTABLE POOL COVER COMPLYING W/ IRC AEC AG105 AND PROVIDE A POOL COVER THAT MEETS THE ASTM-F-1346-91 STANDARD.
 - PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
 - 100' DEFENSIBLE SPACE TO BE MAINTAINED AROUND NEW STRUCTURE PRIOR TO AND DURING CONSTRUCTION.
 - PLANS SHALL PROVIDE A 30' DEFENSIBLE SPACE ZONE. THIS INCLUDES THE REMOVAL OF VEGETATION AND COMBUSTIBLE MATERIAL FROM BENEATH DECKS. REMOVAL OF DEAD BRUSH AND WOODY DEBRIS NEAR STRUCTURES. MAINTENANCE OF IRRIGATED LANDSCAPE, PREVENTION OF OVERGROWTH, AND REMOVAL DEAD BRANCHES. PRUNE OR "LIMB UP" IF TREES TO 6'. MAINTAINING 10' MIN. CLEAR BETWEEN TREE CANOPIES AND ROOFS. MOWING ANNUAL DRY GRASSES WITHIN 100' OF STRUCTURES.
 - CONTRACTOR USE GAS POWERED EQUIPMENT EARLY IN THE MORNING ON A COOL, MOIST DAY, IF POSSIBLE. RAKE AND REMOVE ALL CLIPPINGS.
 - IRRIGATION WORK SHALL CONFORM TO WASHOE 110.412.65 IRRIGATION STANDARDS.
 - PROPOSED IRRIGATION SYSTEM SHALL SATISFY ALL WATER USE REQUIREMENTS SET FORTH IN WASHOE COUNTY CODE SECTION 110.412.65, IRRIGATION STANDARDS..
 - MAINTAIN 10' SEPARATION BETWEEN UTILITY AND (N) & (E) TREES.
 - NO NEW PLANTING OR IRRIGATION WITHIN AN (E) JUNIPER CANOPY.
 - CONCRETE CONTROL JTS. TO BE VERIFIED BY ARCHITECT IN FIELD PRIOR TO SAW CUTTING.
 - AS APPLICABLE, SEE AV ENGINEER'S PLAN FOR OUTDOOR LOW VOLTAGE WIRING RELATED TO ANY, SECURITY CAMERAS, AND SPEAKERS.

- SHEET NOTES:**
- SEE A1.02 FOR ADDITIONAL PLAN INFORMATION AND CALLOUTS
 - SEE A1.01 FOR FEATURE DIMENSIONS TO DETBACKS AND PROPERTY LINES

LEGEND:

	PROPERTY LINE
	SETBACK
	EASEMENT
	(E) MINOR CONTOUR 2' INCREMENTS
	(E) MAJOR CONTOUR, 10' INCREMENTS



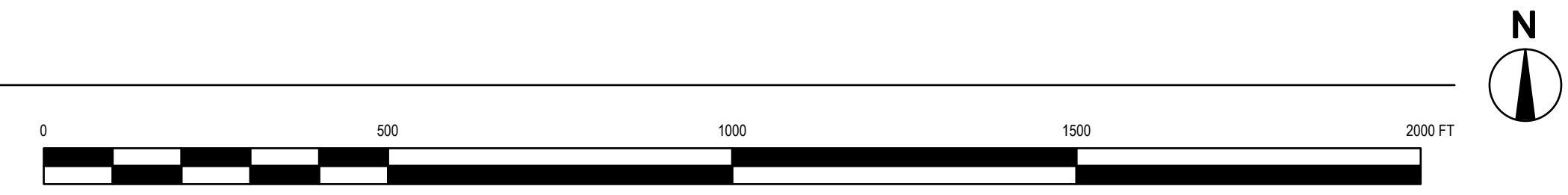
GRAHAM STEARNS QUINN
 523 WOODLAD ROAD
 KENTFIELD
 CA 94704
 T: 415.246.9104



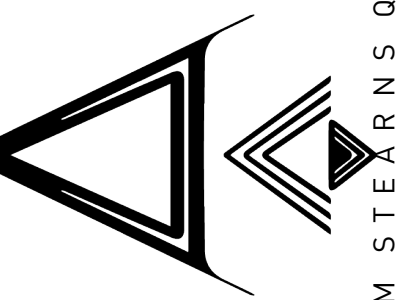
ISSUE	DATE
SUP	2021/05/10
JOB CODE	21_BORON
REVISIONS	

DRAWN BY
 GO

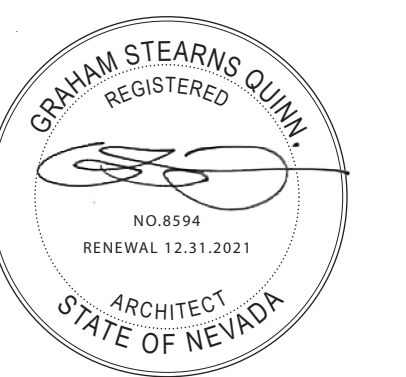
1 OVERALL SITE PLAN
 Scale: 1:2500



A1.00



GRAHAM STEARNS QUINN
 523 WOODLAD ROAD
 KENTFIELD
 CA 94904
 T: 415.246.9700



ISSUE DATE
 SUP 2021/05/10

JOB CODE
 JUPITER GULCH

REVISIONS

1	
2	
3	
4	
5	

DRAWN BY
 GQ

SITE PLAN
 ENLARGED-A

A1.01

GENERAL NOTES:

- SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITIES. THESE ITEMS SHOWN ON SITE PLAN AND LANDSCAPE PLANS FOR COORDINATION PURPOSES ONLY.
- TOPO LINES SHOWN AT 2' INCREMENTS.
- S.M.D. FOR OUTDOOR MECHANICAL EQUIPMENT LAYOUT.
- SEE CIVIL DRAWINGS FOR SEPTIC DESIGN.
- AV CONDUIT, GAS LINES, AND GAS METER SHOWN SCHEMATICALLY. CONTRACTOR TO COORDINATE AND LOCATE IN THE FIELD.
- SEE PLANTING PLAN A1.01 & A1.02 FOR ALL PLANTINGS AND (E) TREES TO REMAIN.
- SEE IRRIGATION PLANS FOR IRRIGATION DESIGN AND EQUIPMENT
- SEE SURVEY FOR (E) UTILITIES AND TOPOGRAPHY
- FOR SLOPES AND FINISH ELEVATION POINTS, SEE CIVIL DRAWINGS & A1.02
- SEE A1.03, LIGHTING SHEET, FOR FOR OUTDOOR LIGHTING.
- APPLY 4" DEPTH OF 1/4"-3/8" GRANITE CHIP MULCH AT ALL PLANTED AREAS.
- PROVIDE AN ACCESSIBLE, MANUAL GAS SHUT OFF VALVE AND KEY FOR ALL GAS APPLIANCES. SUBMIT CUT SHEET TO ARCHITECT FOR APPROVAL PRIOR TO ORDER.
- POOL AND SPA SHALL HAVE A RETRACTABLE POOL COVER COMPLYING W/ IRC AEC AG105 AND PROVIDE A POOL COVER THAT MEETS THE ASTM-F-1346-91 STANDARD. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
- 100' DEFENSIBLE SPACE TO BE MAINTAINED AROUND NEW STRUCTURE PRIOR TO AND DURING CONSTRUCTION.
- PLANS SHALL PROVIDE A 30' DEFENSIBLE SPACE ZONE. THIS INCLUDES THE REMOVAL OF VEGETATION AND COMBUSTIBLE MATERIAL FROM BENEATH DECKS. REMOVAL OF DEAD BRUSH AND WOODY DEBRIS NEAR STRUCTURES. MAINTENANCE OF IRRIGATED LANDSCAPE. PREVENTION OF OVERGROWTH, AND REMOVAL DEAD BRANCHES. PRUNE OR "LIMB UP" IF TREES TO 6'. MAINTAINING 10' MIN. CLEAR BETWEEN TREE CANOPIES AND ROOFS. MOWING ANNUAL DRY GRASSES WITHIN 100' OF STRUCTURES. CONTRACTOR USE GAS POWERED EQUIPMENT EARLY IN THE MORNING ON A COOL, MOIST DAY, IF POSSIBLE. RAKE AND REMOVE ALL CLIPPINGS.
- IRRIGATION WORK SHALL CONFORM TO WASHOE 110.412.65 IRRIGATION STANDARDS. PROPOSED IRRIGATION SYSTEM SHALL SATISFY ALL WATER USE REQUIREMENTS SET FORTH IN WASHOE COUNTY CODE SECTION 110.412.65, IRRIGATION STANDARDS..
- MAINTAIN 10' SEPARATION BETWEEN UTILITY AND (N) & (E) TREES.
- NO NEW PLANTING OR IRRIGATION WITHIN AN (E) JUNIPER CANOPY.
- CONCRETE CONTROL JTS. TO BE VERIFIED BY ARCHITECT IN FIELD PRIOR TO SAW CUTTING.
- AS APPLICABLE, SEE AV ENGINEER'S PLAN FOR OUTDOOR LOW VOLTAGE WIRING RELATED TO ANY, SECURITY CAMERAS, AND SPEAKERS.

SHEET NOTES:

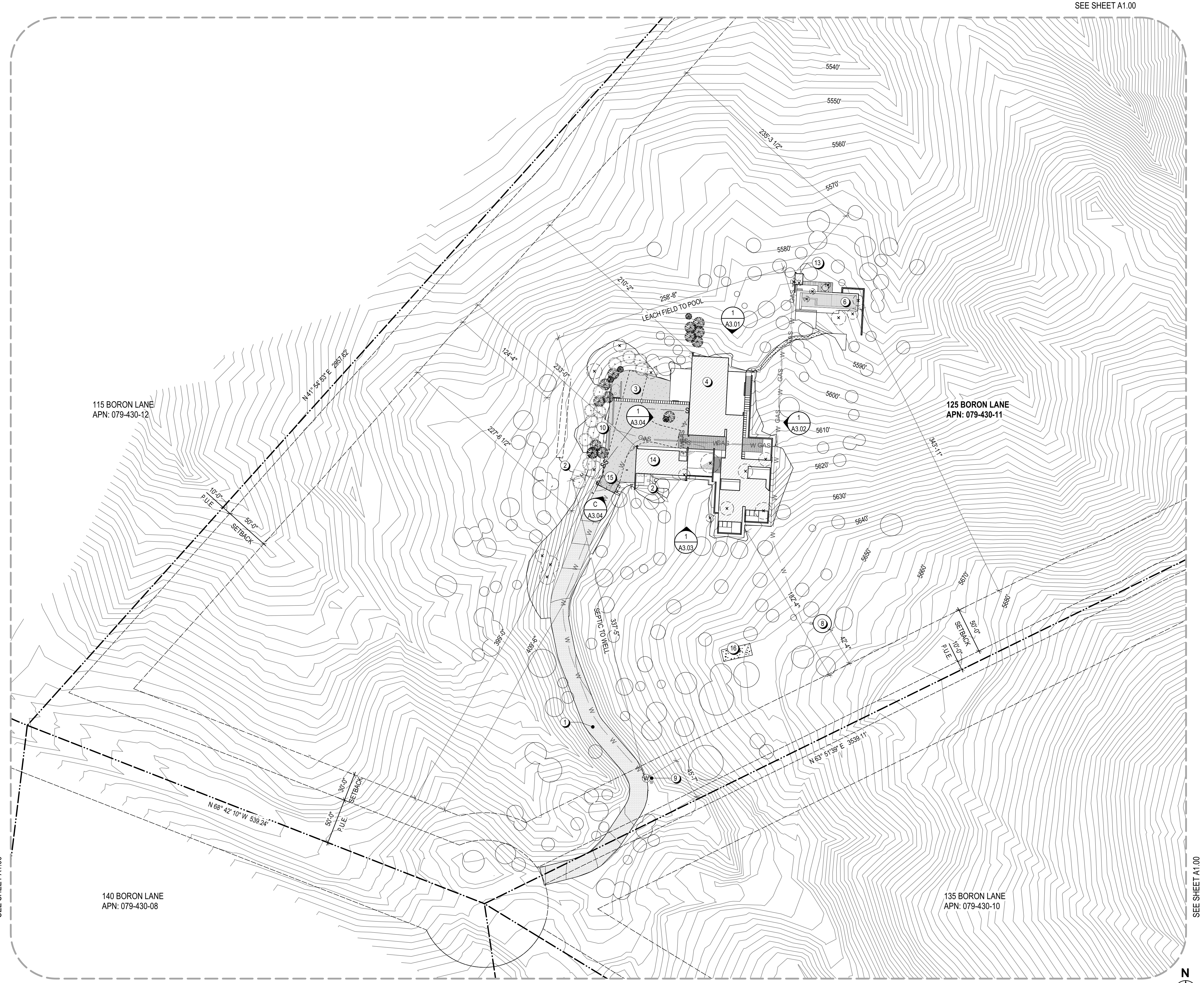
- SEE A1.02 FOR ADDITIONAL PLAN INFORMATION AND CALLOUTS.
- SEE CIVIL PLANS FOR DRIVEWAY AND UTILITY INFORMATION.
- SEE LANDSCAPE PLANS FOR LANDSCAPING INFORMATION.

KEYNOTES:

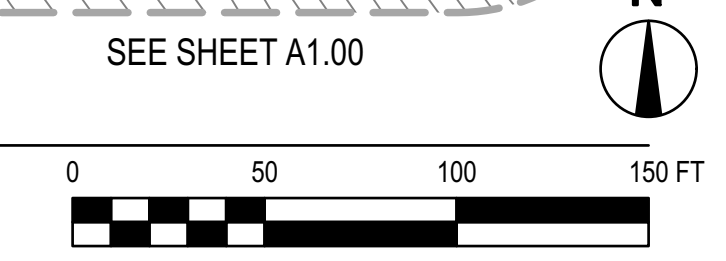
- ① DRIVEWAY
- ② (N) SEPTIC LEACH FIELD
- ③ (N) FIRE TRUCK TURNAROUND
- ④ (N) RESIDENCE
- ⑤ (N) PATIO
- ⑥ (N) POOL
- ⑦ NOT USED
- ⑧ (N) SEMI-BURIED DOMESTIC WATER AND FIRE SUPPRESSION STORAGE TANK
- ⑨ (N) WELL
- ⑩ (N) BELOW GRADE PROPANE FUEL TANK
- ⑪ (N) EQUIPMENT PAD
- ⑫ (N) RAIN WATER COLLECTION TANKS AND IRRIGATION PUMP.
- ⑬ (N) POOL EQUIPMENT SHED
- ⑭ (N) GARAGE, 4 CAR COVERED PARKING
- ⑮ (N) VEHICULAR ENTRY GATE
- ⑯ (E) CONCRETE PAD TO REMAIN

LEGEND:

- PROPERTY LINE
- - - SETBACK
- - - EASEMENT
- [Hatched Box] BUILDING/STRUCTURE FOOTPRINT
- [Dotted Box] 1/4" GRANITE GRAVEL CHIP
- [White Box] C.I.P. CONCRETE
- [Light Blue Box] WATER FEATURE/POOL
- [Dark Blue Box] SAND SET STONE PAVER
- [Medium Blue Box] SAND SET COBBLE STONE
- W BELOW GRADE WATER LINE, S.C.D., S.M.D.
- GAS BELOW GRADE LIQUID PROPANE GAS LINE, S.C.D.
- SS BELOW GRADE SEWAGE LINE, S.C.D.
- [Dashed Box] BELOW GRADE STORAGE TANK, S.C.D.
- (W) (N) WELL
- [Dashed Circle] FIRE TRUCK TURNAROUND BOUNDARY
- (E) MINOR CONTOUR 2' INCREMENTS
- (E) MAJOR CONTOUR, 10' INCREMENTS
- (E) WESTERN JUNIPER TO REMAIN
- (E) WESTERN JUNIPER TO BE REMOVED
- 36" BOX (N) POPULUS TREMULOIDES, QUAKING ASPEN TREE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
- 24" BOX (N) PINUS EDULIS, TWO NEEDED PINYON PINE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING



1 ENLARGED SITE PLAN
 Scale: 1" = 50'-0"





- GENERAL NOTES:**
SEE A1.00 & A1.02 FOR GENERAL NOTES.
- SHEET NOTES:**
1. SEE L1.01 FOR DIMENSIONS TO SETBACKS
2. SEE L1.00 FOR PARCEL BOUNDARY INFORMATION
- KEYNOTES:**
- ① ENGINEERED GRAVEL DRIVEWAY, S.C.D.
 - ② (N) SEPTIC TANK & LEACH FIELD SYSTEM
 - ③ (N) FIRE TRUCK TURNAROUND
 - ④ (N) RESIDENCE
 - ⑤ (N) PATIO
 - ⑥ (N) POOL
 - ⑦ (N) SPA
 - ⑧ (N) FIRE HYDRANT
 - ⑨ TRASH BIN ENCLOSURE
 - ⑩ (N) BELOW GRADE PROPANE FUEL TANK
 - ⑪ (N) BACK UP GENERATOR
 - ⑫ (N) RAIN WATER COLLECTION TANKS AND IRRIGATION PUMP.
 - ⑬ (N) POOL EQUIP. SHED
 - ⑭ (N) ELECTRICAL METER
 - ⑮ (N) SATELLITE DISH
 - ⑯ (N) ELECTRICAL TRANSFORMER
 - ⑰ (N) HVAC EQUIPMENT PAD
 - ⑱ (N) DECOMPOSED GRANITE PATH
 - ⑲ (N) LP GAS FIRE PIT
 - ⑳ VEHICULAR ENTRY WITH KNOX BOX CALL STATION
 - ㉑ DRIP THROUGH WOOD DECK, 2X MIN. FRAMING MEMBERS AND BOARDS

- LEGEND:**
- BUILDING/ STRUCTURE FOOTPRINT
 - 1/4" GRANITE GRAVEL CHIP
 - C.I.P. CONCRETE
 - WATER FEATURE/ POOL
 - DRIP THROUGH CEDAR WOOD DECK, 2X MIN. LUMBER DIM.
 - SAND SET STONE PAVER
 - SAND SET COBBLE STONE
 - BELOW GRADE WATER LINE, S.C.D., S.M.D.
 - BELOW GRADE LIQUID PROPANE GAS LINE, S.C.D., S.M.D.
 - SATELLITE DISH
 - BELOW GRADE SEWER LINE, S.C.D.
 - FIRE TRUCK TURNAROUND BOUNDARY
 - SLOPE DIRECTION, S.C.D.
 - TRENCH DRAIN OR BRICK SLOT TRENCH DRAIN, S.C.D. FOR SIZE, RIM AND INVERT ELEV.
 - OVERFLOW DRAIN, S.C.D. FOR SIZE, RIM AND INVERT ELEV.
 - AREA DRAIN, S.C.D. FOR SIZE, RIM AND INVERT ELEV.
 - T.O.W. - XX'
 - FINISHED SURFACE SPOT ELEVATION.
 - (E) WESTERN JUNIPER TO REMAIN
 - (E) WESTERN JUNIPER TO BE REMOVED
 - (N) POPULUS TREMULOIDES, QUAKING ASPEN TREE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
 - (N) PINUS EDULIS, TWO NEEDED PINYON PINE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
 - ORNAMENTAL BOULDER FEATURE > 24" DIAM.

1 ENLARGED SITE PLAN
Scale: 3/32" = 1'-0"

GRAHAM STEARNS QUINN - AIA

GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94904
T: 415-246-9004

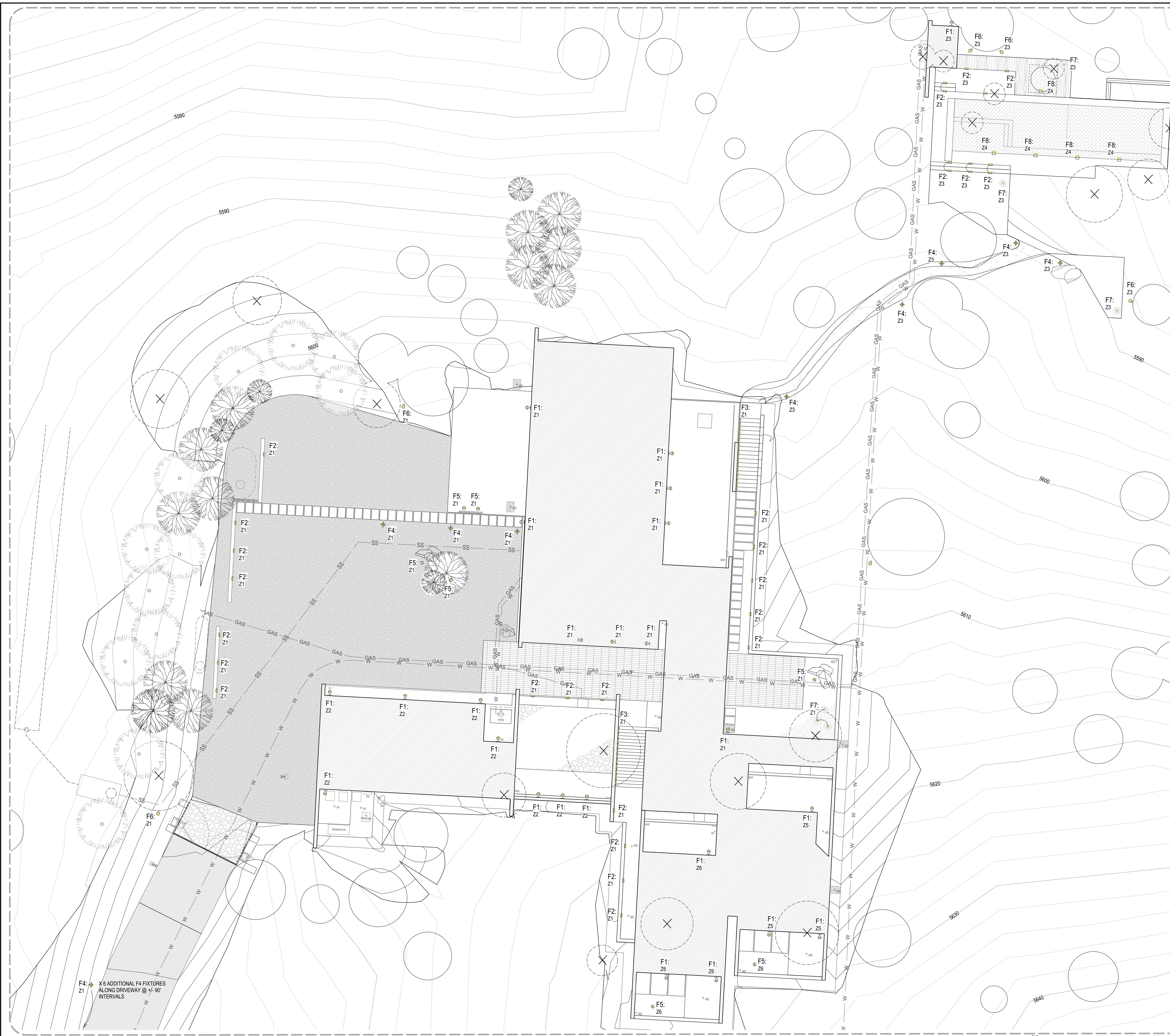
GRAHAM STEARNS QUINN
REGISTERED
ARCHITECT
STATE OF NEVADA
NO. 8206
RENEWAL: 12.31.2021

ISSUE	DATE
SUP	2021/05/10
JOB CODE	JUPITER GULCH
REVISIONS	
1	
2	
3	
4	
5	

DRAWN BY
GQ

**SITE PLAN
ENLARGED-B**

A1.02



GENERAL NOTES:
SEE A1.00 & A1.02 FOR GENERAL NOTES.

SHEET NOTES:

- SEE L1.01 FOR SITE FEATURE DIMENSIONS TO SETBACKS
- SEE L1.00 FOR PARCEL BOUNDARY INFORMATION
- SEE L1.02 FOR SITE DESIGN INFORMATION
- ALL OUTDOOR LIGHTING TO BE WIRED TO A PHOTOCELL OR ASTRONOMICAL TIMECLOCK.
- ALL OUTDOOR LIGHTING TO BE LED, HIGH EFFICACY FIXTURES ON 12V PARALLEL WIRING.
- ALL REMOTE TRANSFORMERS TO BE IN WEATHERIZED, WATERPROOF VAULTS BELOW GRADE. TRANSFORMERS DESIGN BUILD BY LANDSCAPE CONTRACTOR. REVIEW ALL LOCATIONS IN THE FIELD W/ ARCHITECT PRIOR TO RUNNING CONDUIT.

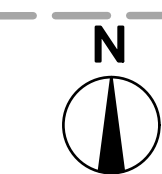
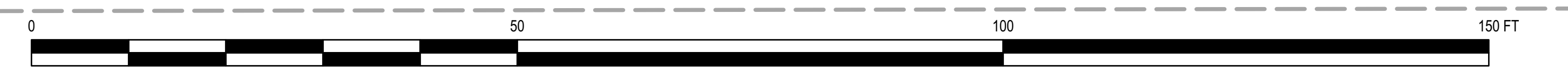
FIXTURE LEGEND:

FX:	FIXTURE TYPE
ZX:	SWITCH ZONE
○	F1: WALL MTD. SCENCE UP/DOWN LIGHTING
■	F2: WALL & STEP DOWNLIGHTING
—	F3: LINEAR STRIP LIGHT WALL GRAZER
+	F4: BOLLARD PATH LIGHT DOWNLIGHT
●	F5: IN-GRADE UPLIGHT
⊙	F6: STAKE MOUNT UPLIGHT
⊕	F7: INTEGRATED BENCH DOWNLIGHT
■	F8: POOL LIGHT SIDE WALL MOUNTED

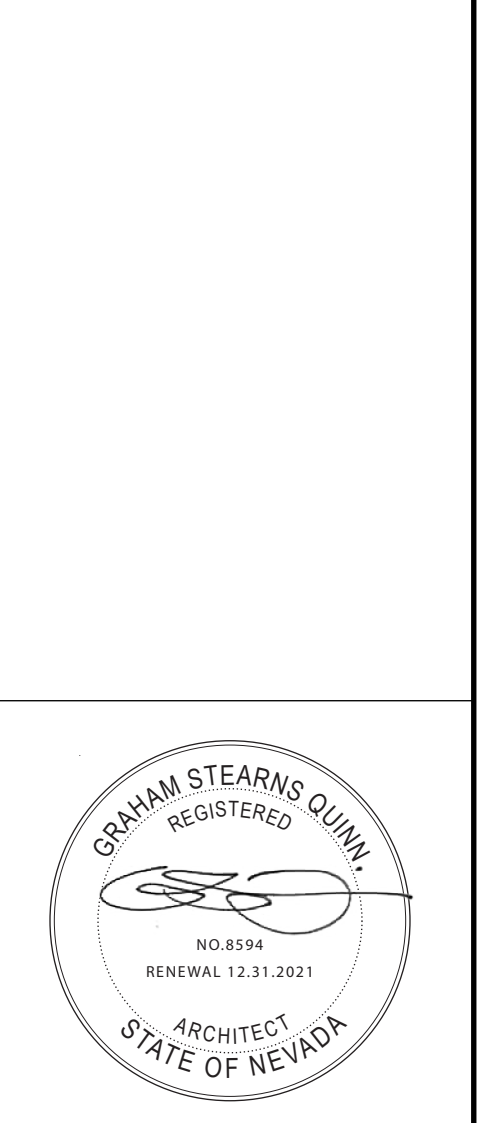
LEGEND:

▨	BUILDING/STRUCTURE FOOTPRINT
SS	BELOW GRADE SEWAGE LINE, S.C.D.
W	BELOW GRADE WATERLINE, S.C.D.
GAS	BELOW GRADE LP GAS LINE, S.M.D.
○	(E) WESTERN JUNIPER TO BE REMAIN
⊗	(E) WESTERN JUNIPER TO BE REMOVED
⊙	(N) POPULUS TREMULOIDES, QUAKING ASPEN TREE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
⊙	(N) PINUS EDULIS, TWO NEEDED PINYON PINE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
○	ORNAMENTAL BOULDER FEATURE > 24" DIAM.

1 ENLARGED SITE PLAN
Scale: 3/32" = 1'-0"



GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94904
T: 415.246.9104



ISSUE	DATE
SUP	2021/05/10
JOB CODE JUPITER GULCH	
REVISIONS	
1	
2	
3	
4	
5	

DRAWN BY
GQ

SITE PLAN
LIGHTING

A1.03



GENERAL NOTES:
SEE A1.00 & A1.02 FOR GENERAL NOTES.

SHEET NOTES:
1. SEE A1.01 FOR SITE FEATURE DIMENSIONS TO SETBACKS
2. SEE A1.00 FOR PARCEL BOUNDARY INFORMATION
3. SEE A1.02 AND S.C.D. FOR SITE DESIGN INFORMATION, GRADING AND DRAINAGE
4. HATCHES ARE REPRESENTATIONAL ONLY.

LANDSCAPE COVERAGE LEGEND:

SYMBOL	DESCRIPTION	SPEC	TOTAL AREA
[Hatched Pattern]	ENGINEERED GRAVEL DRIVEWAY, S.C.D	COLORED, LIGHT SANDBLAST FINISH	10,368 SQ.FT.
[Dotted Pattern]	C.I.P. CONCRETE	COLORED, LIGHT SANDBLAST FINISH	5,988 SQ.FT.
[Cross-hatched Pattern]	CHIPSEAL OVER ENGINEERED BASE, S.C.D.	"TRINITY" OR EQUIV. GRANITE CHIP 3/8" - 1/4"	5,988 SQ.FT.
[Stippled Pattern]	GRANITE CHIP GRAVEL OVER ENGINEERED BASE	"TRINITY" OR EQUIV. GRANITE CHIP 1/4" - 1/2"	512 SQ.FT.
[Diagonal Hatched Pattern]	SAND SET STONE PAVER	TAN GRANITE COBBLE X 3" THICK	1,882 SQ.FT.
[Vertical Hatched Pattern]	DRIP THROUGH DECKING ALASKAN YELLOW CEDAR	2X8 BOARDS, CLEAR STAIN 2X (MIN) SOLID WOOD DIM. FOR ALL DECK COMPONENTS.	202 SQ.FT.
[Horizontal Hatched Pattern]	POOL/ SPA		939 SQ.FT.
[Dashed Hatched Pattern]	4" DEPTH GRAVEL/ STONE MULCH OVER PIT AMENDED PLANTING MIX TOP SOIL.	GREY & TAN GRANITE COBBLE OF VAR. SIZES	3,346 SQ.FT.
[Diagonal Hatched Pattern]	STRAW & SEED REVEGETATION AREA	SEE NATIVE SEED MIX BELOW. BROADCAST WITH MIX OF STRAW & COMPOST IN THE FALL OR MARCH PRIOR TO PROJECT COMPLETION.	25,902 SQ.FT.

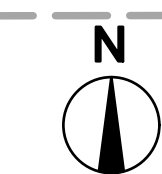
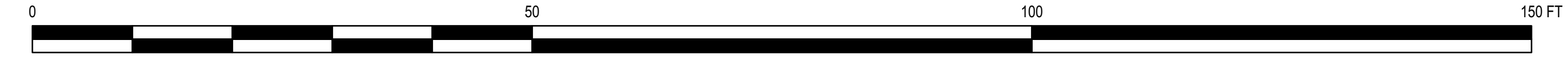
UPLAND SITES IN NORTHERN NV

BOTANICAL NAME:	COMMON NAME:	LIVE SEED (LBS/ ACRE)
ARCHILLEA MILLEFOLIUM	YARROW	1.00
ARCHNATHERUM HYMENOIDES	INDIAN RICE GRASS 'NEZPARI' NATIVE	2.00
ARGOPTRON FRAGILE		
SSP. SIBERICUM	SIBERIAN WHEATGRASS	4.00
ARTERMISIA TRIDENTATA		
SSP. WYOMINGENSIS	BASIN SAGEBRUSH	2.00
CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH	1.50
ELYMUS ELYMOIDES	BOTTLEBRUSH SQUIRREL TAIL	0.50
ELYMUS LANCEOLATUS	STREAMBANK WHEATGRASS "SODAR"	4.00
EPHEDRA VIRIDIS	MORMON TEA	0.50
ERIGONUM UMBELLATUM	SUNFLOWER BUCKWHEAT	0.50
FESTUCA OVINA	SHEEP FESCUE "COVAR"	2.00
LINUM LEWISII	BLUE FLAX	0.50
LUPINUS ARGENTUS	SILVER LEAF LUPINE	1.50
PENSTEMMON PALMERI	PALMER PENSTEMMON	0.25
POA SECUNDA	SANDBERG BLUE GRASS "SECAR"	2.00
PSUEDOROEGNERIA SPICATA	BLUEBUNCH WHEATGRASS	3.00
PURSHIA TRIDENTATA	BITTER BRUSH	1.00
CLEOME LUTEA	BEEPLANT	0.25
COSMOS BIPINNATUS	COSMOS	1.25
HELIANTHUS ANNUUS	SUNFLOWER	1.25
CASTILLEJA MINIATA	GIANT RED INDIAN PAINTBRUSH	1.50
	TOTAL:	30

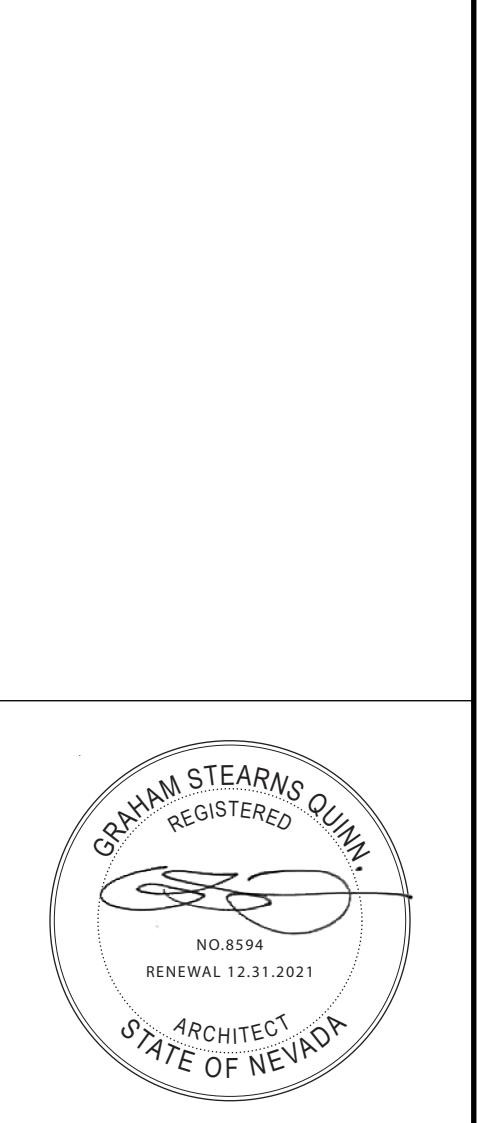
LEGEND:

[Hatched Pattern]	BUILDING/ STRUCTURE FOOTPRINT
[Dashed Line]	SITE WALL
SS	BELOW GRADE SEWAGE LINE, S.C.D.
W	BELOW GRADE WATERLINE, S.C.D.
GAS	BELOW GRADE LP GAS LINE, S.M.D.
(E) [Circle]	(E) WESTERN JUNIPER TO BE REMAIN
(E) [X]	(E) WESTERN JUNIPER TO BE REMOVED
(N) [Tree Symbol]	(N) POPULUS TREMULOIDES, QUAKING ASPEN TREE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
(N) [Tree Symbol]	(N) PINUS EDULIS, TWO NEEDED PINYON PINE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
[Boulder Symbol]	ORNAMENTAL BOULDER FEATURE > 24" DIAM.

1 ENLARGED SITE PLAN
Scale: 3/32" = 1'-0"



GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94904
T: 415.246.9104



ISSUE DATE
SUP 2021/05/10

JOB CODE
JUPITER GULCH

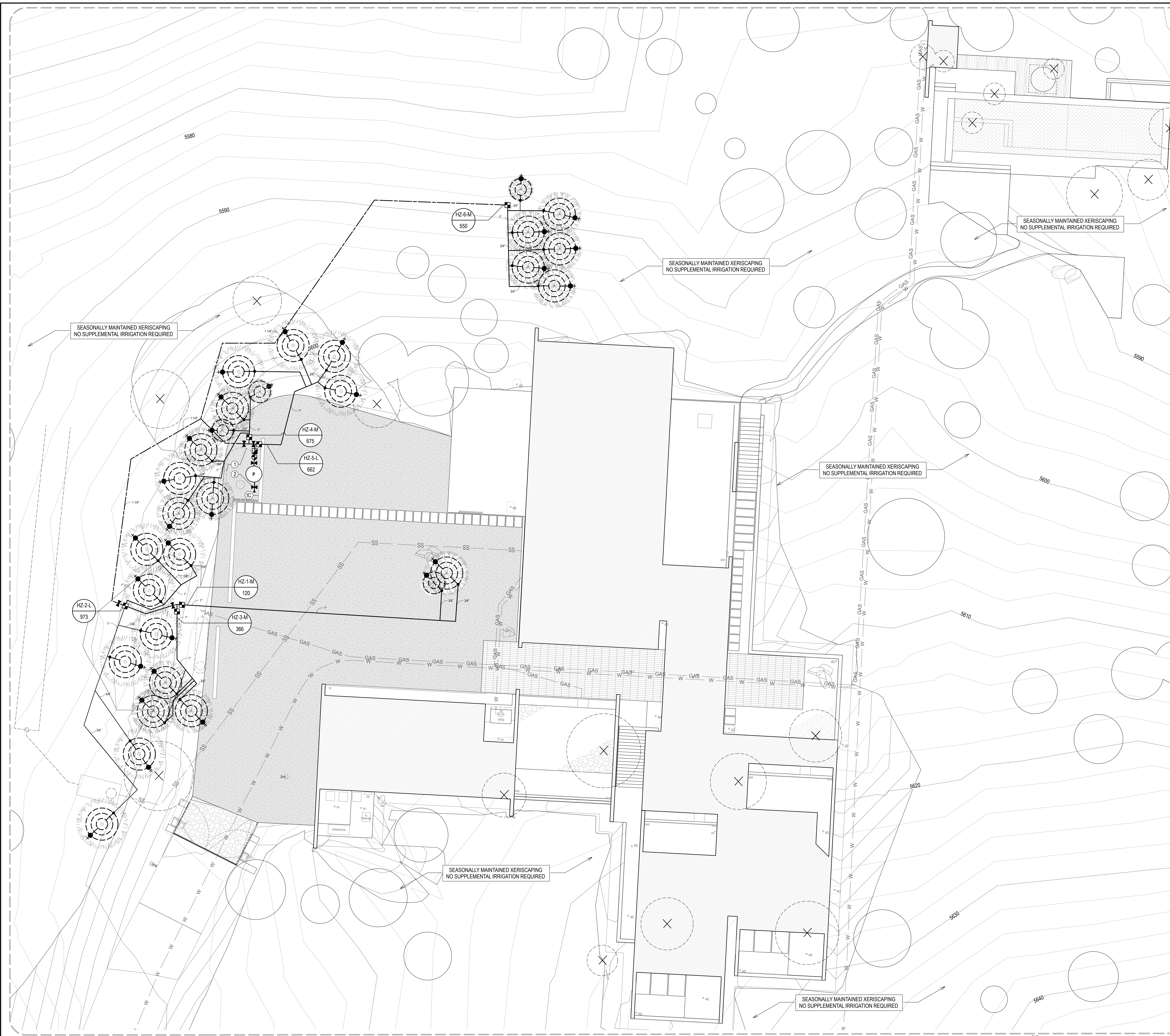
REVISIONS

1	
2	
3	
4	
5	

DRAWN BY
GQ

LANDSCAPE PLAN

L1.00



GENERAL NOTES:
SEE A1.00 & A1.02 FOR GENERAL NOTES.

SHEET NOTES:

- SEE A1.01 FOR SITE FEATURE DIMENSIONS TO SETBACKS
- SEE A1.00 FOR PARCEL BOUNDARY INFORMATION
- SEE A1.02 AND S.C.D. FOR SITE DESIGN INFORMATION, GRADING AND DRAINAGE
- HATCHES ARE REPRESENTATIONAL ONLY.
- SEE L1.00 FOR PLANTING PLAN
- SEE L3.10 FOR WATER USE CALCULATIONS
- SEE L3.11 AND L3.12 FOR IRRIGATION EQUIPMENT AND SPECIFICATIONS.
- IRRIGATION PLANS TO COMPLY WITH WASHOE COUNTY STANDARDS IN SECTION 110.412.65

KEY NOTES

- IRRIGATION RAIN WATER HARVESTING STORAGE TANK
- IN LINE IRRIGATION BACKFLOW PREVENTER AS REQ'D

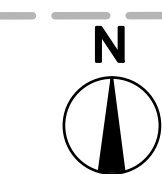
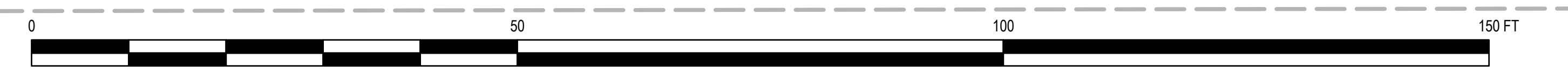
IRRIGATION LEGEND:

- NETAFILM 17 MM FLUSH VALVE TYP. AT END OF DRIP RING
- NETAFILM 17 MM DRIP RING
- ADAPT FROM PVC LATERAL TO 17 MM NETAFILM AT THIS LOCATION.
- 17 MM NETAFILM DRIP LINE
- IRRIGATION MAIN LINE: 40 PVC TUBING W. SCHEDULED 40 SOLVENT WELDED FITTINGS. BURRY 18" DEEP. MAIN LINE TO BE 1.25" UNLESS OTHERWISE NOTED.
- IRRIGATION LATERAL LINE: 40 PVC TUBING W. SCHEDULED 40 SOLVENT WELDED FITTINGS. BURRY 12" DEEP.
- TYPICAL IRRIGATION SYSTEM ISOLATION VALVE TO SHUT OFF BRANCHES OF THE MAIN LINE FOR MAINTENANCE PURPOSES.
- HUNTER 1" REMOTE CONTROL VALVE WITH FILTER & 40 PSI PRESSURE REGULATOR.
- HUNTER 1" BRASS FLOW METER (SUB METER AND FLOW SENSOR). WIRE TO CONTROLLER PER MANUFACTURER'S INSTRUCTIONS.
- NORMALLY CLOSED MASTER CONTROL VALVE
- IRRIGATION BOOSTER PUMP. SPEC TO BE DESIGN BUILD BY LANDSCAPE CONTRACTOR. SUPPLY 120V SINGLE PHASE POWER SUPPLY.
- IRRIGATION CONTROLLER MOUNTED TO REAR SITE WALL. CONNECT TO 120 V SINGLE PHASE POWER SUPPLY.
- HYDROZONE:
 - ZONE
 - WATER USE CLASSIFICATION: L= LOW M= MODERATE
 - HYDROZONE AREA IN SQUARE FEET

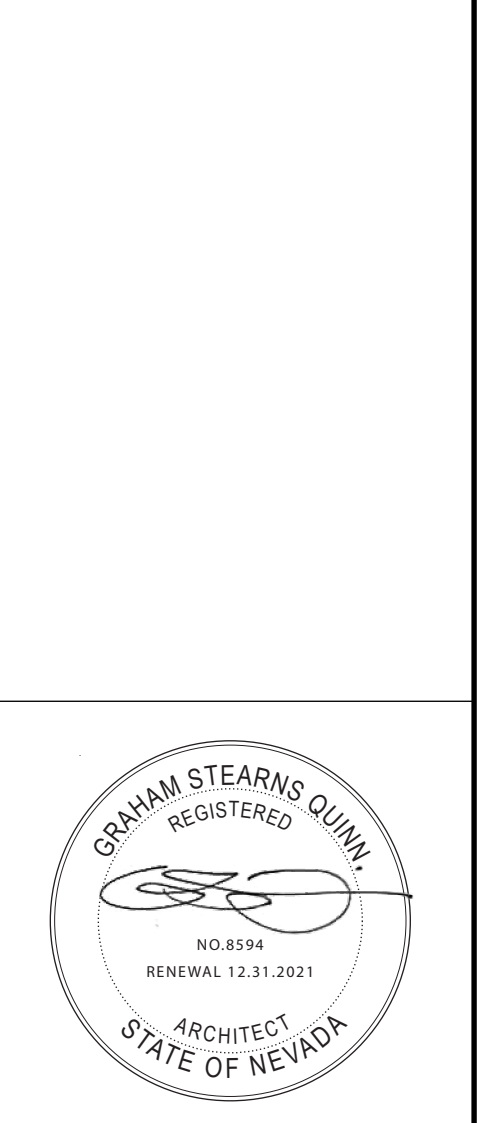
LEGEND:

- BUILDING/ STRUCTURE FOOTPRINT
- SITE WALL
- BELOW GRADE SEWAGE LINE, S.C.D.
- BELOW GRADE WATERLINE, S.C.D.
- BELOW GRADE LP GAS LINE, S.M.D.
- (E) WESTERN JUNIPER TO BE REMAIN
- (E) WESTERN JUNIPER TO BE REMOVED
- (N) POPULUS TREMULOIDES, QUAKING ASPEN TREE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
- (N) PINUS EDULIS, TWO NEEDED PINYON PINE TO BE 8'-0" (MIN.) HEIGHT AT TIME OF PLANTING
- ORNAMENTAL BOULDER FEATURE > 24" DIAM.

1 ENLARGED SITE PLAN
Scale: 3/32" = 1'-0"



GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94904
T: 415.244.9104



ISSUE	DATE
SUP	2021/05/10
JOB CODE JUPITER GULCH	
REVISIONS	
1	
2	
3	
4	
5	

DRAWN BY
GQ

IRRIGATION PLAN

L3.00

IRRIGATION WATER USE CALCULATIONS

MAWA = Maximum Applied Water Allowance

MAWA = (Eto - Eppt)0.62[(0.7)(LA)+(0.3)SLA]

Where:
 MAWA = Maximum Applied Water Allowance (gallons per year)
 Eto = Reference Evapo-transpiration (for location in inches per year)
 Eppt = Effective Precipitation (no more than 25% of local Eto, typically 10%)
 0.62 = conversion factor to gallons
 0.7 = Eto Adjustment Factor (average Ks of .5 divided by 0.7 irrigation efficiency)
 LA = Total Irrigated Landscape Area (in square feet) including Special Landscape Area (SLA)
 SLA = Portion of the total irrigated Landscape Area identified as Special Landscape Area (recreational turf)
 0.3 = The additional ET Adjustment Allowance Factor for Special Landscape Area (1.0 - 0.7 = 0.3)

Enter Eto @ site here = **50.4** inches/year
 Enter Eppt @ site here = **0.0** inches/year
 Enter LA @ site here = **3,346** square feet
 Enter SLA @ site here = **0** square feet

MAWA =	50.4	0.0	0.62	0.7	3,346	0.3	0
--------	-------------	------------	-------------	------------	--------------	------------	----------

MAWA = **73,189** Gallons/Year
 = **98** Units/Year

MAWA = **0.22** Acre Feet/Year

ETWU = Estimated Total Water Use

ETWU = (Eto)0.62[(PF x HA)+SLA]

Where:
 ETWU = Estimated Total Water Use in gallons per year
 Eto = Reference Evapo-transpiration (for location in inches per year)
 0.62 = conversion factor to gallons
 PF = Plant Factor from WUCOLS
 HA = Hydronome Area (high, medium, low water use areas) (square feet)
 SLA = Irrigation Efficiency (minimum 0.71)
 Special Landscape Area (square feet)

Hydronome	Plant water Use (Type)	Plant Factor (PF)	Area (square feet)	PF x Area (square feet)	Application Efficiency	Calc. Factor
1	High	0.0	0	0	1.00	0
2	Medium	0.6	1,711	1,027	0.71	1,446
3	Low	0.3	1,635	491	0.71	691
4		0.0	0	0	1.00	0
5		0.0	0	0	1.00	0
6	SLA	1.0	Sum	1,517	Sum	2,137

*Plant Factor from WUCOLS

ETWU = (Eto)0.62[(PF x HA)+SLA]

ETWU = **50.4** **0.62** **2,137** **0**

ETWU = **66,769** Gallons/Year
 = **89** Units/Year
 = **0.2** Acre-Fe/Year

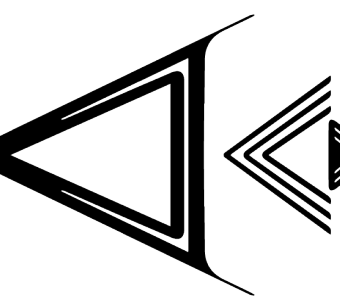
ETWU must be less than MAWA

MAXIMUM ALLOWABLE ESTIMATED TOTAL WATER USE = 73,189 GALLONS/ YEAR
 = 66,796 GALLONS/ YEAR

IRRIGATION NOTES

- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC. WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH AS DESCRIBED IN NOTE 3.
- DURING THE MAINTENANCE PERIOD, IT IS THE RESPONSIBILITY OF THE LANDSCAPE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLERS TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES INPUTTING DATA TO THE PROGRAM FOR SPECIFIC SITE CONDITIONS INCLUDING: SOIL TYPE, PLANT MATERIALS, WATER REQUIREMENTS, MOUNDS AND SLOPES, SUN, SHADE AND WIND EXPOSURES, ETC.
- 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE IRRIGATION CONTROLLER LOCATION(S) TO BE PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL SERVICE STUB-OUT TO CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- THE IRRIGATION CONTRACTOR SHALL SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- IRRIGATION CONTROL WIRES SHALL BE COPPER, SOLID-CORE, COLOR CODED BY STATION IN AN INSULATED JACKET (COLOR WHITE FOR COMMON) SUITABLE FOR DIRECT BURIAL. THE CONTROL AND COMMON WIRES SHALL BE SIZE #16-1. SPARE WIRES SHALL BE #16-1 WIRE WITH A RED INSULATING JACKET.
- INSTALL 3 RED SPARE CONTROL WIRES (OR SAME QUANTITY AS UNUSED CONTROLLER STATIONS- WHICH EVER IS GREATER) ALONG THE ENTIRE WIRE ROUTING. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SPLICING OF LOW VOLTAGE WIRE IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.
- INSTALL BLACK PLASTIC VALVE BOXES WITH BLACK BOLT DOWN, NON-HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE CARSON-BROOKS, NDS PRO SERIES, OR APPROVED EQUAL.
- INSTALL VALVE BOXES 12" FROM WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX AN EQUAL DISTANCE FROM THE WALK, CURB, BUILDING, OR LANDSCAPE FEATURE AND PROVIDE 24" BETWEEN BOX TOPS. ALIGN THE SHORT SIDE OF RECTANGULAR VALVE BOXES PARALLEL TO WALK, CURB, BUILDING, OR LANDSCAPE FEATURE.
- VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS (NOT IN LAWN AREA).
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY OR RUN-OFF ONTO WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. SELECT THE BEST DEGREE OF ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHER WISE NOTED ON THE DRAWINGS.
- INSTALL A KBI CV-SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER OR BUBBLER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
- SOLVENT CEMENT AND PRIMER FOR SOLVENT WELD JOINTS SHALL BE OF MAKE AND TYPE APPROVED BY MANUFACTURER(S) OF PIPE AND FITTINGS. CEMENT SHALL BE MAINTAINED AT PROPER CONSISTENCY THROUGHOUT USE. PIPE JOINT COMPOUND SHALL BE NON-HARDENING, NON-TOXIC MATERIALS DESIGNED SPECIFICALLY FOR USE ON THREADED CONNECTIONS IN WATER CARRYING PIPE. PERFORMANCE SHALL BE SAME AS PERMATEX NO. 51.
- ALL ARTICLES AND SERVICES INSTALLED UNDER THIS CONTRACT SHALL MEET OR EXCEED THE SAFETY AND HEALTH ACT OF 1970, TOGETHER WITH ALL AMENDMENTS IN EFFECT AL OF THE DATE OF THESE DRAWINGS. THE CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, GUARDS, WARNING SIGNS, AND LIGHTS AS NECESSARY OR REQUIRED BY OSHA REGULATIONS FOR THE PROTECTION OF THE PUBLIC OR WORKMEN.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL ELECTRIC CODE; THE UNIFORM PLUMBING CODE, PUBLISHED BY THE WESTERN PLUMBING OFFICIALS ASSOCIATION; AND OTHER STATE OR LOCAL LAWS OR REGULATIONS. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES OR REGULATIONS. THE CONTRACTOR SHALL FURNISH WITHOUT ANY EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR WHEN REQUIRED BY THE COMPLIANCE WITH THESE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LAYOUT AND INSTALLATION OF THE PLANT MATERIALS TO INSURE THAT THERE WILL BE COMPLETE AND UNIFORM IRRIGATION COVERAGE OF PLANTING IN ACCORDANCE WITH THESE DRAWINGS, AND CONTRACT DOCUMENTS. THE IRRIGATION LAYOUT SHALL BE CHECKED BY THE CONTRACTOR AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION TO DETERMINE IF ANY CHANGES, DELETIONS, OR ADDITIONS ARE REQUIRED. IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- THE CONTRACTOR SHALL LABEL CONTROL LINE WIRE AT EACH REMOTE CONTROL VALVE WITH A 2 1/4" X 2 3/4" POLYURETHANE I.D. TAG, INDICATING IDENTIFICATION NUMBER OF VALVE (CONTROLLER AND STATION NUMBER). ATTACH LABEL TO CONTROL WIRE. THE CONTRACTOR SHALL PERMANENTLY STAMP ALL VALVE BOX LIDS WITH APPROPRIATE IDENTIFICATION AS NOTED IN CONSTRUCTION DETAILS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FILL AND REPAIR ALL DEPRESSIONS AND REPLACE ALL NECESSARY LAWN AND PLANTING DUE TO THE SETTLEMENT OF IRRIGATION FOR ONE YEAR (OR AS AGREED) FOLLOWING COMPLETION AND ACCEPTANCE OF THE JOB. THE CONTRACTOR SHALL ALSO GUARANTEE ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FURNISHED BY HIM TO BE FREE OF ALL DEFECTS OF WORKMANSHIP AND MATERIALS, AND SHALL AGREE TO REPLACE AT HIS EXPENSE, AT ANY TIME WITHIN ONE YEAR (OR AS AGREED) AFTER INSTALLATION IS ACCEPTED, ANY AND ALL DEFECTIVE PARTS THAT MAY BE FOUND.
- WHEN WORK OF THIS SECTION HAS BEEN COMPLETED AND SUCH OTHER TIMES AS MAY BE DIRECTED, REMOVE ALL TRASH, DEBRIS, SURPLUS MATERIALS AND EQUIPMENT FROM SITE.
- UNSIIZED LATERAL LINE PIPE LOCATED DOWN STREAM OF 1" PIPING SHALL BE .75" IN SIZE (TYPICAL).
- IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

.75"	0-6 GPM	1.25"	13-20 GPM
1"	7-12 GPM		



GRAHAM STEARNS QUINN
 523 WOODLAD ROAD
 KENTFIELD
 CA 94904
 T: 415.246.9004



ISSUE DATE
 SUP 2021/05/10
 JOB CODE
 JUPITER GULCH
 REVISIONS

- 1
- 2
- 3
- 4
- 5

DRAWN BY
 GQ

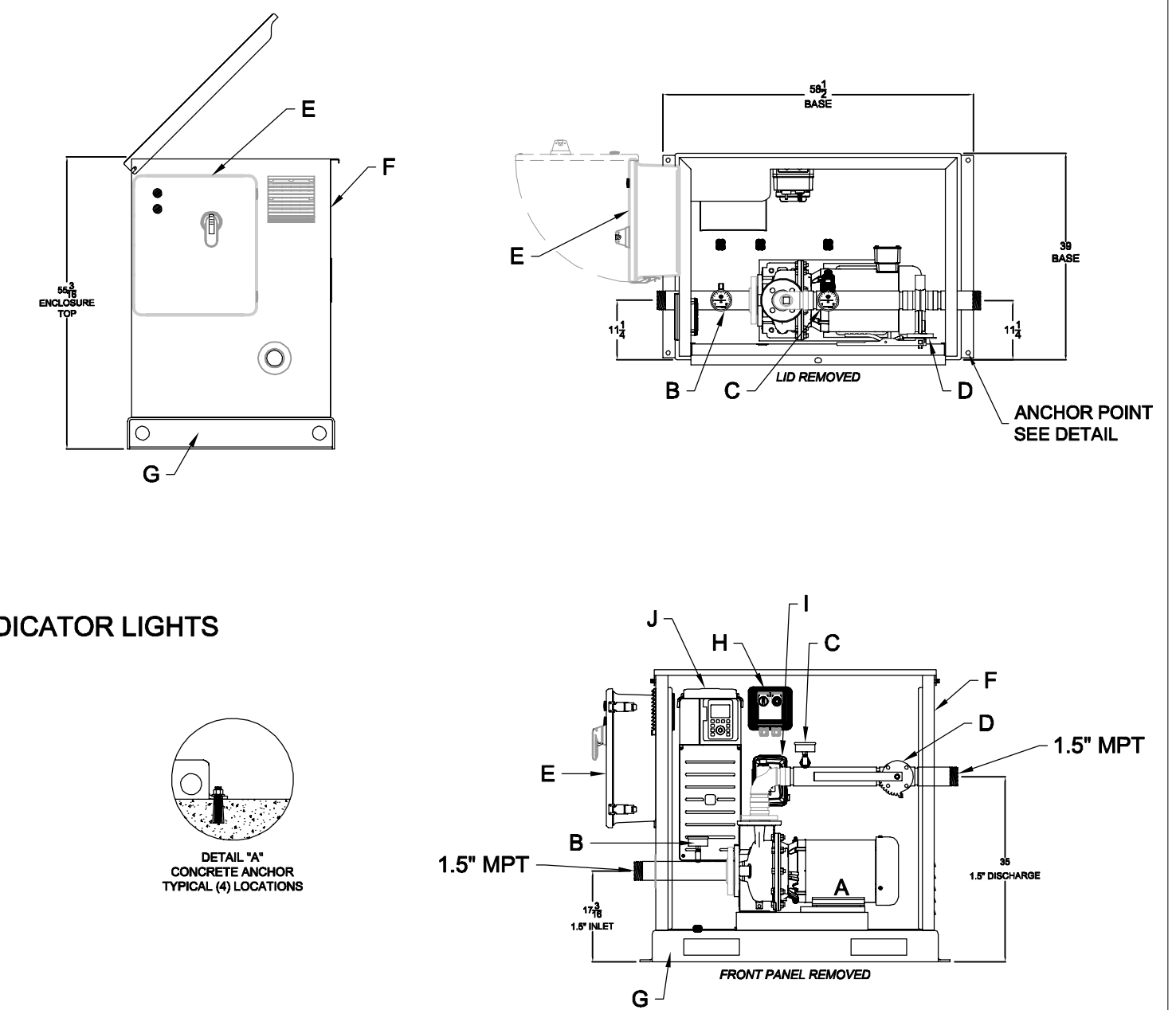
IRRIGATION
 NOTES
 AND CALCS.

L3.10

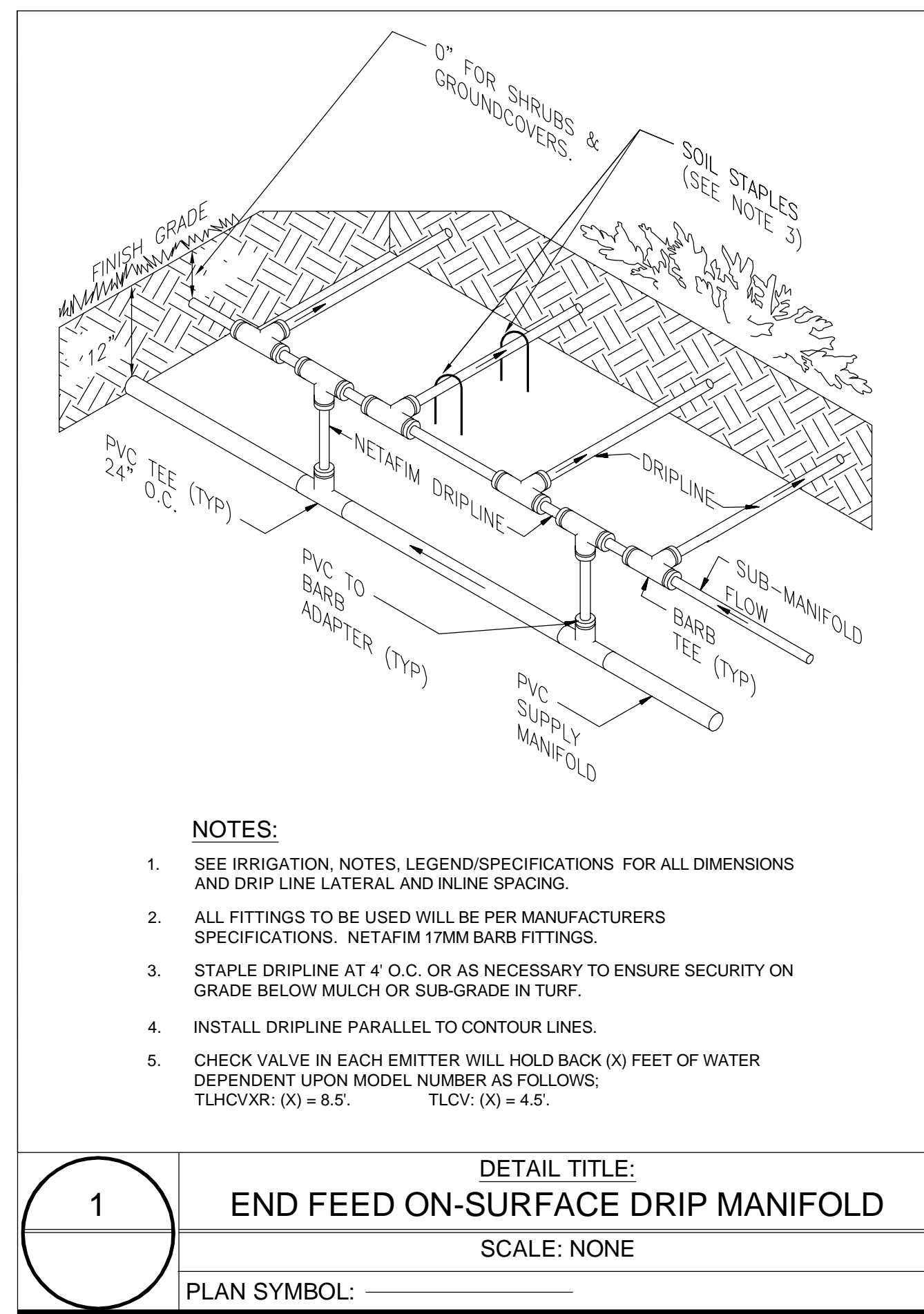
PUMP STATION SPECIFICATIONS:
NAME: 2250 BRACK ROAD RESIDENCE
STATION MODEL: WMBV-300P-5-240-1-20-55
STATION TOTAL PERFORMANCE: 20GPM @ 55PSI
PUMP HORSEPOWER:
PUMP NO.1 5HP (3600RPM)

MIN SUGGESTED CIRCUIT BREAKER: 60AMP
POWER REQUIREMENTS: 240V, 60HZ, 1PHZ, 42 FLA

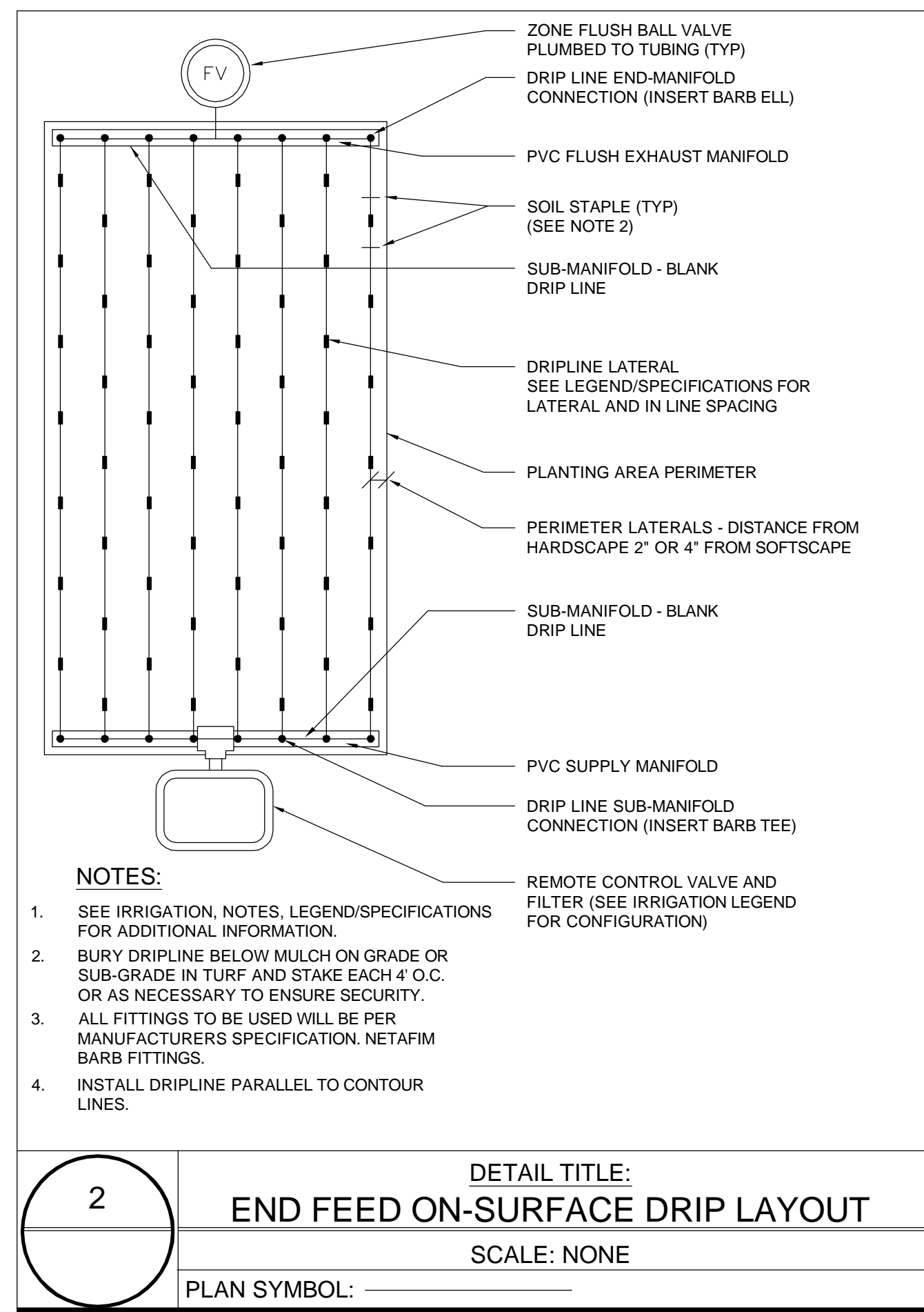
STATION COMPONENTS:
A PUMP AND MOTOR
B INLET PRESSURE / VACUUM GAUGE
C PRESSURE TRANSDUCER w/ GAUGE
D DISCHARGE ISOLATION VALVE
E HIGH VOLTAGE DISCONNECT PANEL w/ RUN AND FAULTED INDICATOR LIGHTS
F MARINE GRADE ALUMINUM ENCLOSURE (UNPAINTED)
G STAINLESS STEEL BASE (UNPAINTED)
H HOA SWITCHES FOR MANUAL AND AUTOMATIC CONTROL
I 120VAC / 4 AMP POWER OUTLET
J VARIABLE FREQUENCY DRIVE



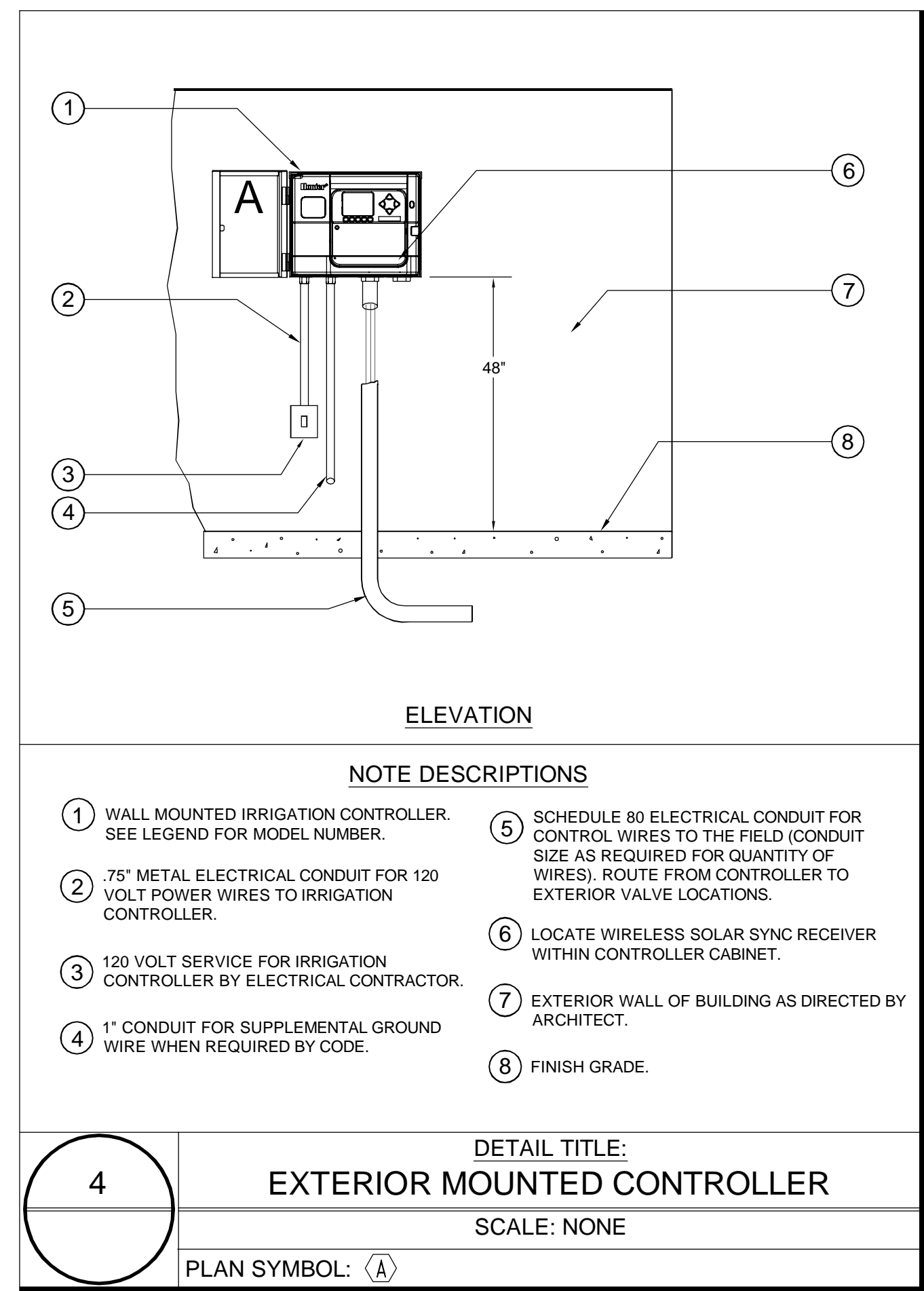
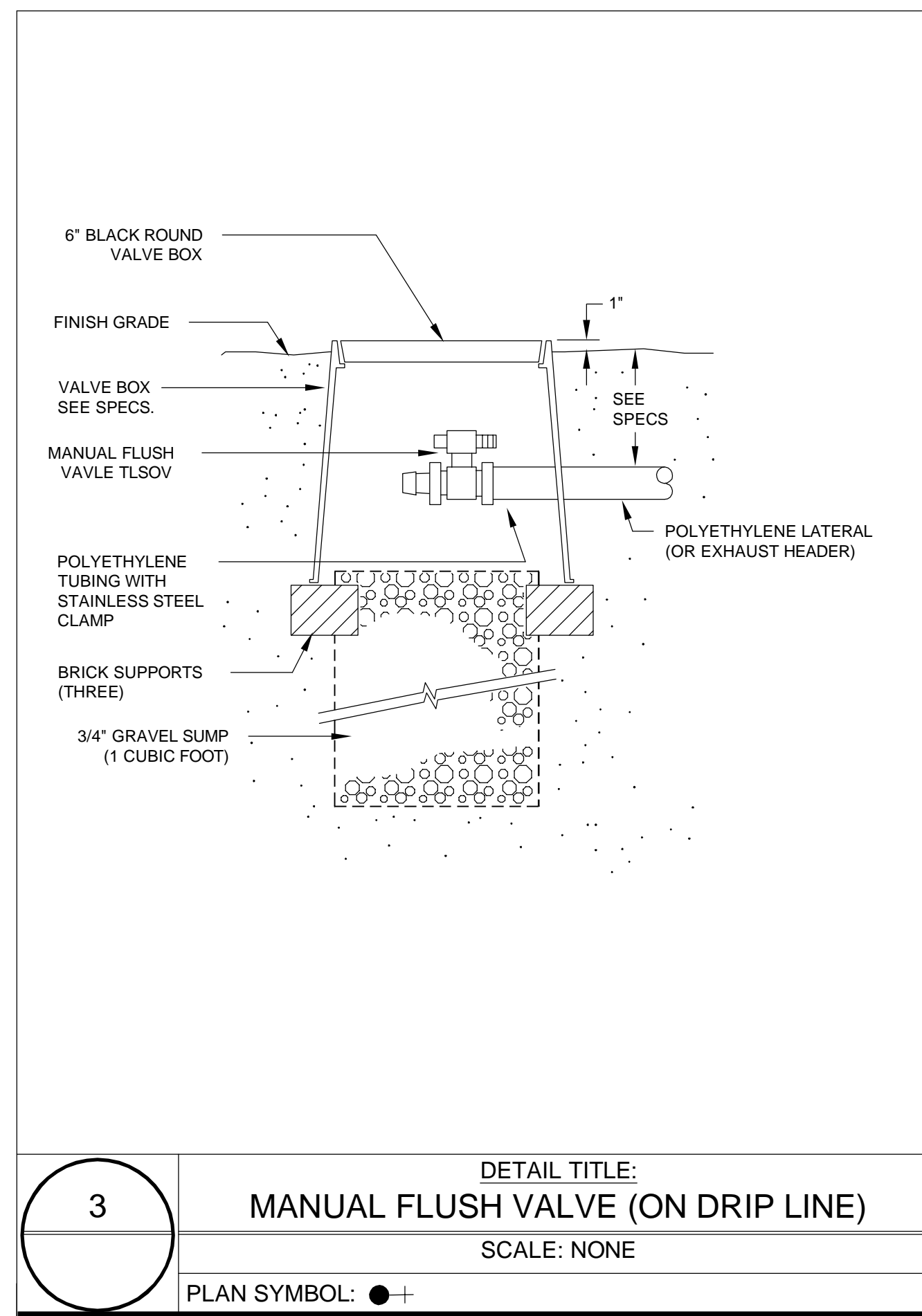
9 PUMP SPECIFICATION



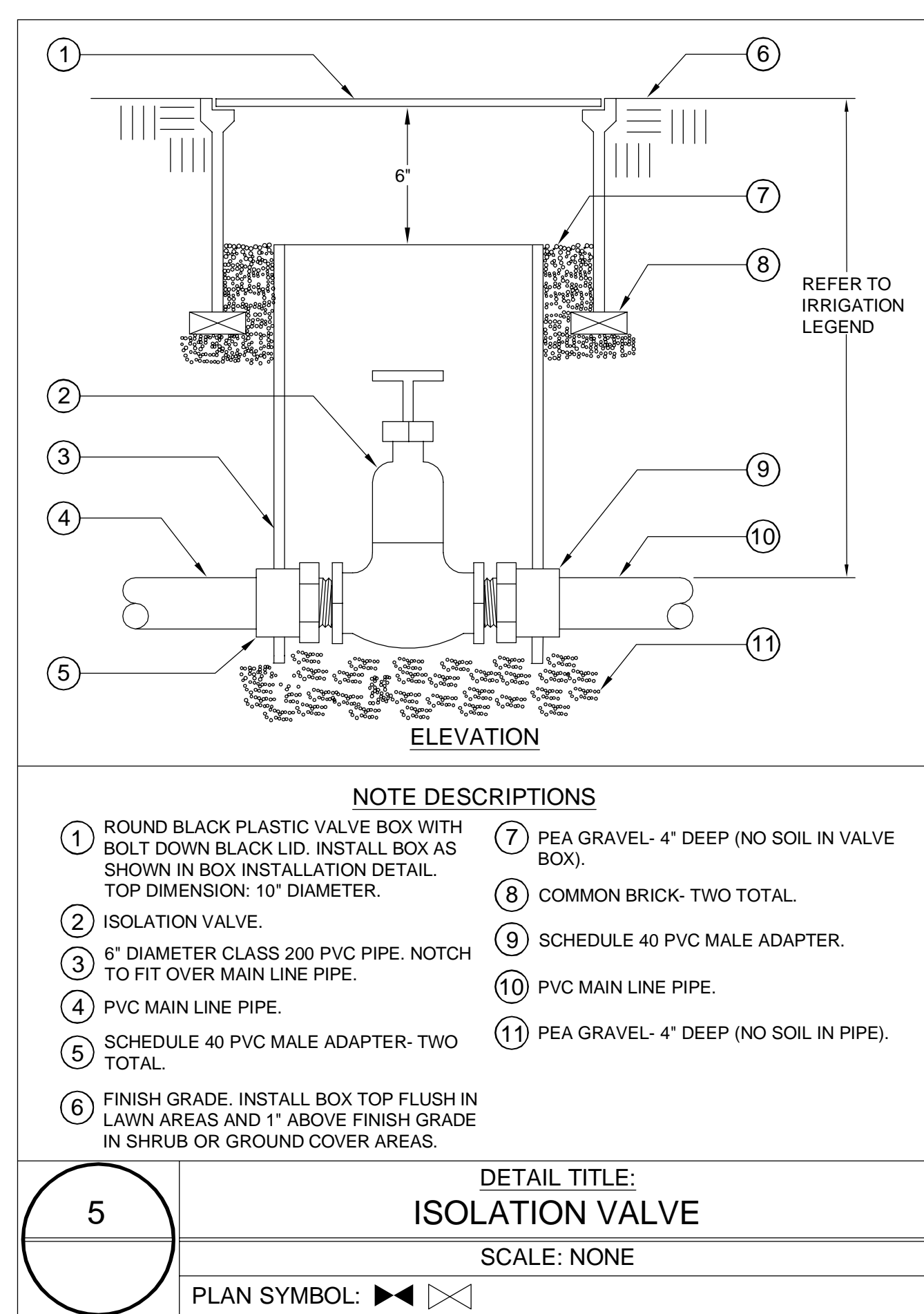
1 END FEED ON-SURFACE DRIP MANIFOLD
 SCALE: NONE
 PLAN SYMBOL: [Symbol]



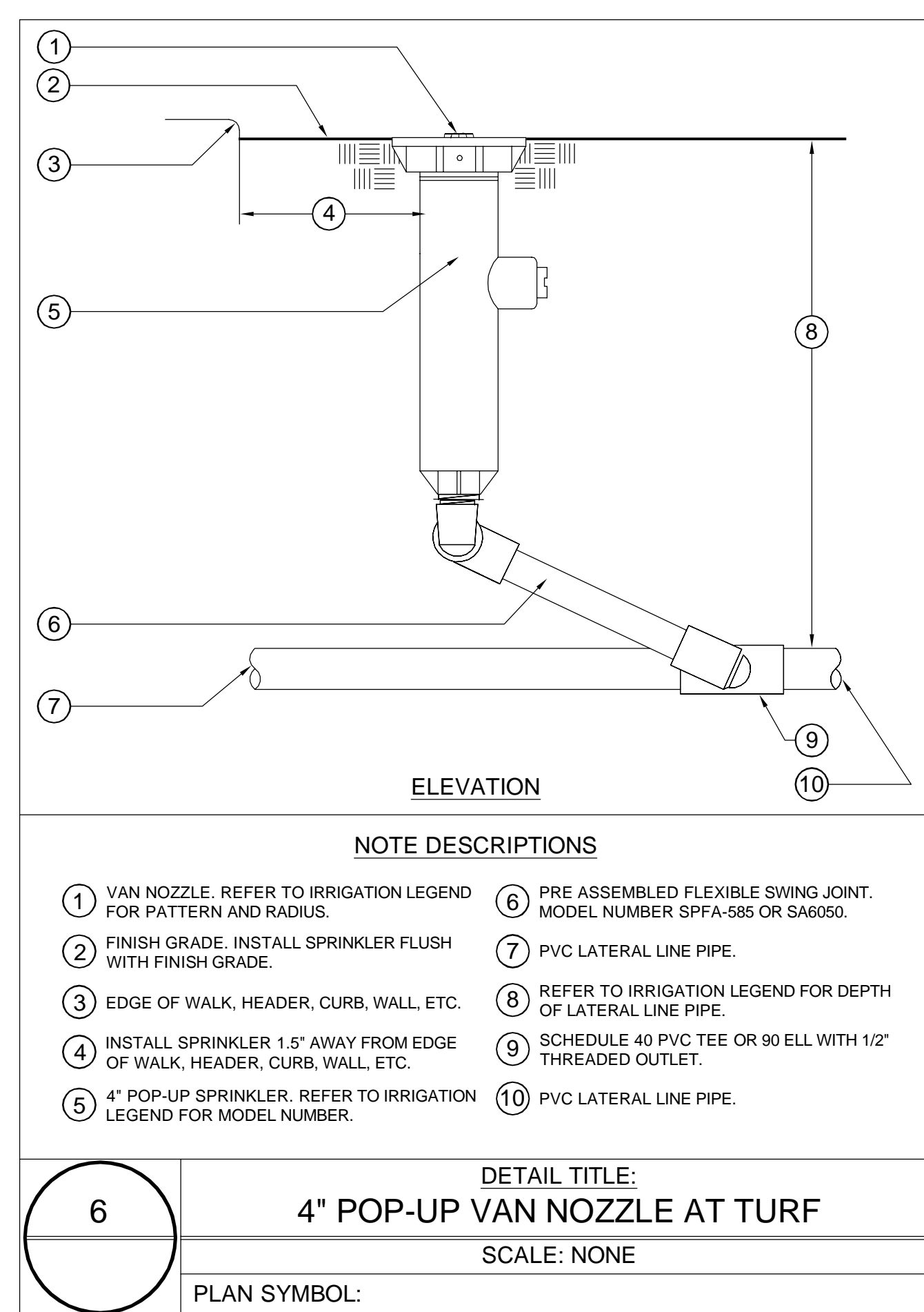
2 END FEED ON-SURFACE DRIP LAYOUT
 SCALE: NONE
 PLAN SYMBOL: [Symbol]



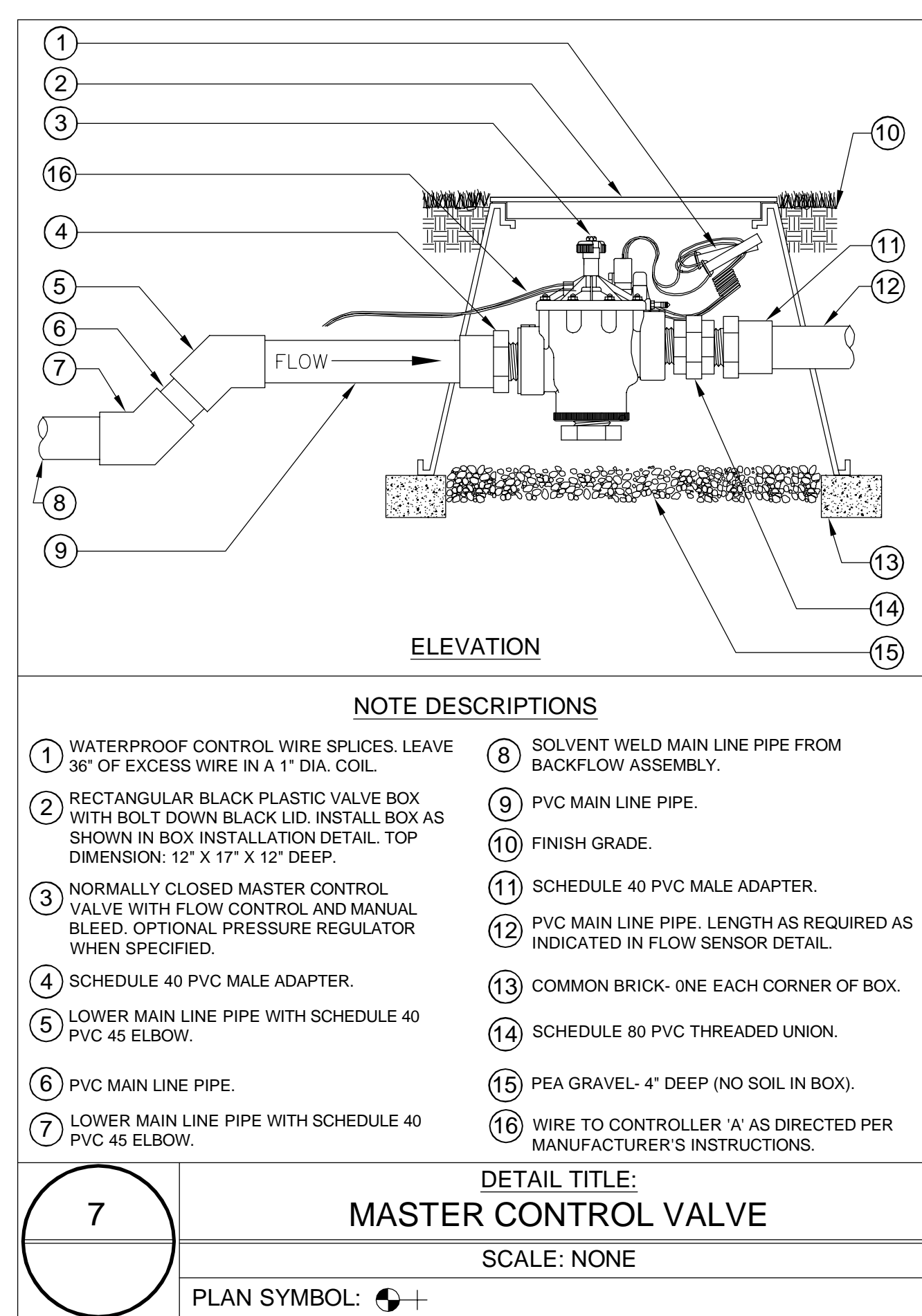
4 EXTERIOR MOUNTED CONTROLLER
 SCALE: NONE
 PLAN SYMBOL: [Symbol]



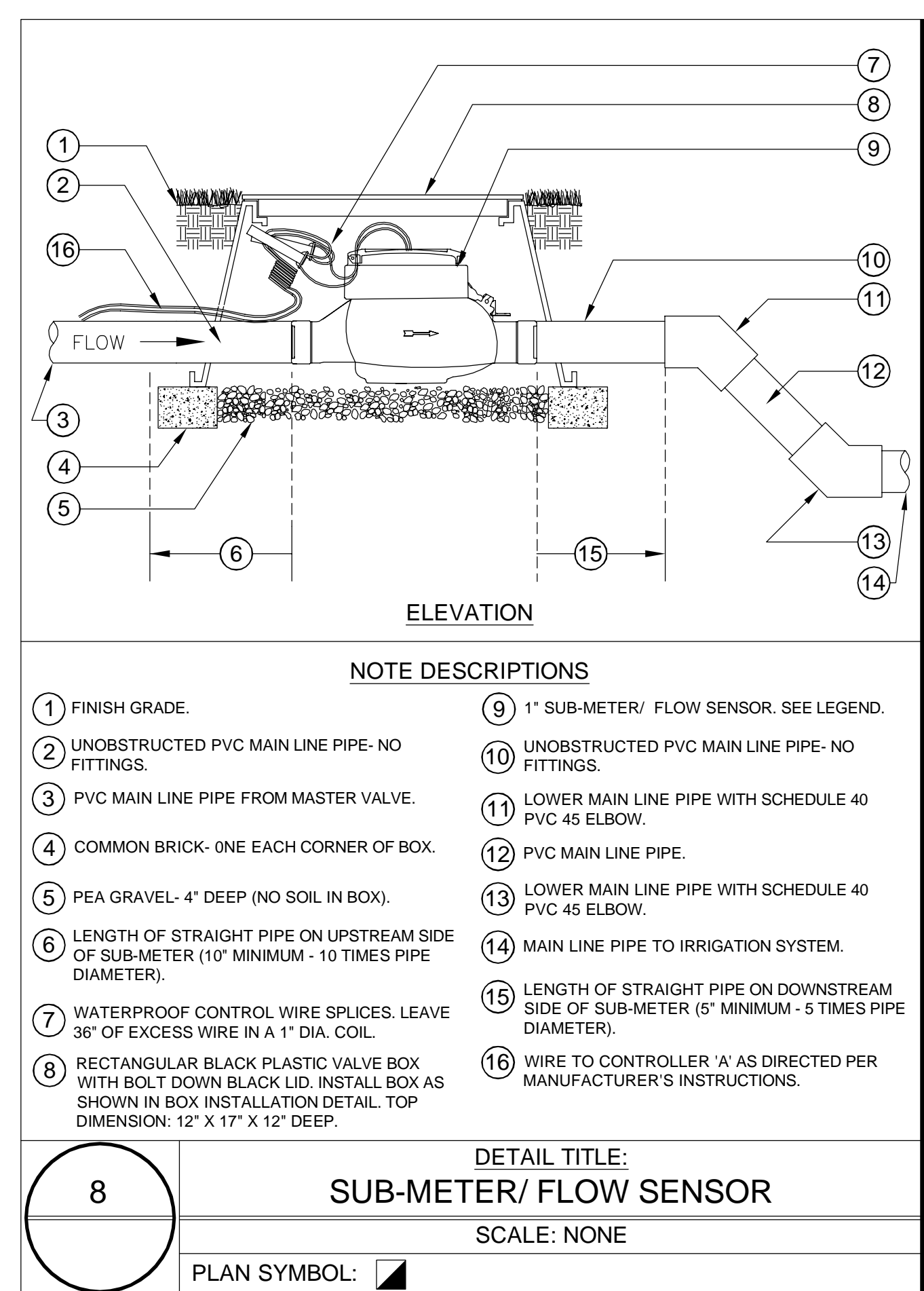
5 ISOLATION VALVE
 SCALE: NONE
 PLAN SYMBOL: [Symbol]



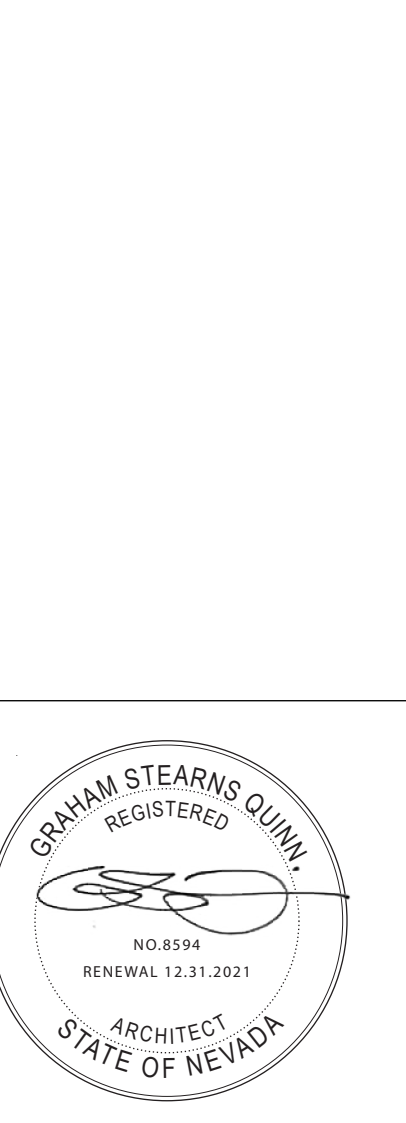
6 4" POP-UP VAN NOZZLE AT TURF
 SCALE: NONE
 PLAN SYMBOL: [Symbol]



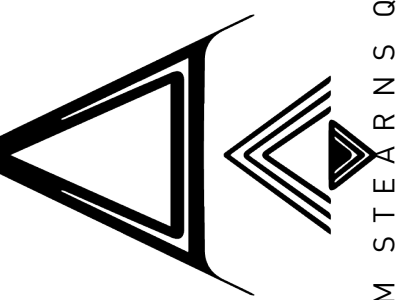
7 MASTER CONTROL VALVE
 SCALE: NONE
 PLAN SYMBOL: [Symbol]



8 SUB-METER/ FLOW SENSOR
 SCALE: NONE
 PLAN SYMBOL: [Symbol]

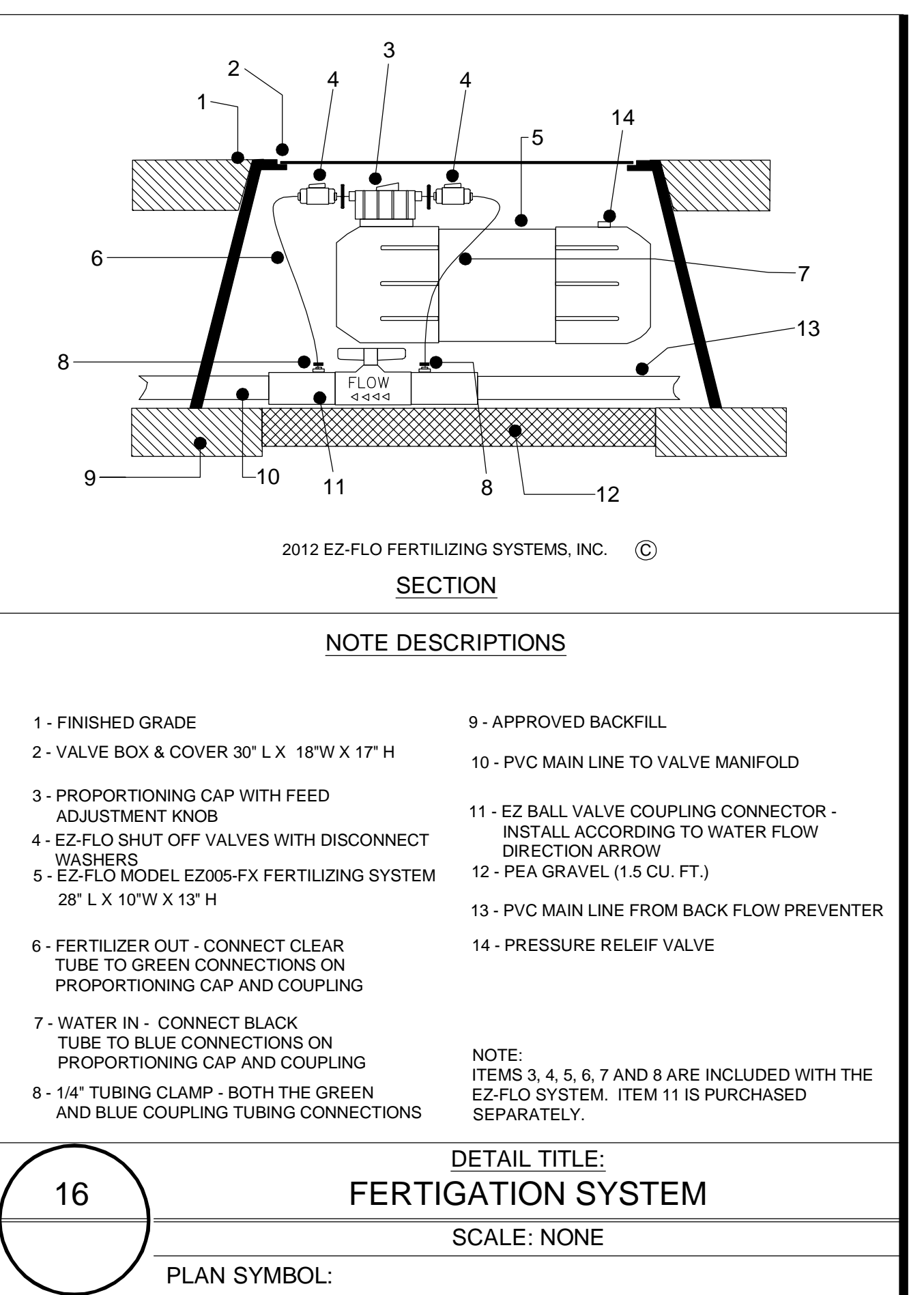
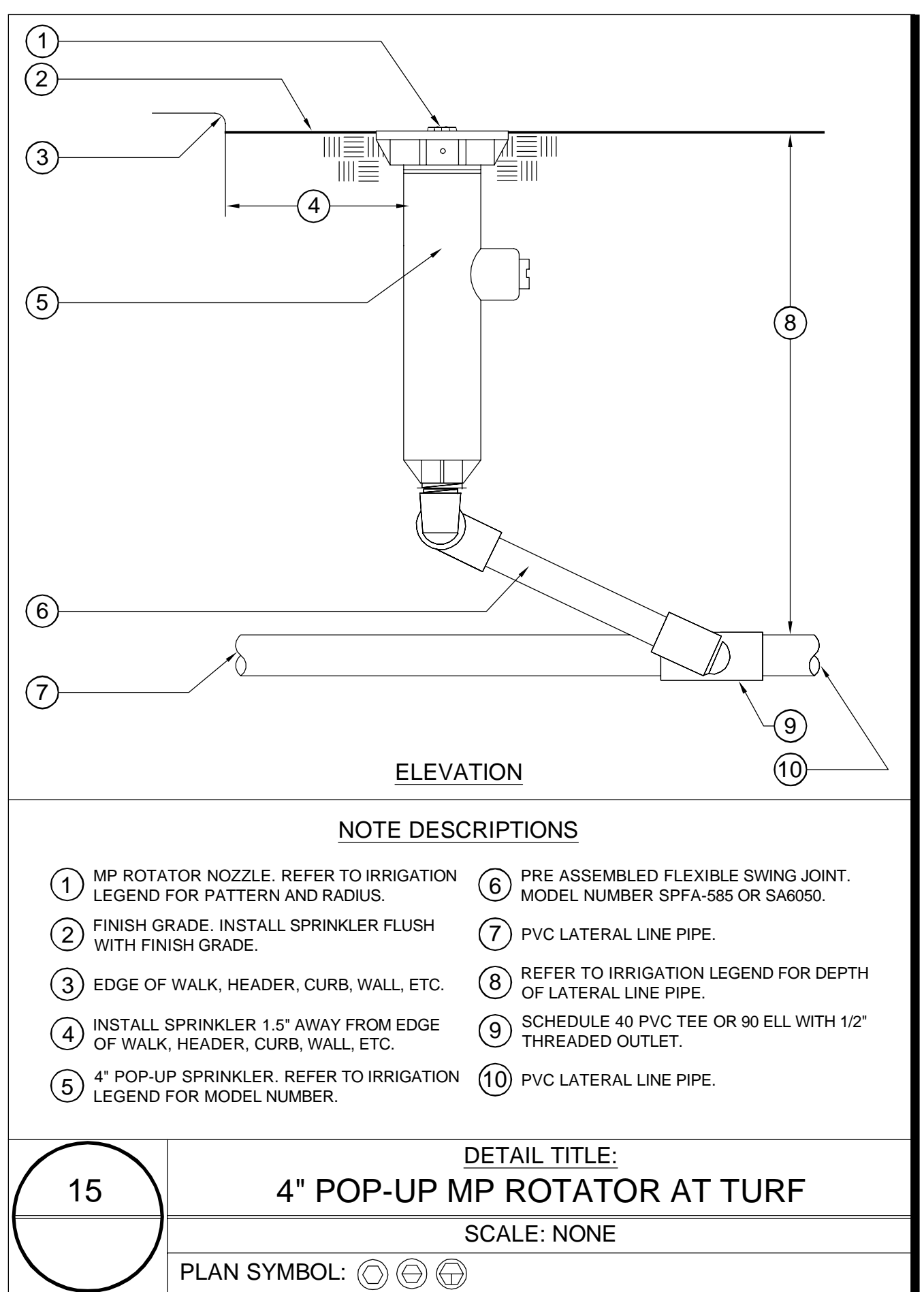
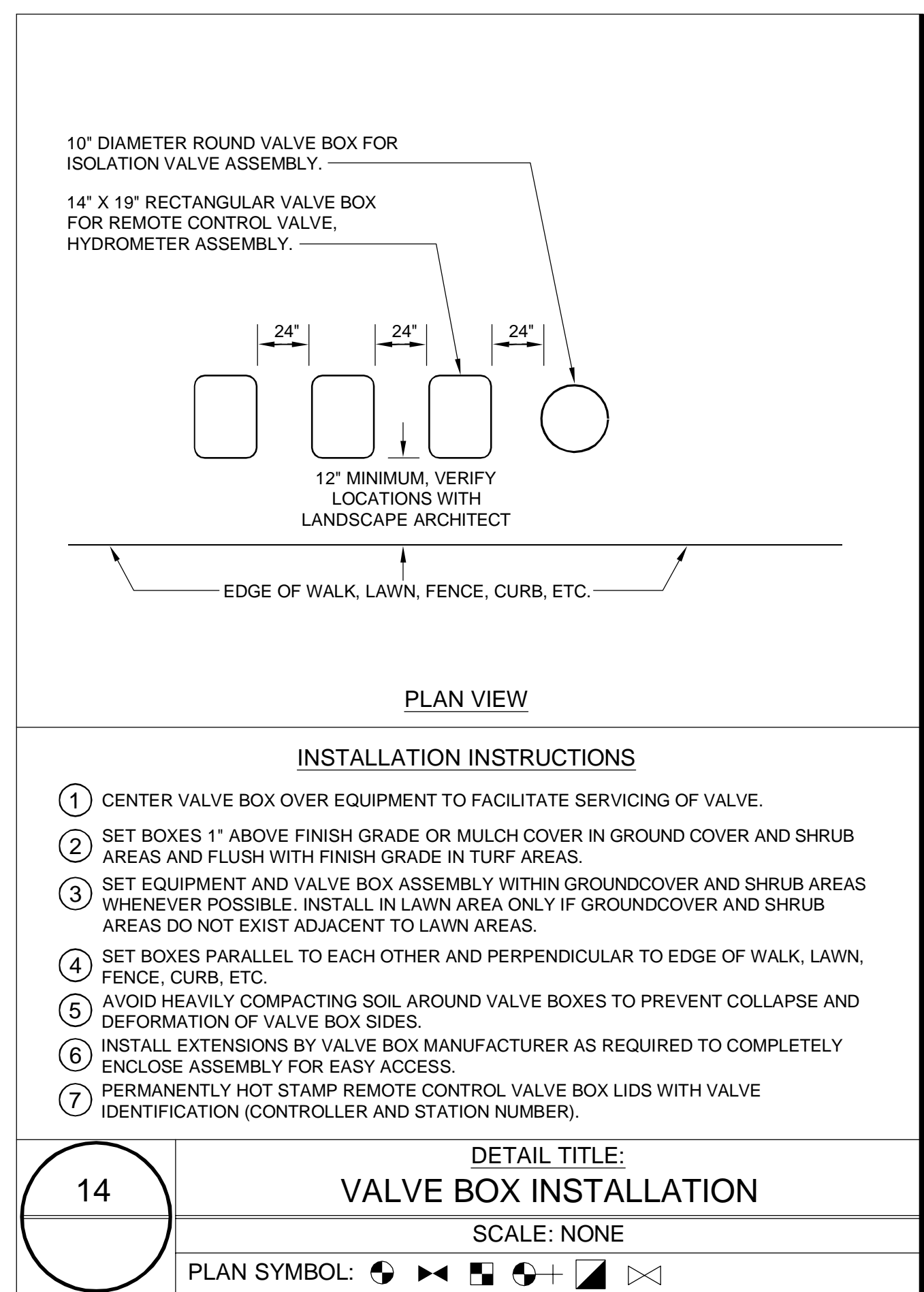
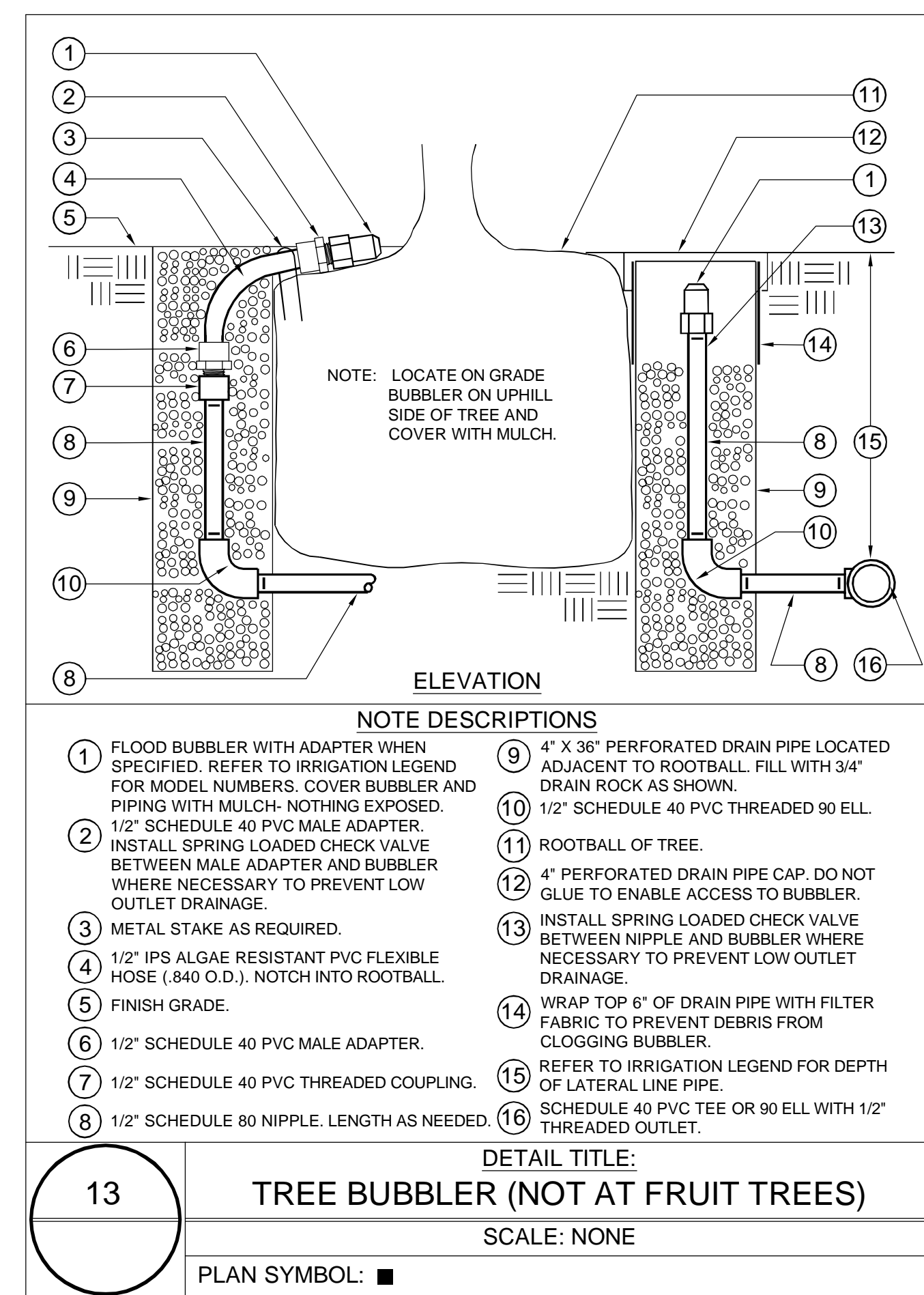
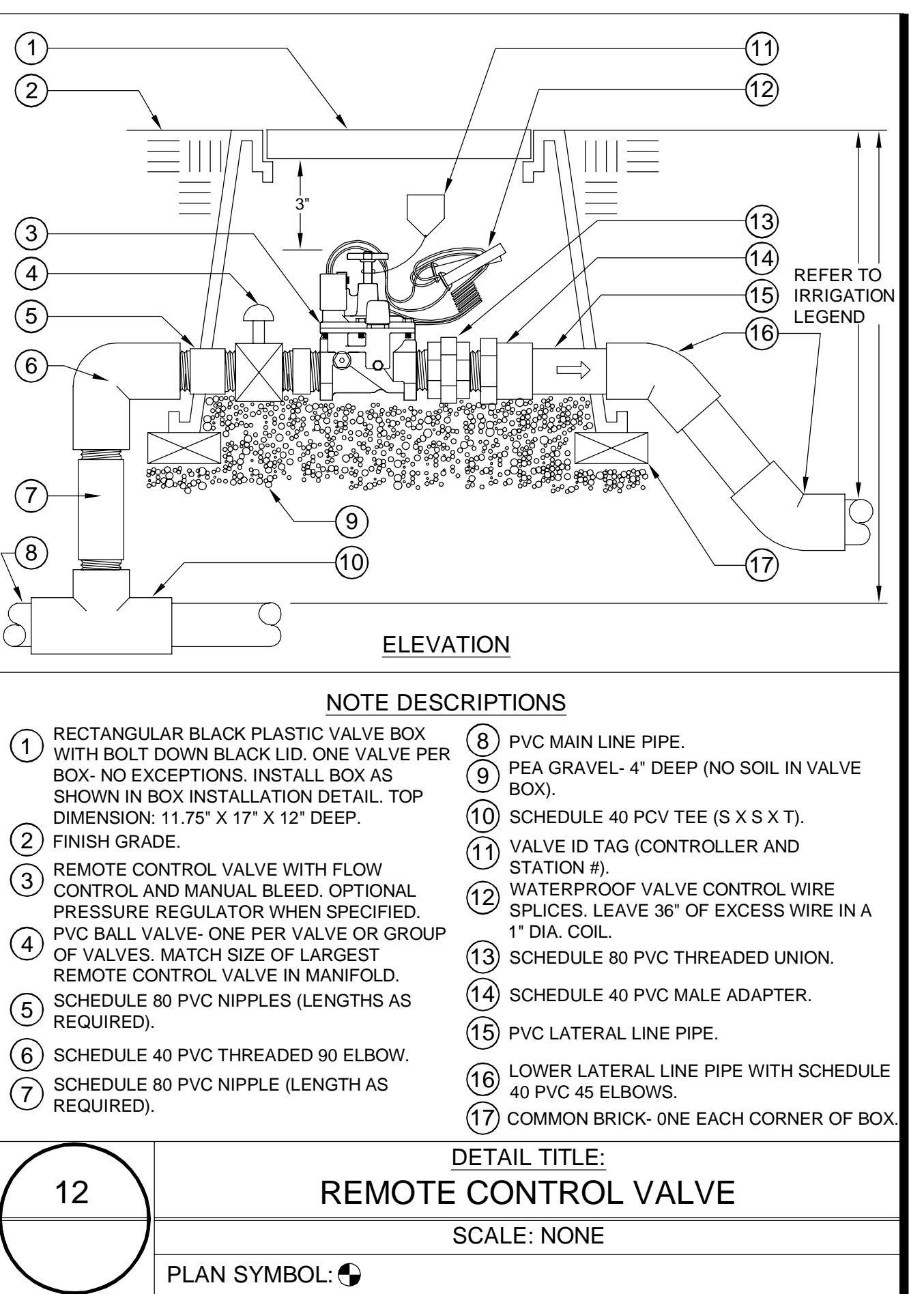
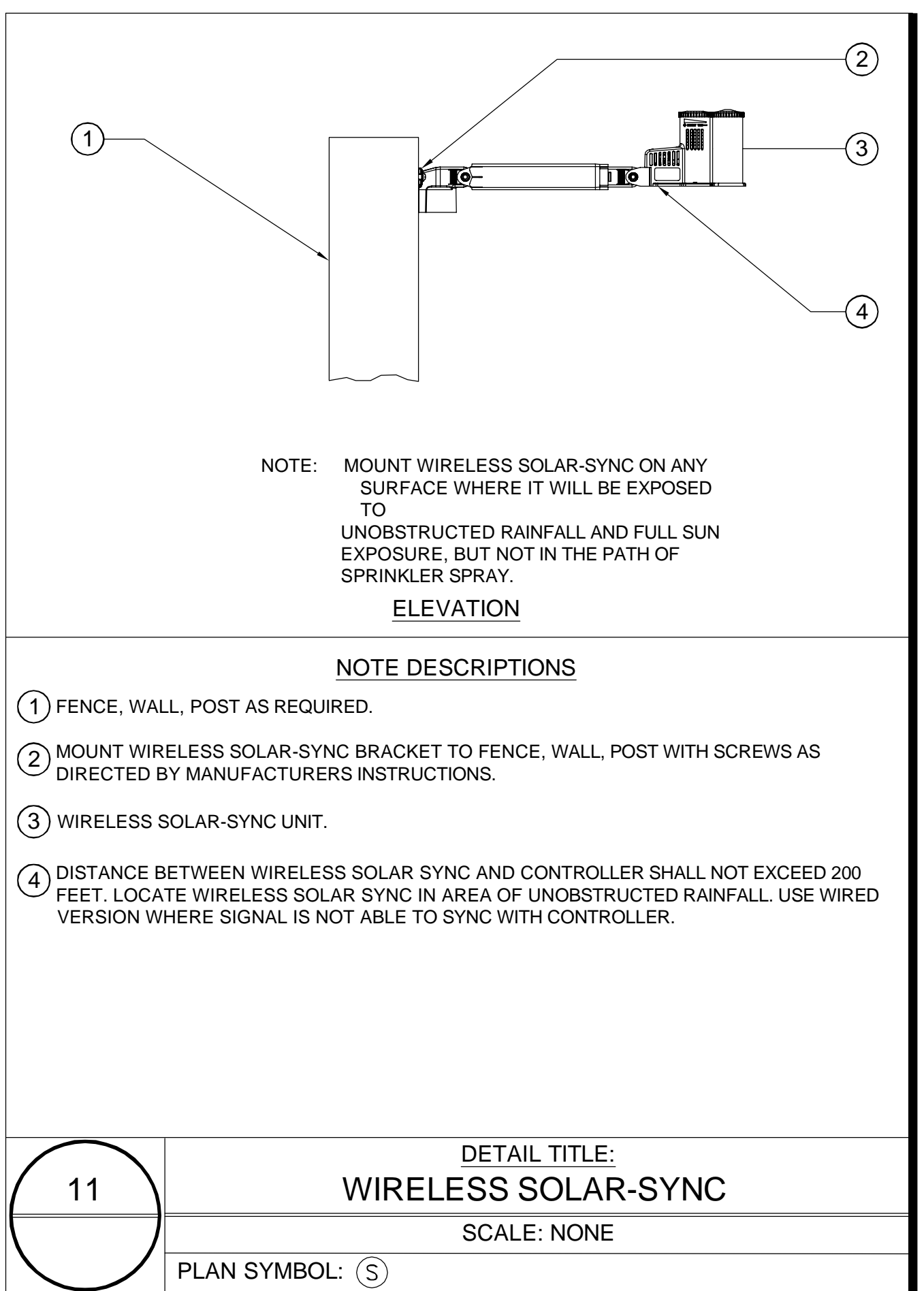
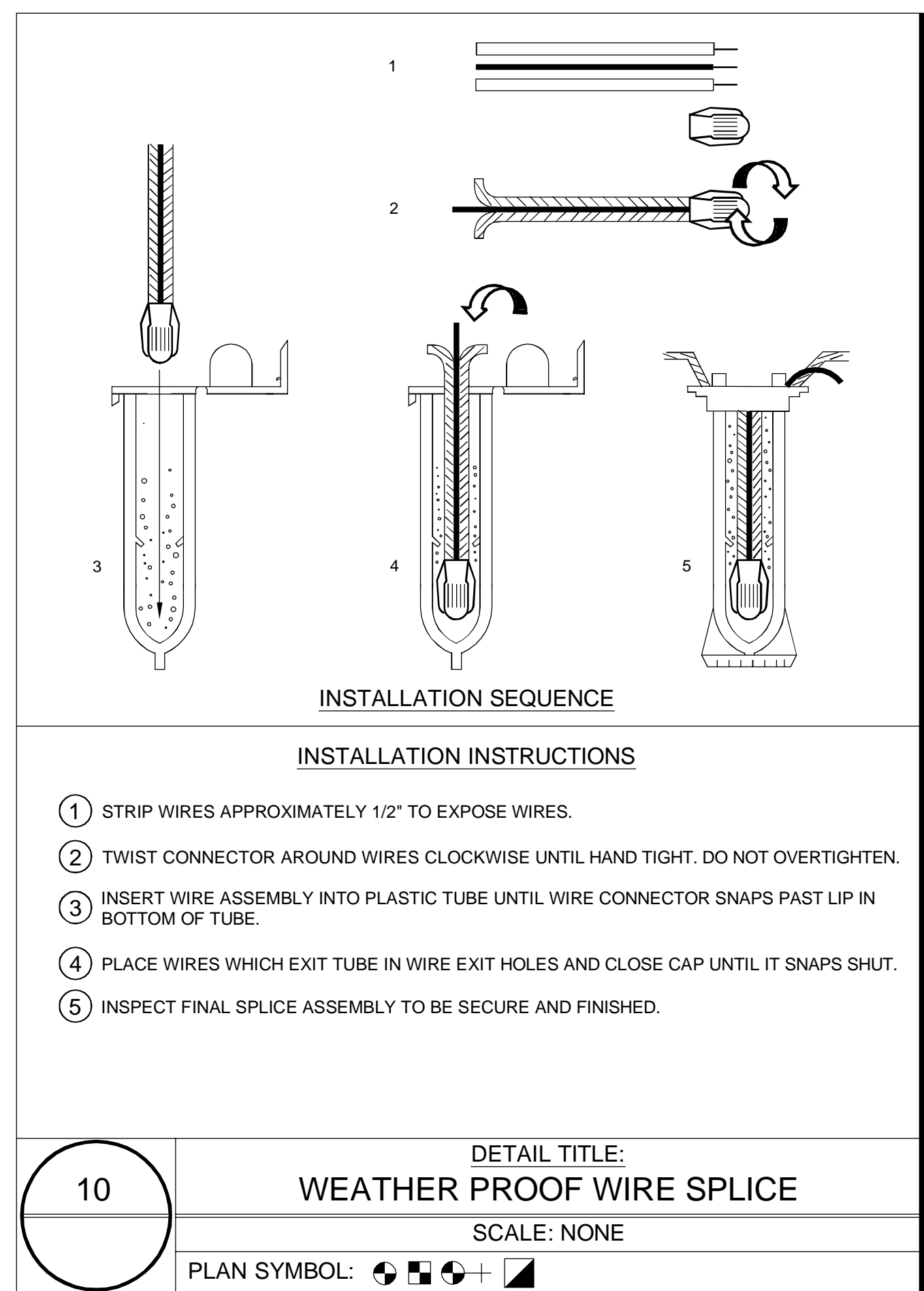
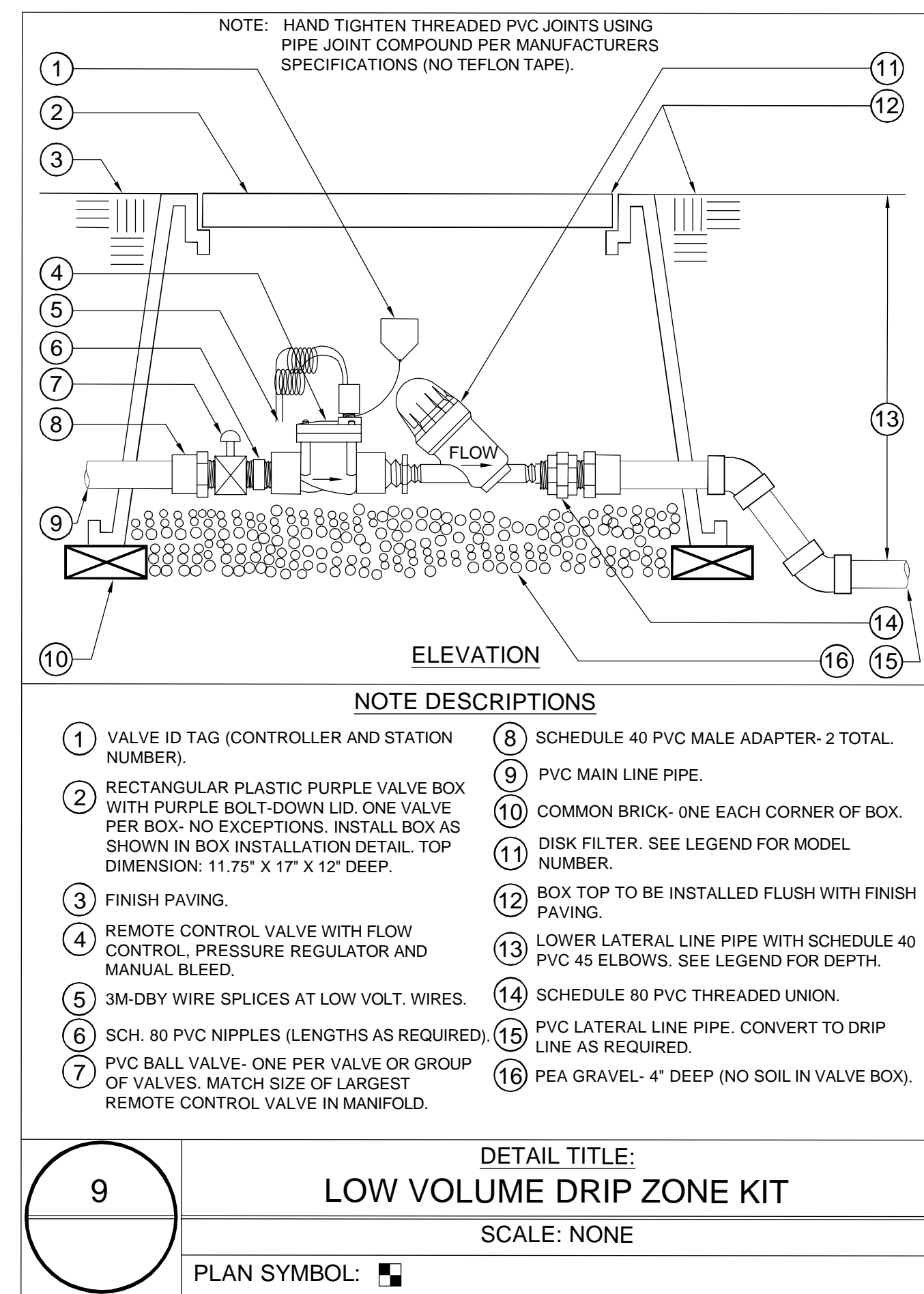
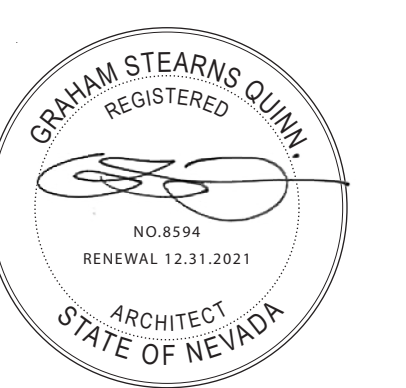


ISSUE	DATE
SUP	2021/05/10
JOB CODE	JUPITER GULCH
REVISIONS	
1	
2	
3	
4	
5	



GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94904

T: 415.246.9104



ISSUE	DATE
SUP	2021/05/10
JOB CODE	JUPITER GULCH
REVISIONS	
1	
2	
3	
4	
5	

DRAWN BY
GQ

IRRIGATION
DETAILS

L3.12



EXTERIOR MATERIALS SELECTED TO COMPLIMENT THE SITE'S NATURAL SURROUNDINGS

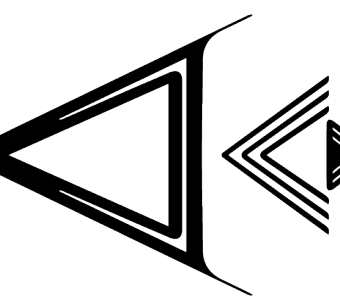
BUILDING FINISH MATERIALS--SEE EXTERIOR ELEVATIONS FOR LOCATIONS

- F1 SMOOTH TROWEL CEMENT PLASTER
 F2 GROUND FACE CONCRETE MASONRY BLOCK
 F3 GALVANIZED METAL
 F4 F7 ALASKAN YELLOW CEDAR
 F8 CAST IN PLACE COLORED CONCRETE

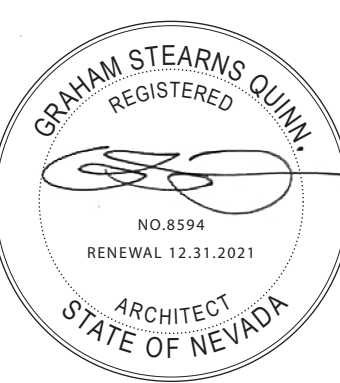


SITWORK FINISH MATERIALS--SEE SITE PLAN AND LANDSCAPE PLAN FOR LOCATIONS

- 3" X18" BUSH HAMMERED GRANITE PAVER/ COBBLE
 CAST IN PLACE CONCRETE- LIGHT SANDBLAST FINISH
 "TRINITY" OR EQUIVALENT 1/4" - 3/8" GRAVEL CHIP
 2X ALASKAN YELLOW CEDAR DECKING
 ROCKERY WALLS AND FIELD BOULDERS



GRAHAM STEARNS QUINN
 523 WOODLAD ROAD
 KENTFIELD
 CA 94904
 T: 415.246.9104



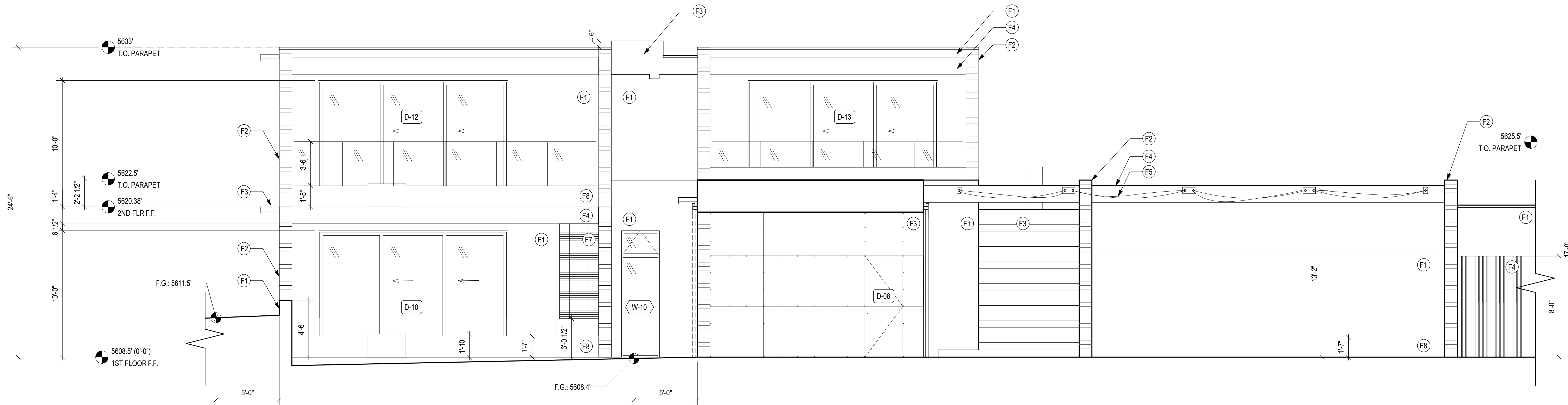
125 BORON LANE
 RENO, NV 89508
 APN# 079-430-11

ISSUE	DATE
SUP	2021/05/10
JOB CODE	21_BORON
REVISIONS	

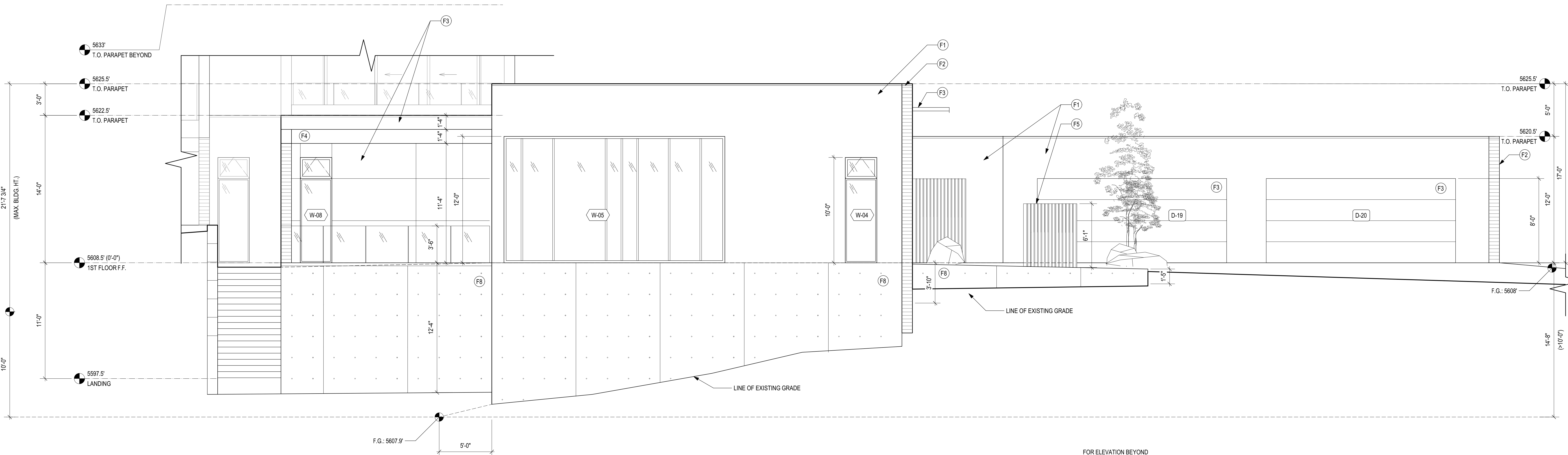
DRAWN BY
GQ

MATERIALS
LEGEND

A3.00

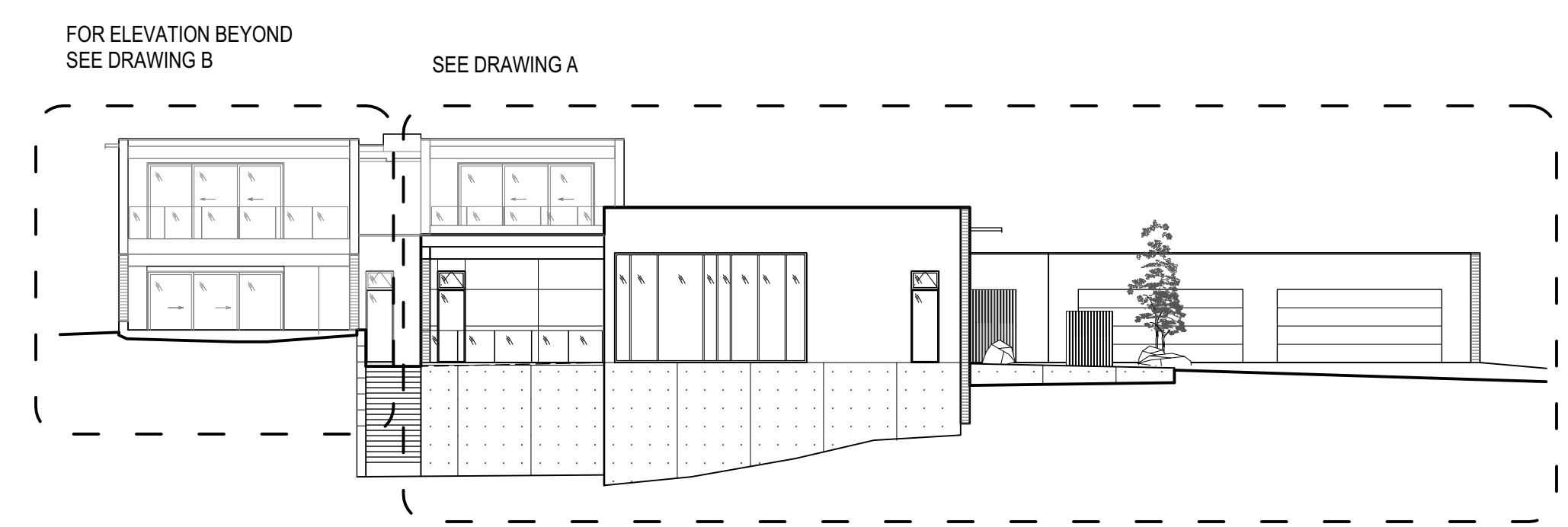


B NORTH ELEVATION - BREEZEWAY
Scale: 1/4" = 1'-0"



A NORTH ELEVATION
Scale: 1/4" = 1'-0"

1 OVERALL NORTH ELEVATION
Scale: 1/16" = 1'-0"

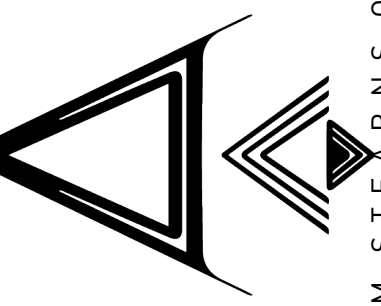


GENERAL NOTES

1. FRAMING MEMBERS SHOWN FOR REFERENCE ONLY. S.S.D.
2. S.C.D. FOR PROPOSED FIN. GRADES AND TOP OF WALL ELEVATIONS
3. ALL SHEET METAL FLASHINGS, INCLUDING PLUMBING AND MECHANICAL PENETRATION FLANGES, TO BE SET IN SEALANT AND FLASHED INTO WATERPROOFING ASSEMBLY. SEE NOTES ON PLAN AND WINDOW SCHEDULE EGRESS, RESTRICTORS, AND SAFETY GLASS.
4. SEE ENERGY REPORT FOR INSULATION & VALUES
5. SEE ENERGY REPORT FOR INSULATION & VALUES
6. ALL WOOD MEMBERS TO BE A MIN 2"x6" (NOMINAL).
7. ALL GLAZING TO BE TEMPERED SAFETY GLASS.
8. SEE ROOF PLAN FOR LOW SLOPE ROOF DRAINAGE.
9. ALL SCREEN AND GUARDS TO BE ENGINEERED FOR A 200 LB. PT LOAD AT ANY POINT ALONG THE SCREEN/ GUARD. SEE SCREEN AND GUARD DETAILS.
10. ALL WOOD IN DIRECT CONTACT W/ CONCRETE TO BE PRESSURE TREATED (P.T).
11. ALL NEW OR REPLACEMENT GLAZING TO MEET WILDFIRE EXPOSURE REQUIREMENTS AND CONFORM TO SFM 12-7A-2 Q.
12. AREAS OF NEW EXTERIOR WALL COVERING TO BE 1 HR. FIRE RATED.
13. AREAS OF NEW ROOFING TO MEET CLASS A ROOF REQUIREMENTS.
14. WINDOWS TO PROVIDE NATURAL LIGHT OF 8% OF FLOOR AREA.
15. WINDOWS TO PROVIDE NATURAL VENTILATION OF 4% OF FLOOR AREA.
16. ALL EGRESS WINDOWS TO HAVE WINDOW SILLS WITHIN 4" OF GRADE (OR FIN. DECK) AND TO ALLOW FOR A MINIMUM NET CLEAR OPENABLE AREA OF 5 SF.
17. ALL EXTERIOR LANDINGS SHALL NOT BE MORE THAN 7.75' LOWER THAN THE DOORS' THRESHOLD.
18. ALL GLAZING SHALL BE TEMPERED SAFETY GLASS.
19. SEE LANDSCAPE DRAWINGS AND SITE PLAN FOR NEW AND EXISTING PLANTINGS.

FINISH MATERIAL IDENTIFICATION LEGEND:

- (F1) SMOOTH TROWEL CEMENT PLASTER
- (F2) CONCRETE MASONRY UNIT 4" X 16"
- (F3) GALVANIZED STEEL
- (F4) ALASKAN YELLOW CEDAR
- (F5) FABRIC SOLAR SHADE CANOPY
- (F6) CAST GLASS BLOCK
- (F7) ALASKAN YELLOW CEDAR SIDING
- (F8) C.I.P. COLORED CONCRETE



GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94704
T: 415.246.9104



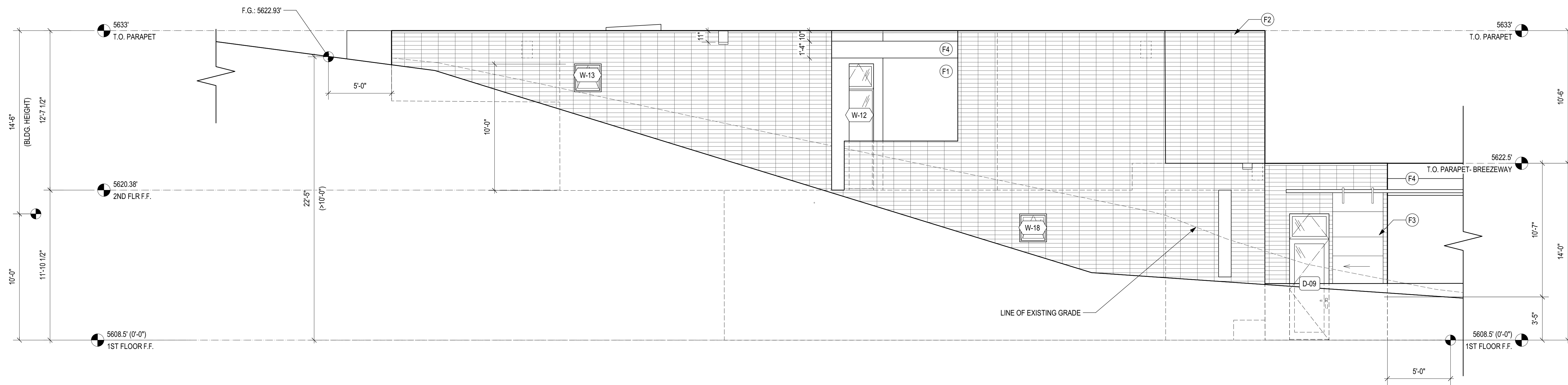
125 BORON LANE
RENO, NV 89508
APN# 079-430-11

ISSUE	DATE
SUP	2021/05/10
JOB CODE	21_BORON
REVISIONS	

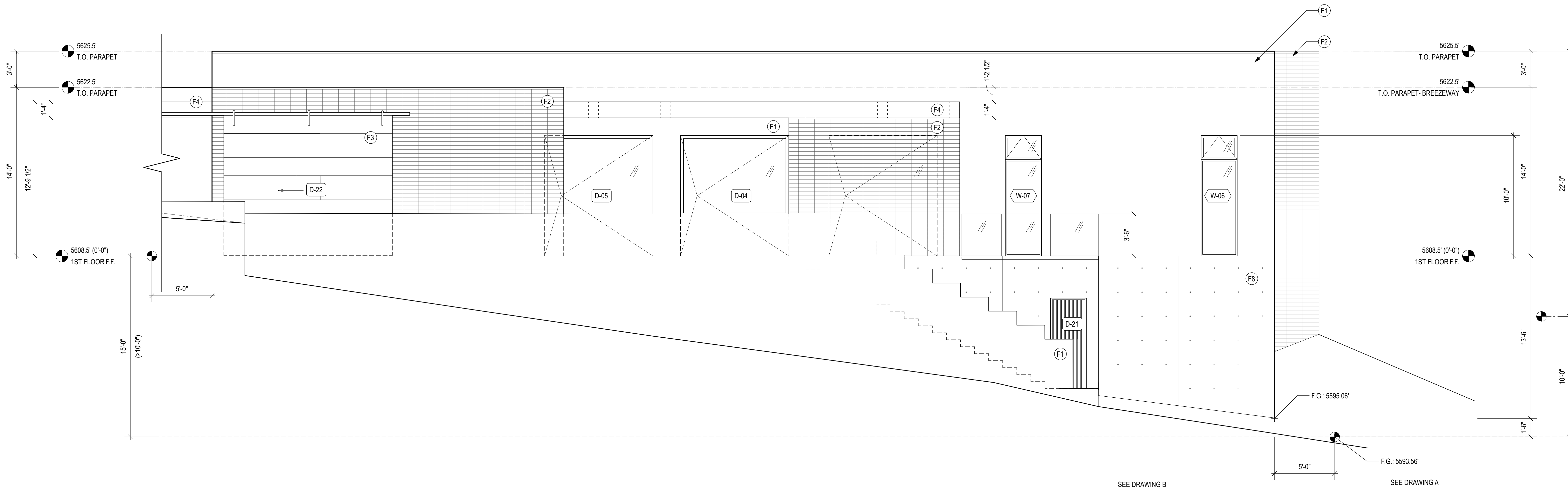
DRAWN BY
GO

EXTERIOR
ELEVATION-
NORTH

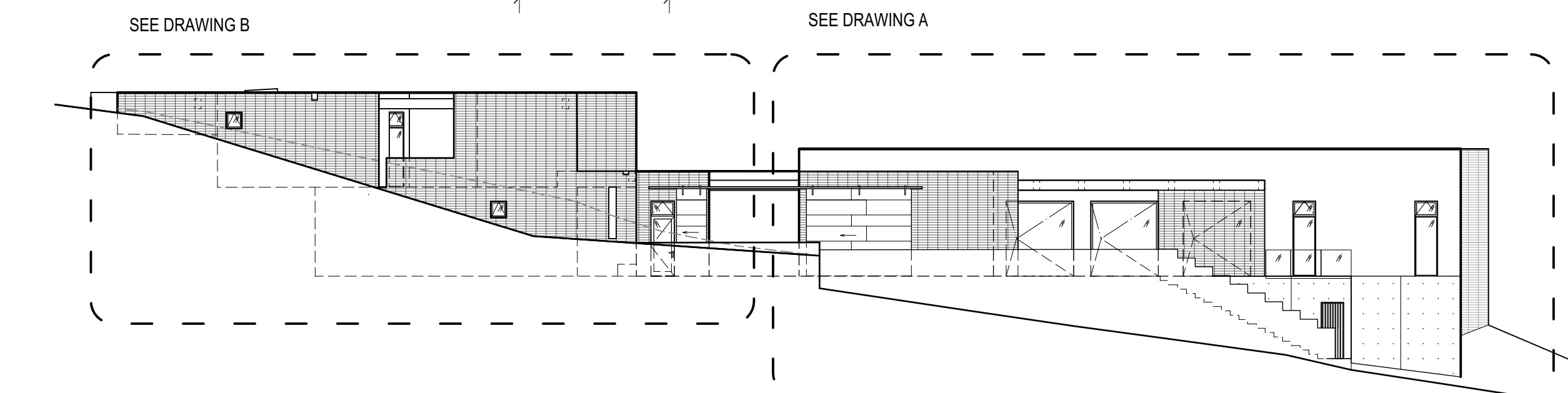
A3.01



B EAST ELEVATION- SOUTH
Scale: 1/4" = 1'-0"



A EAST ELEVATION- NORTH
Scale: 1/4" = 1'-0"



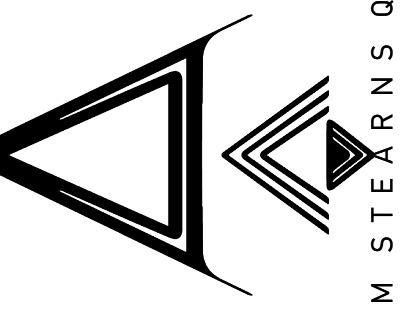
1 OVERALL EAST ELEVATION
Scale: 1/16" = 1'-0"

GENERAL NOTES

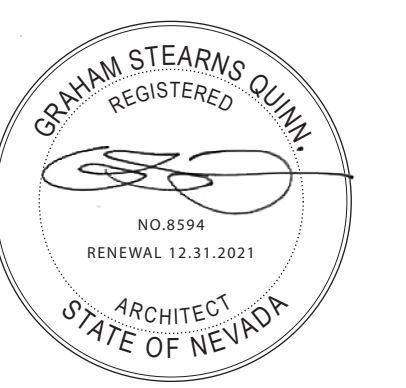
- FRAMING MEMBERS SHOWN FOR REFERENCE ONLY. S.S.D.
- S.C.D. FOR PROPOSED FIN. GRADES AND TOP OF WALL ELEVATIONS
- ALL SHEET METAL FLASHINGS, INCLUDING PLUMBING AND MECHANICAL PENETRATION FLASHINGS, TO BE SET IN SEALANT AND FLASHED INTO WATERPROOFING ASSEMBLY. SEE NOTES ON PLAN AND WINDOW SCHEDULE EGRESS, RESTRICTORS, AND SAFETY GLASS.
- SEE ENERGY REPORT FOR INSULATION & VALUES
- ALL WOOD MEMBERS TO BE A MIN 2"x6" (NOMINAL).
- ALL GLAZING TO BE TEMPERED SAFETY GLASS.
- SEE ROOF PLAN FOR LOW SLOPE ROOF DRAINAGE
- ALL SCREEN AND GUARDS TO BE ENGINEERED FOR A 200 LB. PT LOAD AT ANY POINT ALONG THE SCREEN/ GUARD. SEE SCREEN AND GUARD DETAILS.
- ALL WOOD IN DIRECT CONTACT W/ CONCRETE TO BE PRESSURE TREATED (P.T.)
- ALL NEW OR REPLACEMENT GLAZING TO MEET WILDFIRE EXPOSURE REQUIREMENTS AND CONFORM TO SFM 12-7A-2 Q.
- AREAS OF NEW EXTERIOR WALL COVERING TO BE 1 HR. FIRE RATED.
- AREAS OF NEW ROOFING TO MEET CLASS A ROOF REQUIREMENTS.
- WINDOWS TO PROVIDE NATURAL LIGHT OF 8% OF FLOOR AREA.
- WINDOWS TO PROVIDE NATURAL VENTILATION OF 4% OF FLOOR AREA.
- ALL EGRESS WINDOWS TO HAVE WINDOW SILLS WITHIN 4" OF GRADE (OR FIN. DECK) AND TO ALLOW FOR A MINIMUM NET CLEAR OPENABLE AREA OF 5 SF.
- ALL EXTERIOR LANDINGS SHALL NOT BE MORE THAN 7.75' LOWER THAN THE DOOR'S THRESHOLD.
- ALL GLAZING SHALL BE TEMPERED SAFETY GLASS.
- SEE LANDSCAPE DRAWINGS AND SITE PLAN FOR NEW AND EXISTING PLANTINGS.

FINISH MATERIAL IDENTIFICATION LEGEND:

- (F1) SMOOTH TROWEL CEMENT PLASTER
- (F2) CONCRETE MASONRY UNIT 4" X 16"
- (F3) GALVANIZED STEEL
- (F4) ALASKAN YELLOW CEDAR
- (F5) FABRIC SOLAR SHADE CANOPY
- (F6) CAST GLASS BLOCK
- (F7) ALASKAN YELLOW CEDAR SIDING
- (F8) C.I.P. COLORED CONCRETE



GRAHAM STEARNS QUINN
523 WOODLAD ROAD
KENTFIELD
CA 94704
T: 415.246.9104



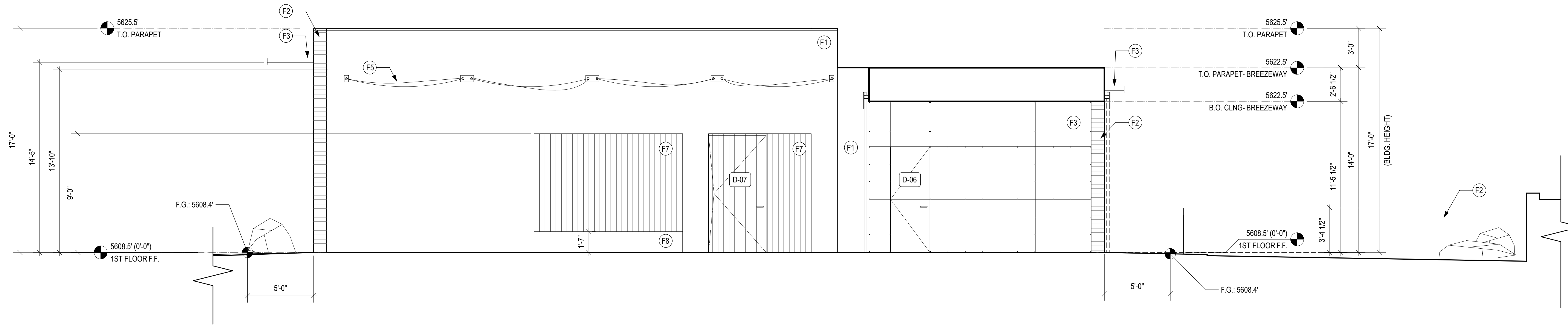
125 BORON LANE
RENO, NV 89508
APN# 079-430-11

ISSUE	DATE
SUP	2021/05/10
JOB CODE	21_BORON
REVISIONS	

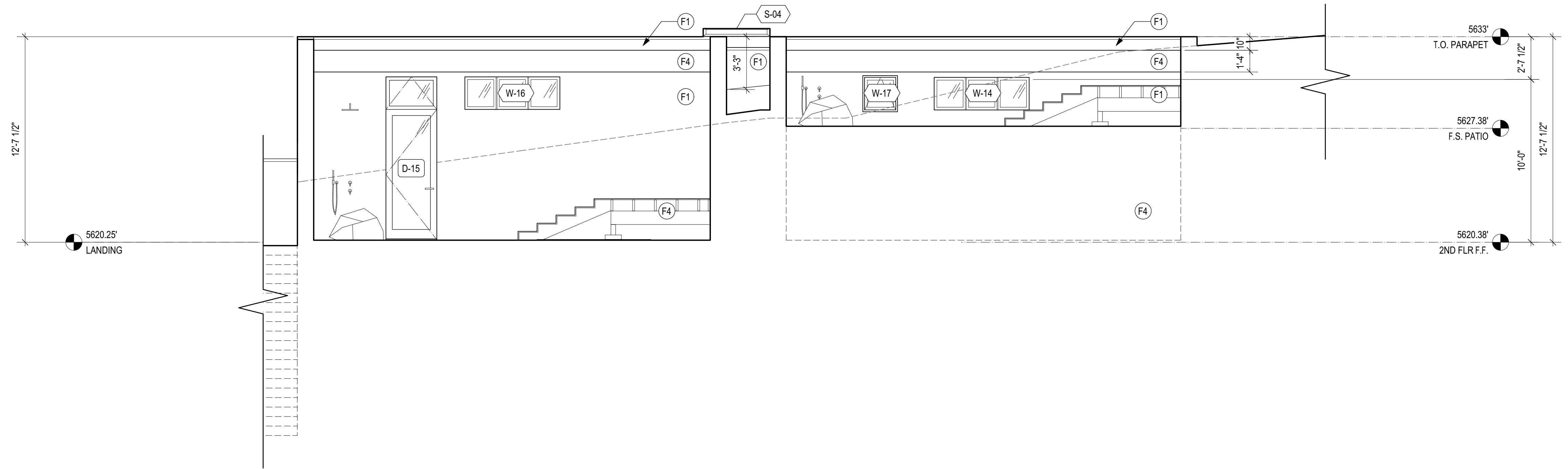
DRAWN BY
GO

EXTERIOR
ELEVATION-
EAST

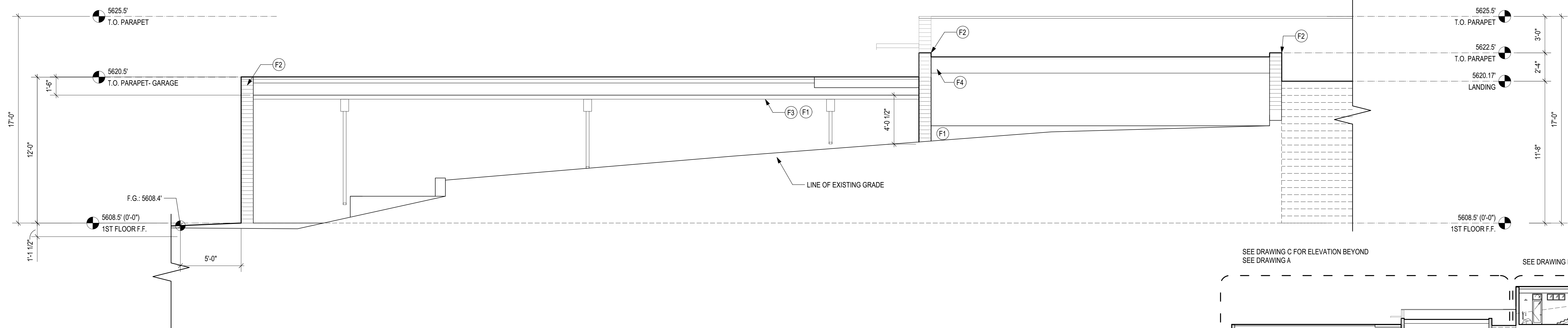
A3.02



C SOUTH ELEVATION- BREEZEWAY
Scale: 1/4" = 1'-0"



B SOUTH ELEVATION- PARTIAL AT BEDROOMS
Scale: 1/4" = 1'-0"



A SOUTH ELEVATION- PARTIAL
Scale: 1/4" = 1'-0"

1 OVERALL SOUTH ELEVATION
Scale: 1/16" = 1'-0"

- GENERAL NOTES**
- FRAMING MEMBERS SHOWN FOR REFERENCE ONLY. S.S.D.
 - S.C.D. FOR PROPOSED FIN. GRADES AND TOP OF WALL ELEVATIONS
 - ALL SHEET METAL FLASHINGS, INCLUDING PLUMBING AND MECHANICAL PENETRATION FLANGES TO BE SET IN SEALANT AND FLASHED INTO WATERPROOFING ASSEMBLY. SEE NOTES ON PLAN AND WINDOW SCHEDULE EGRESS, RESTRICTORS, AND SAFETY GLASS.
 - SEE ENERGY REPORT FOR INSULATION & VALUES
 - ALL WOOD MEMBERS TO BE A MIN 2"x6" (NOMINAL).
 - ALL GLAZING TO BE TEMPERED SAFETY GLASS.
 - SEE ROOF PLAN FOR LOW SLOPE ROOF DRAINAGE.
 - ALL SCREEN AND GUARDS TO BE ENGINEERED FOR A 200 LB. /PT LOAD AT ANY POINT ALONG THE SCREEN/ GUARD. SEE SCREEN AND GUARD DETAILS.
 - ALL WOOD IN DIRECT CONTACT W/ CONCRETE TO BE PRESSURE TREATED (P.T).
 - ALL NEW OR REPLACEMENT GLAZING TO MEET WILDFIRE EXPOSURE REQUIREMENTS AND CONFORM TO SFM 12-7A-2 Q.
 - AREAS OF NEW EXTERIOR WALL COVERING TO BE 1 HR. FIRE RATED.
 - WINDOWS TO PROVIDE NATURAL LIGHT OF 8% OF FLOOR AREA.
 - WINDOWS TO PROVIDE NATURAL VENTILATION OF 4% OF FLOOR AREA.
 - ALL EGRESS WINDOWS TO HAVE WINDOW SILLS WITHIN 4" OF GRADE (OR FIN. DECK) AND TO ALLOW FOR A MINIMUM NET CLEAR OPENABLE AREA OF 5 SF.
 - ALL EXTERIOR LANDINGS SHALL NOT BE MORE THAN 7.75' LOWER THAN THE DOOR'S THRESHOLD.
 - ALL GLAZING SHALL BE TEMPERED SAFETY GLASS.
 - SEE LANDSCAPE DRAWINGS AND SITE PLAN FOR NEW AND EXISTING PLANTINGS.

- FINISH MATERIAL IDENTIFICATION LEGEND:**
- (F1) SMOOTH TROWEL CEMENT PLASTER
 - (F2) CONCRETE MASONRY UNIT 4" X 16"
 - (F3) GALVANIZED STEEL
 - (F4) ALASKAN YELLOW CEDAR
 - (F5) FABRIC SOLAR SHADE CANOPY
 - (F6) CAST GLASS BLOCK
 - (F7) ALASKAN YELLOW CEDAR SIDING
 - (F8) C.I.P. COLORED CONCRETE

GRAHAM STEARNS QUINN - AIA

523 WOODLAD ROAD
KENTFIELD
CA 94704
T: 415-246-9104



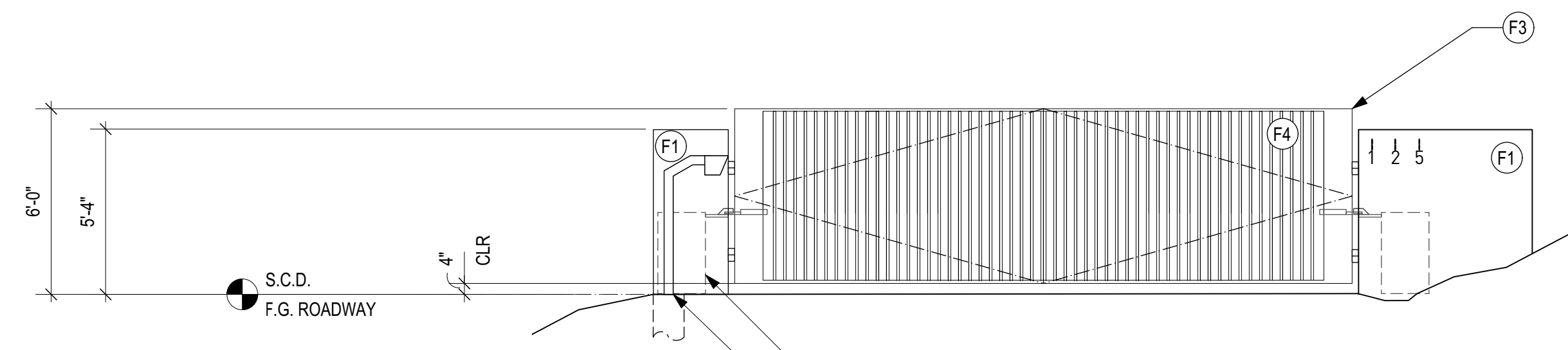
**125 BORON LANE
RENO, NV 89508**
APN# 079-430-11

ISSUE	DATE
SUP	2021/05/10
JOB CODE	21_BORON
REVISIONS	

DRAWN BY
GO

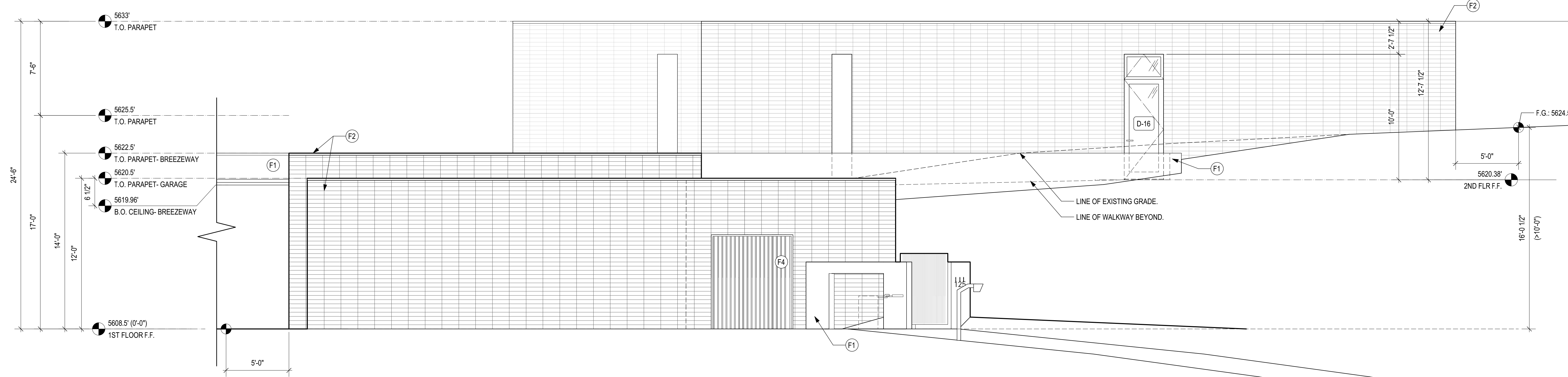
EXTERIOR
ELEVATION-
SOUTH

A3.03

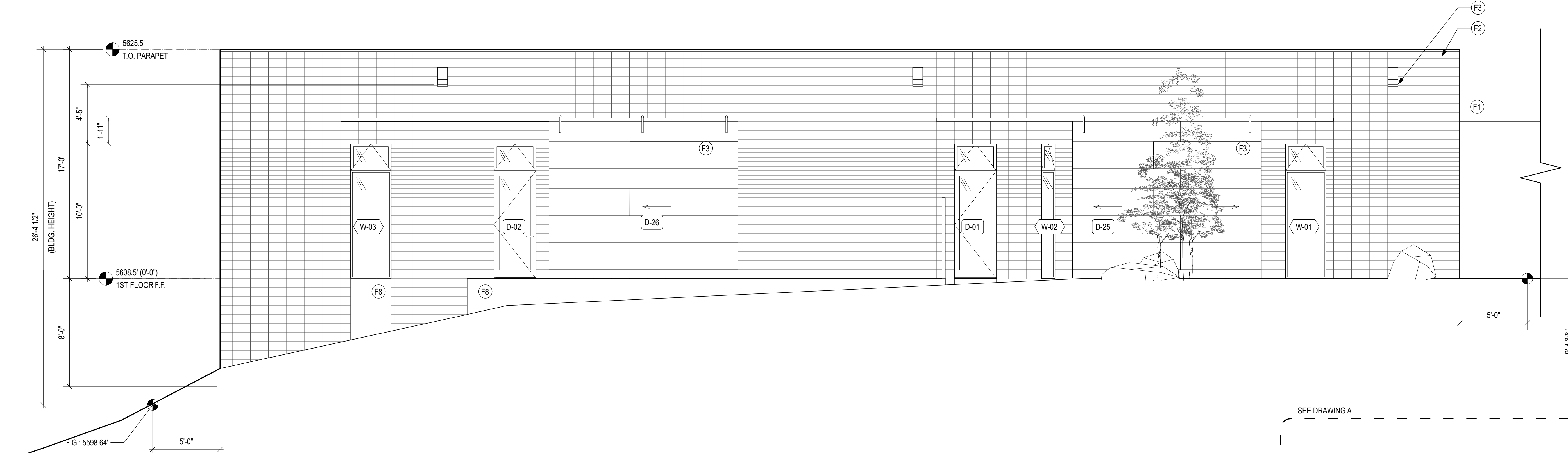


C ENTRY GATE ELEVATION
Scale: 1/4" = 1'-0"

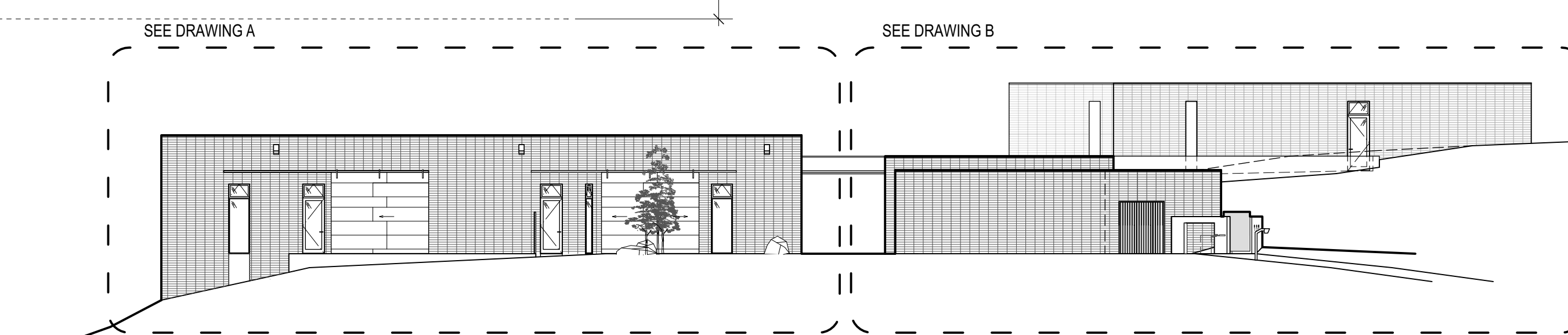
NOTE: 2-CLICK ENTRY SYSTEM GATE CONFORMING TO TRUCKEE MEADOWS FIRE PROTECTION DISTRICT STANDARDS



B WEST ELEVATION - SOUTH
Scale: 1/4" = 1'-0"



A WEST ELEVATION - NORTH
Scale: 1/4" = 1'-0"



1 OVERALL WEST ELEVATION
Scale: 1/16" = 1'-0"

- GENERAL NOTES**
- FRAMING MEMBERS SHOWN FOR REFERENCE ONLY. S.S.D.
 - S.C.D. FOR PROPOSED FIN. GRADES AND TOP OF WALL ELEVATIONS
 - ALL SHEET METAL FLASHINGS, INCLUDING PLUMBING AND MECHANICAL PENETRATION FLANGES, TO BE SET IN SEALANT AND FLASHED INTO WATERPROOFING ASSEMBLY. SEE NOTES ON PLAN AND WINDOW SCHEDULE EGRESS, RESTRICTORS, AND SAFETY GLASS.
 - SEE ENERGY REPORT FOR INSULATION & VALUES
 - ALL WOOD MEMBERS TO BE A MIN 2"x6" (NOMINAL).
 - ALL GLAZING TO BE TEMPERED SAFETY GLASS.
 - SEE ROOF PLAN FOR LOW SLOPE ROOF DRAINAGE.
 - ALL SCREEN AND GUARDS TO BE ENGINEERED FOR A 200 LB. PT LOAD AT ANY POINT ALONG THE SCREEN/ GUARD. SEE SCREEN AND GUARD DETAILS.
 - ALL WOOD IN DIRECT CONTACT W/ CONCRETE TO BE PRESSURE TREATED (P.T).
 - ALL NEW OR REPLACEMENT GLAZING TO MEET WILDFIRE EXPOSURE REQUIREMENTS AND CONFORM TO SFM 12-7A-2 Q.
 - AREAS OF NEW EXTERIOR WALL COVERING TO BE 1 HR. FIRE RATED.
 - AREAS OF NEW ROOFING TO MEET CLASS A ROOF REQUIREMENTS.
 - WINDOWS TO PROVIDE NATURAL LIGHT OF 8% OF FLOOR AREA.
 - WINDOWS TO PROVIDE NATURAL VENTILATION OF 4% OF FLOOR AREA.
 - ALL EGRESS WINDOWS TO HAVE WINDOW SILLS WITHIN 4" OF GRADE (OR FIN. DECK) AND TO ALLOW FOR A MINIMUM NET CLEAR OPENABLE AREA OF 5 SF.
 - ALL EXTERIOR LANDINGS SHALL NOT BE MORE THAN 7.75' LOWER THAN THE DOOR'S THRESHOLD.
 - ALL GLAZING SHALL BE TEMPERED SAFETY GLASS.
 - SEE LANDSCAPE DRAWINGS AND SITE PLAN FOR NEW AND EXISTING PLANTINGS.

- FINISH MATERIAL IDENTIFICATION LEGEND:**
- (F1) SMOOTH TROWEL CEMENT PLASTER
 - (F2) CONCRETE MASONRY UNIT 4" X 16"
 - (F3) GALVANIZED STEEL
 - (F4) ALASKAN YELLOW CEDAR
 - (F5) FABRIC SOLAR SHADE CANOPY
 - (F6) CAST GLASS BLOCK
 - (F7) ALASKAN YELLOW CEDAR SIDING
 - (F8) C.I.P. COLORED CONCRETE

GRAHAM STEARNS QUINN
 523 WOODLAD ROAD
 KENTFIELD
 CA 94904
 P: 415.246.9104
 G R A H A M S T E A R N S Q U I N N - A I A

125 BORON LANE
RENO, NV 89508
 APN#: 079-430-11

ISSUE	DATE
SUP	2021/05/10
JOB CODE	21_BORON
REVISIONS	

DRAWN BY
GO

EXTERIOR
ELEVATION-
WEST